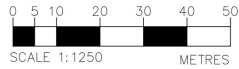
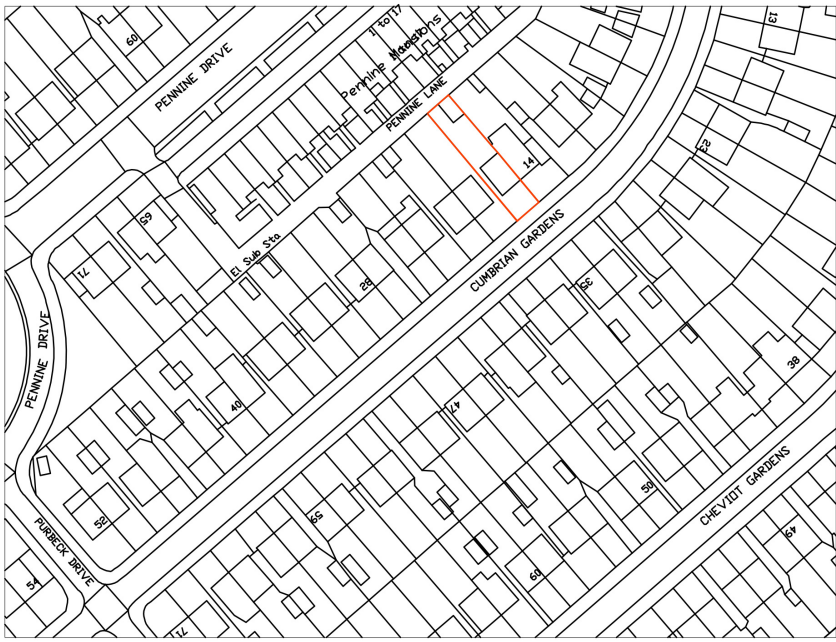
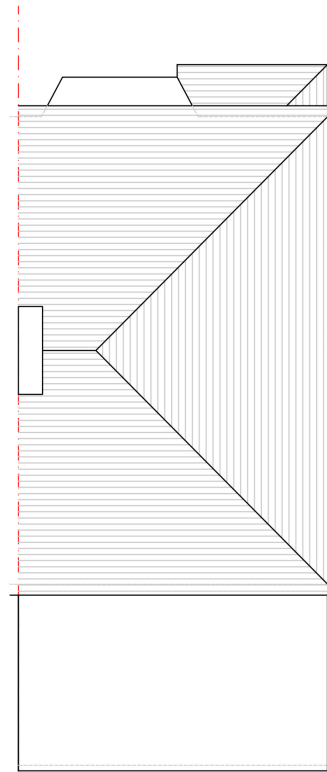


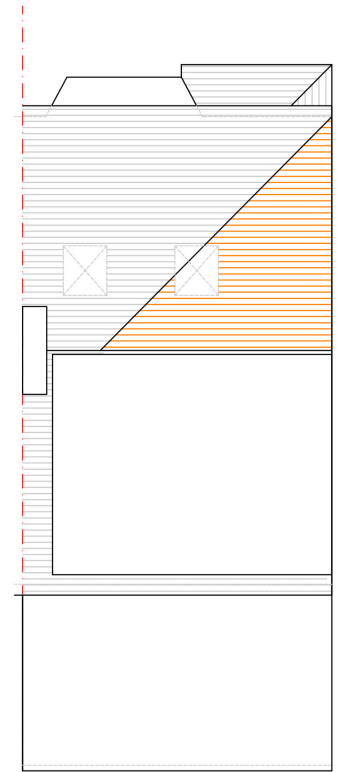
SITE BLOCK PLAN



LOCATION MAP



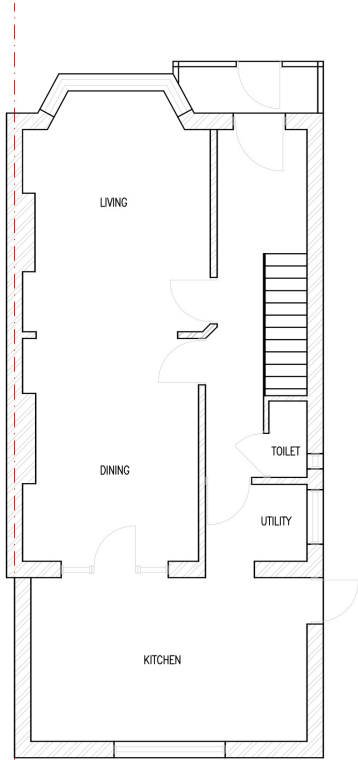
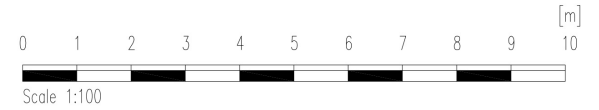
EXISTING
ROOF PLAN



