

PROPOSED HARD SURFACING AND SOFT LANDSCAPING

Planning application reference: 23/1199/HSE

Mr & Mrs Cherkas
12 The Rose Walk, Radlett, WD7 7JS

27th March 2024

1. Introduction

This statement has been prepared by Mr & Mrs Cherkas of 12 The Rose Walk, Radlett, WD7 7JS in connection with the construction of a single storey rear extension for which project planning permission was granted under reference 23/1199/HSE.

Pre-commencement conditions relating to an Arboricultural Method Statement and Landscaping were stipulated within the granting of planning permission. This submission relates to Landscaping and follows the Arboricultural Method Statement dated 25th March 2024.

This document has been prepared to address condition 6 of granted planning permission which states:

06. No development above ground level shall take place until details of all proposed hard surfacing alongside any associated soft landscaping have been submitted to and approved in writing by the Local Planning Authority.

The hard/soft landscaping details shall include planting plans and written specifications of the hardstanding (type, size and materiality); schedules of plants noting species, plant sizes and proposed numbers/ densities. The approved scheme of soft landscaping works shall be implemented not later than the first planting season following commencement of the development (or within such extended period as may first be agreed in writing with the Local Planning Authority). Any planting removed, dying or becoming seriously damaged or diseased within five years of planting shall be replaced within the first available planting season thereafter with planting of similar size and species unless the Local Planning Authority gives written consent for any variation.

Reason: To assimilate the development into its surroundings and protect the character and appearance of the conservation area, in accordance with Policies SP1, CS14 of the Core Strategy and SADM11, SADM12, SADM29, SADM30 of the Site Allocations and Development Management Policies Plan and the NPPF.

It should be noted that this planning application is of a small scale and does not we believe have substantial implications for and consequences of landscaping.

2. Hardstanding

2.1 Overview

The hardstanding work in the planning proposal includes only :

- Replacement and improvement of the path, wall and fencing at the side of the house – the path being extended to run alongside the new kitchen rear extension, the additional length being 4.0m.
- Slight rearrangement of the rear patio.

No changes to hardstanding (or landscaping) are proposed for the existing front garden and driveway.

See larger scale drawings in file *21_121-A3 200 AMS plans.pdf* for whole perspective of existing house and rear garden before and after the proposed work. For immediate reference, see Figure 1 below for overview of existing site and Figures 2 and 3 for closer inspection of current and proposed path, fencing and patio.

