

# Heritage Design & Access Statement for: Scola, Wignall Street, Lawford, CO11 2JJ

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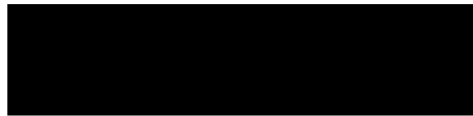
Town and Country Planning Act 1990

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**Proposed removal of garage roof and replacing it with a higher asymmetric structure to allow a new, usable space to be created on the first-floor. New roof to encompass existing garage footprint and adjacent space to side.**

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## 1.0 Introduction

- 1.1 The following statement should be read in conjunction with drawings and other documentation submitted in this application.
- 1.2 Scola, is situated on Wignall Street, within the village of Lawford's conservation area.
- 1.3 Scola did form part of the old Lawford C of E primary school that stood on the site and is grouped with two other residential dwellings: 'The Olde School House' and 'The Bell House'. The garage is believed to be a later addition to the site and this view is borne out by its utilitarian aesthetics. Both Scola and The Olde School House face Wignall Street however, The Bell House faces to the south west and away from the road. The Bell House does not have a road frontage but is accessed via a drive to the north west of 'Scola'. Scola's existing garage is also accessed via the same route.
- 1.4 Scola is a two-storey dwelling situated between and in front of established dwellings.
- 1.5 The application relates to changes to the garage that is located to the south west of the host dwelling –please see attached drawings.



**Fig. 1** –View looking south west, RHS garage door to remain. Extension to be situated to LHS.

## 2.0 Location

- 2.1. A location map is also attached to the application, but the garage and drive can be seen in Fig. 2.



Fig. 2–Site & immediate area - courtesy of Google Maps

## 3.0 Historical and setting

- 3.1 The site is situated within Lawford's conservation area.
- 3.2 The proposal is a material change to the streetscene, as it can be seen from the road. However, the front of the garage is well over 35metres from Wignall Street itself so it set some way back. The proposal is not considered intrusive given its nature and position, as well as south west facing glazing. The only glazing facing north east will be the new entrance door.
- 3.3 The Olde School House and The Bell House, although including some unusual architectural features, are not listed structures.
- 3.4 The garage to the Bell House, situated to the rear of its host house has been recently extended and heightened to form a first-floor games room under approved planning application 22/00921/FULHH.

3.5 TDC Historical Information –TDC’s Conservation Area Review document for Lawford makes reference to the Kings Arms in the following way: ‘...*face the Kings Arms, a prominent and attractive listed vernacular building of two storeys with a long low frontage and a steeply-pitched roof in clay tiles. While its rear gardens are attractively laid out, the pub forecourt is a bland expanse of tarmac open to the road edge.*’

3.6 Historic England also makes reference to the Kings Arms under List UID: 1254186:

*Public house. C17 or earlier origin with later alterations and additions. Timber framed, painted brick faded, dentilled eaves cornice, plastered returns. Central and external left red brick chimney stacks. Red plain tiled roof. Single storey left lean-to. 2 storeys. Central band. 3 first floor vertically sliding sash windows with glazing bars, 2 small paned casements and a similar vertically sliding sash to ground floor. C20 glazed door in line with chimney stack. Restored back to back inglenook fireplace, heavy storey posts, wall studs, bridging and ceiling joists to ground floor.*

#### 4.0 Previous advice

4.1 A pre-application was submitted (23/300454/PREAPP) which was generally favourable of the proposals. However, it was noted that a higher ridge and larger front gable may cause issues given that it would also cover the proposed side extension. It is hoped that the amended design described in the next section will alleviate this issue.

#### 5.0 Proposal

5.1 Following the advice received via the pre-application, it was decided that an alternative roof design was appropriate to allay the fears of the planners. To reduce the bulk of the structure to the front, an asymmetric design has been proposed that does incorporate a higher ridge but will be set somewhat further back from the front. Please refer to the Proposed elevations drawing [0466/PL/03](#) which shows the ridge position set back from the front elevation by more than 4.5metres.

5.2 The asymmetric will allow for a full height door to be incorporated within the rear wall that will permit views across Scola’s garden to the rear (south west).

- 5.3 Due to the large change in ground levels, approximately one metre, from front to rear, the rear extension will only give habitable space on the first floor as the rear section will have reduced head height and therefore can only be used for storage.
- 5.4 The right-hand side of the proposed structure will remain a garage and the existing garage door will be reused if practicably possible.
- 5.5 Due to the difference in ground heights (garden level is higher than the drive level), the existing timber fencing to the left-hand side of the garage, will assist with screening the proposal from the Bell House. Additionally, all windows are situated on the rear elevation (south west) and therefore will not cause any overlooking issues.



Fig. 3 –View looking south to RHS of existing garage. Note change in ground level.

- 5.6 Although the neighbours at Rose Valley are slightly closer than those at The Bell House, their view of the proposal will be partly blocked by a side/rear extension that borders Scola.



Fig. 4 –View looking north west, garage to LHS with ‘Rose Valley’ to front.

## 6.0 Materials

- 6.1 The walls to the existing garage are finished in a painted render with a plain clay tile roof covering. There is a dilapidated timber side window that will be removed.
- 6.2 It is hoped that the planners will agree to the following finishes:
- i) Walls –Stained timber cladding (dark brown);
  - ii) Roof –Clay plain tiles to match existing;
  - iii) Front door –timber;
  - iv) Windows –aluminium (charcoal grey).

## 7.0 Conclusion

- 7.1 The proposed amendments can be seen from the public highway but due to the separation distance, this is not thought to be an issue. Fencing will aid screening from The Bell House. The neighbours at Rose Valley will also see a change to the front elevation but given the distance between it and the proposal, this should not cause problems.
- 7.2 The proposed roof design will alleviate the planners concerns as the bulk of the proposal will be set further back than it does now, thus reducing any impact to both the streetscene and neighbours.
- 7.3 Materials have been chosen to fit a little better with the older designs and styles seen in the immediate area. Certainly, roof tiles will be reused as much as practicably possible, on the front elevation. Stained timber cladding can be seen on many ancillary buildings in the area, but is now something that barn conversions and some new buildings are utilising as an appropriate finish.



**Fig. 5** –View looking east, 'The Bell House' to LHS with converted garage to front. Note rear facing dormer.





**Fig. 6** –View looking south west to LHS of existing garage where new extension is proposed. The changes in height to retaining wall/DPC can be seen on the wall.



Fig. 7 –View looking south west to LHS of existing garage where new extension is proposed.



Fig. 9 –View looking north east towards The Bell House with the existing garage immediately to the RHS



**Fig. 10** –View looking north east towards The Bell House. Note chimney to RHS of gable wall



**Fig. 11** –View looking north east towards The Bell House. Change in ground levels can be seen, as can the retaining wall/DPC level. Area to RHS will house the proposed+

### Contact Details

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