Figure 1: Whole perspective of existing house and rear garden

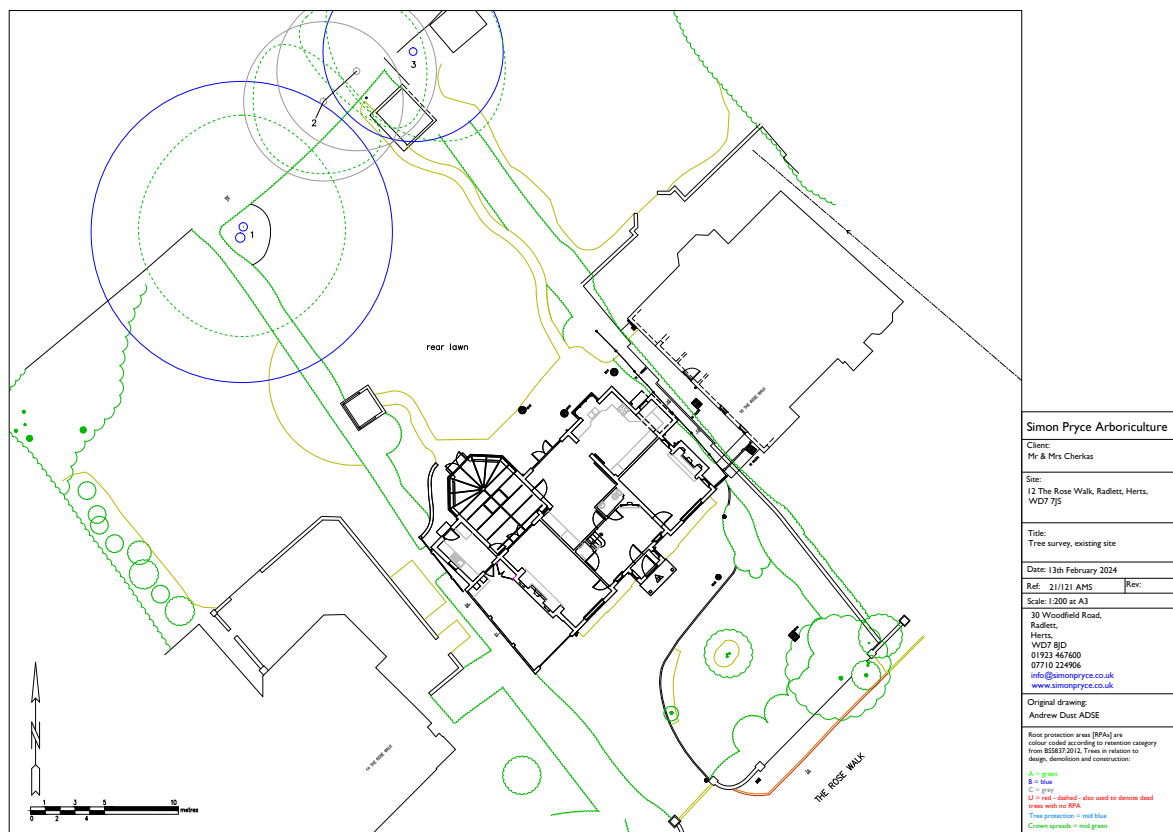


Figure 2: Current pathway and line of wall and fencing.

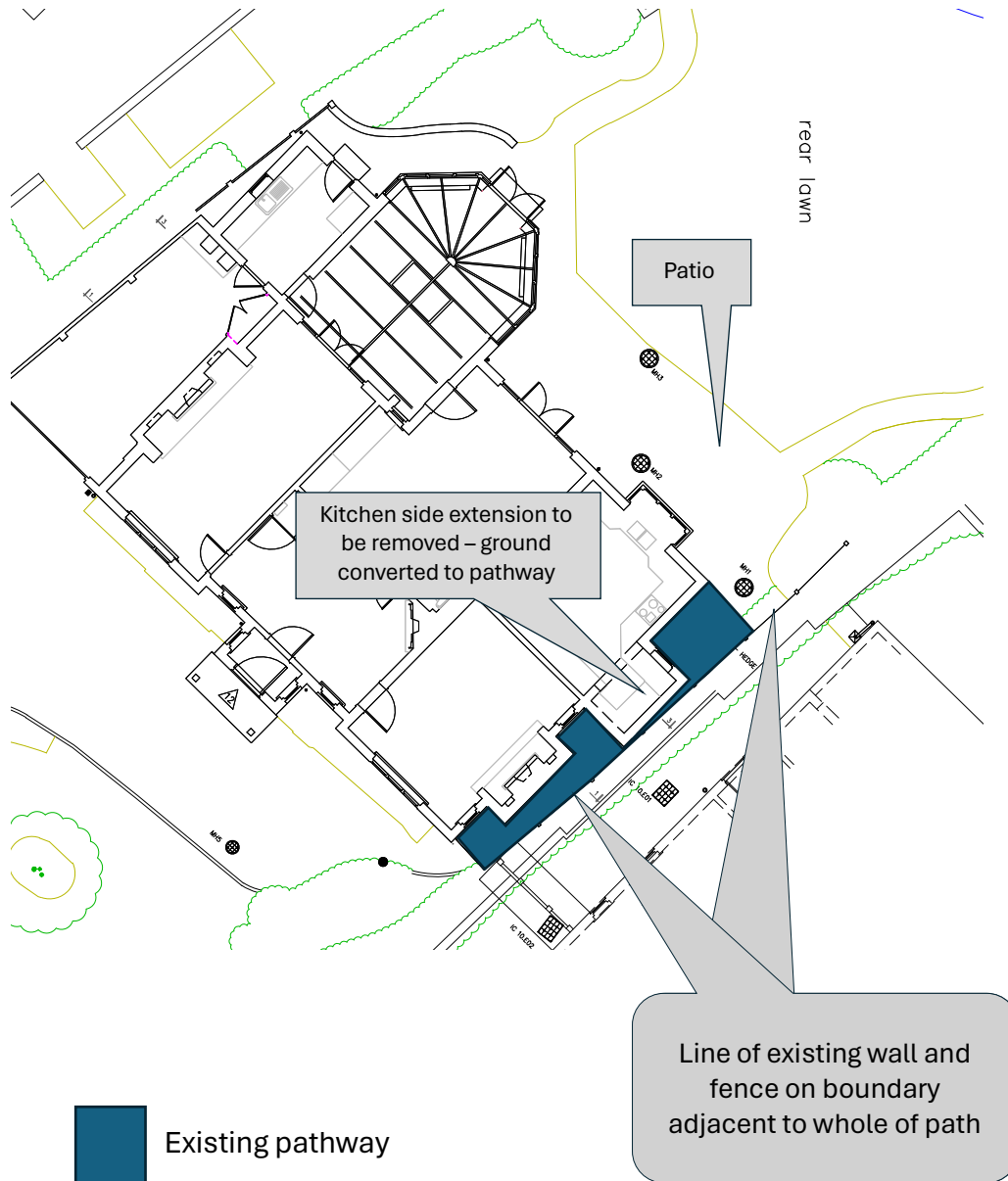
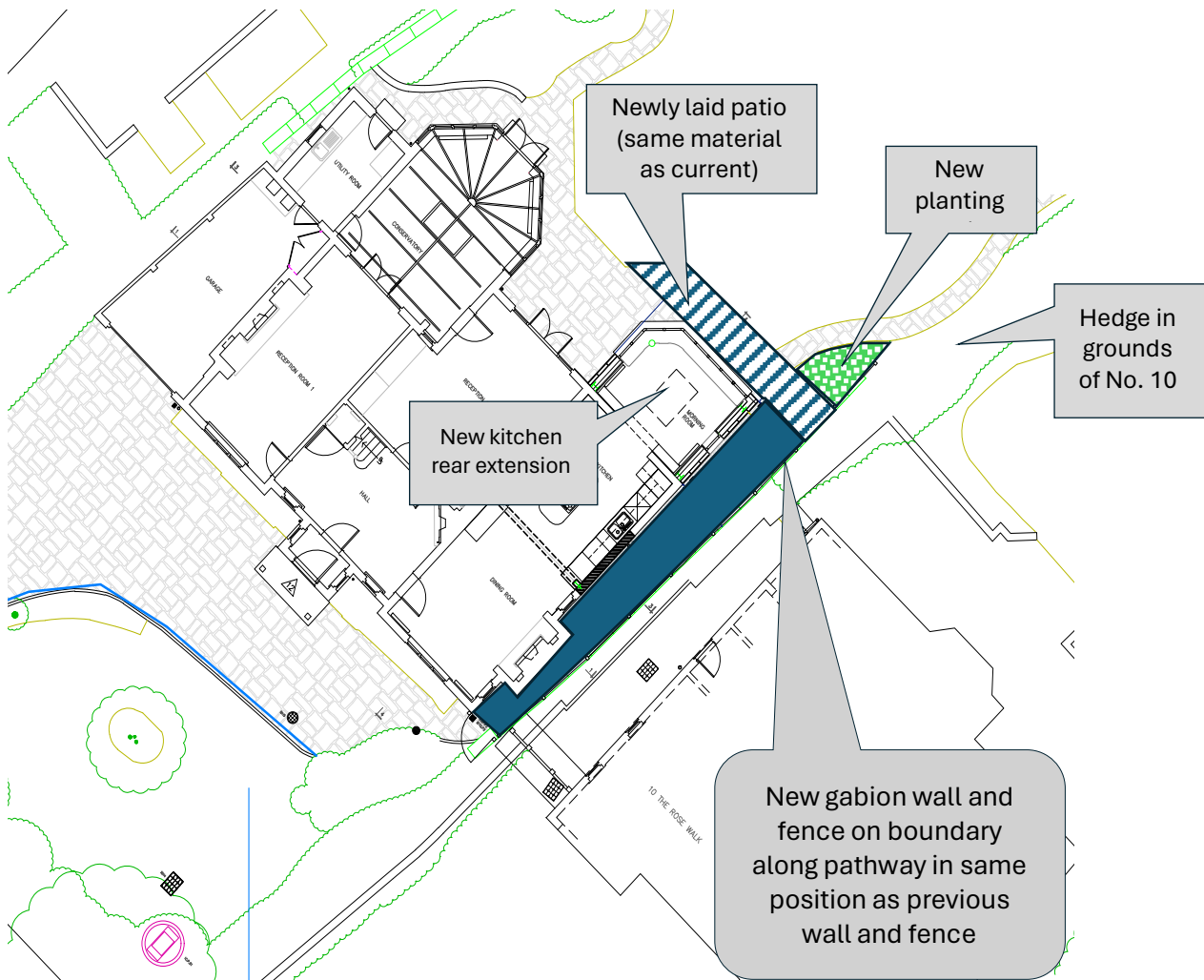


Figure 3: Proposed new pathway, patio amendment and new planting



2.2 Replacement and improvement of the path, wall and and fencing at the side of the house – including 4.0m path extension

The relevant specifications in the Schedule of Works are as follows:

Path

- To be laid in natural stone paving or crushed natural stone aggregate chippings
- Minimum bed thickness or depth of 130 mm (with stone as selected for and same as the facing natural stone for the proposed boundary gabion retaining wall structure – see below)
- To be laid on permeable geotextile root barrier
- Fill and sub base to be mechanically compacted with vibro-roller in 100 mm thick layers) of well graded granular aggregate type 1 in accordance with DTp clause 803, and or well graded granular aggregate (maximum nominal aggregate size = 40mm).
- Approximate total area proposed for paving or stone finishes = 17.20 m²
- Approximate total volume of paving or stone finishes (bed thickness or depth = 130 mm and excluding any fill) = $(0.130 \times 17.20 \text{ m}^2) = 2.24 \text{ m}^3$.

Wall

The wall on the boundary will be a welded mesh gabion retaining structure. Retaining walls will be filled with hard durable and non-frost susceptible recycled retained stone and or retained broken or crushed concrete (cleaned and selected) and faced with coursed natural stone and or sandstone, all having a minimum dimension not less than the mesh opening and a maximum dimension of 200 mm.

Subject to our selection and approval, the facing natural stone may be:

- GLEBE AGGREGATES: Oolitic Gabion Limestone imported from a Lincolnshire quarry; or
- GUITING QUARRY AGGREGATES: Creeton Quarry Gabion Limestone

Approximate total length of the boundary gabion retaining wall is 17.45m; total volume is 18.11m³.

The boundary gabion retaining wall structure works shall be carried out in accordance with the following recommendations, guidance and or standards, and to the satisfaction of the Structural Engineer and Contract Administrator.

- British Standard: BS 8002:2015 Code of practice for earth retaining structures.
- British Standard: BS 8004:2015+A1:2020 Code of Practice for foundations.
- British Standard: BS EN 1997-1:2004 Eurocode 7: Geotechnical design - Part 1: General rules.

Fencing

Timber fence panels will be used, fixed to 100 mm x 100 mm square timber posts and connected and bolted to the boundary fence posts base structure. The finished height of the

boundary fence panels above the top of the boundary gabion retaining wall structure will be 1850 mm.

Strength and fixings as necessary must be adequately fixed against wind loadings in accordance with Eurocode 1. Actions on structures, and BS EN 1991-1-4:2005+A1:2010 Eurocode 1. Actions on structures. General actions. Wind actions.

Boundary fence panels and posts and any supporting rails to be of SC22 preservative impregnated timber, stained with three coats of wood stain to colour to the satisfaction of the Employer, Structural Engineer, and Contract Administrator.

All steelwork shall comply with the recommendations of Eurocode 3: Design of steel structures, and or relevant Eurocodes, British Standard for Structural use of Steelwork in Building, and National Structural Steelwork Specification for Building Construction, fifth edition, and contract details section 4.7, and to be properly and fully braced and constructed all to the satisfaction of the Structural Engineer and Contract Administrator.

2.3 Slight rearrangement of the rear patio

The area of patio to be newly laid as shown in Figure 3 above is approximately 8.0m². The stones to be used will be recycled from the existing paving removed for the construction of the kitchen rear extension – and will be laid to match the existing random pattern.

3. Schedule of plants: species, plant sizes and proposed numbers.

There is only one area on our side of the boundary fence where new planting will be required. The removal of some shrubbery to accommodate the new extended pathway alongside the kitchen rear extension leaves a patch of ground of approximate area of 4.0m² for which there will be new planting. This is shown in Figure 3 above. This patch of ground sits alongside the new replacement fencing referenced earlier in this submission.

The plant species, sizes and numbers planned for this area are as follows:

<i>Species</i>	<i>Sizes</i>	<i>Numbers</i>
Buddleia globose (Butterfly bush)	30 - 50cm (5L pot)	1
Choisya ternata (Mexican orange blossom)	30 - 50cm (5L pot)	1
Mahonia aquifolium (Oregon grape)	30 - 50cm (5L pot)	1
Viburnum tinus (Lauristinus)	30 - 50cm (5L pot)	1
Magnolia stellate (star magnolia)	30 - 50cm (5L pot)	1

Planting is expected to take place during the first planting season (November - March) after completion. In conformity with Condition 6, we note and commit to replace any planting removed, dying or becoming seriously damaged or diseased within five years of planting:

- within the first available planting season thereafter; and
- with planting of similar size and species unless the Local Planning Authority gives written consent for any variation.