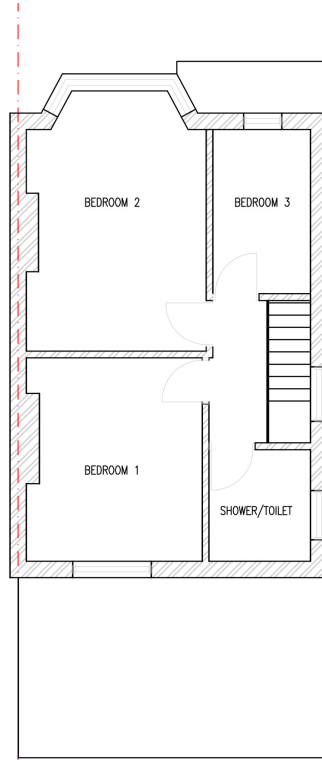
PROPOSED
ROOF PLAN



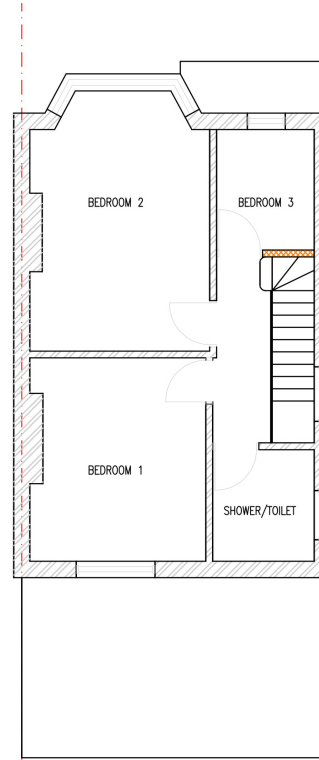
CLIENT Mr R Varsani	SITE 16 Cumbrian Gardens NW2 1EF	Date: 06/08/2015
DRAWING NO.: RV.PA.2015.A101	DRAWING TITLE OS MAP, LOCATION MAP & ROOF PLANS	Scale @ A3: AS SHOWN
		Revision: P01



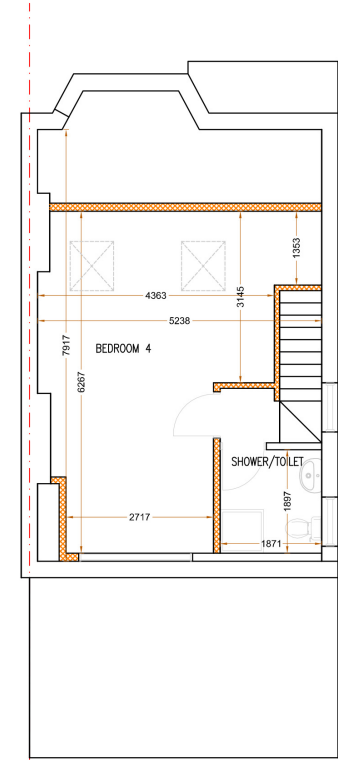
EXISTING
GROUND FLOOR PLAN



EXISTING
FIRST FLOOR PLAN



PROPOSED
FIRST FLOOR PLAN



PROPOSED
LOFT PLAN

Revision notes:

Rev:	Date:	Notes:
P01	12/07/2015	First Draft

CLIENT

Mr. R Varsani

DRAWING NO:

RV.PA.2015.A102

SITE

16 Cumbrian Gardens
NW2 1EF

DRAWING TITLE

EXISTING & PROPOSED GROUND FLOOR PLANS

Date:

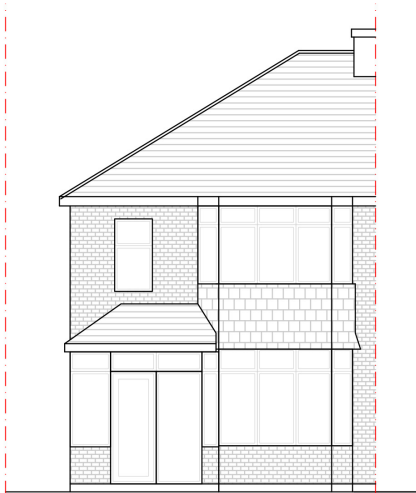
12/07/2015

Scale @ A3:

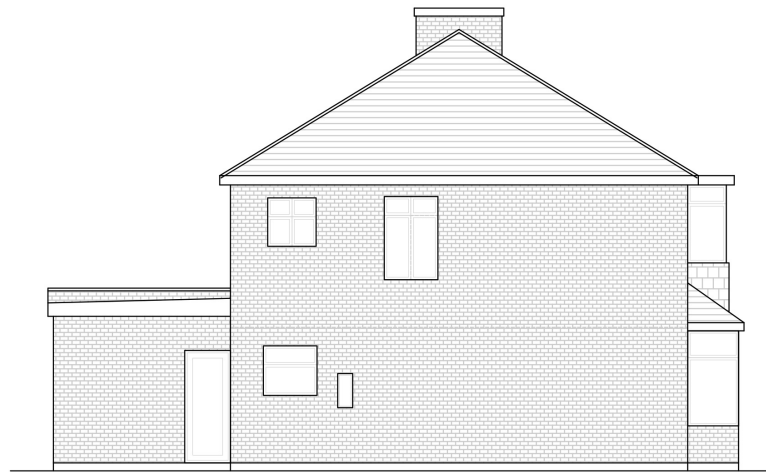
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Revision:

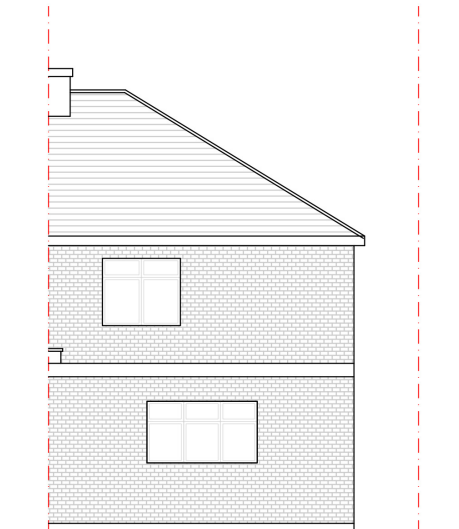
P01



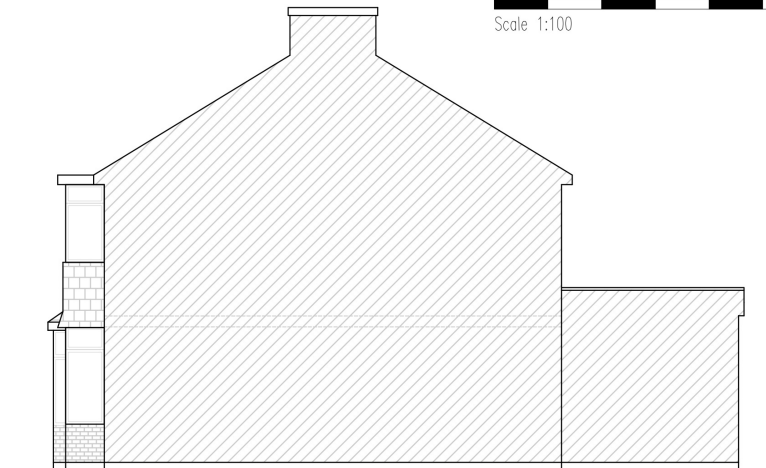
EXISTING FRONT ELEVATION



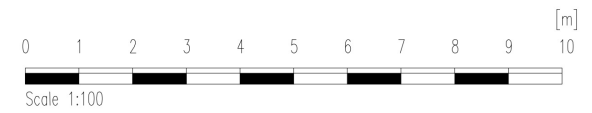
EXISTING SIDE ELEVATION



EXISTING REAR ELEVATION



EXISTING SIDE ELEVATION



Revision notes:

Rev:	Date:	Notes:
P01	12/07/2015	First Draft

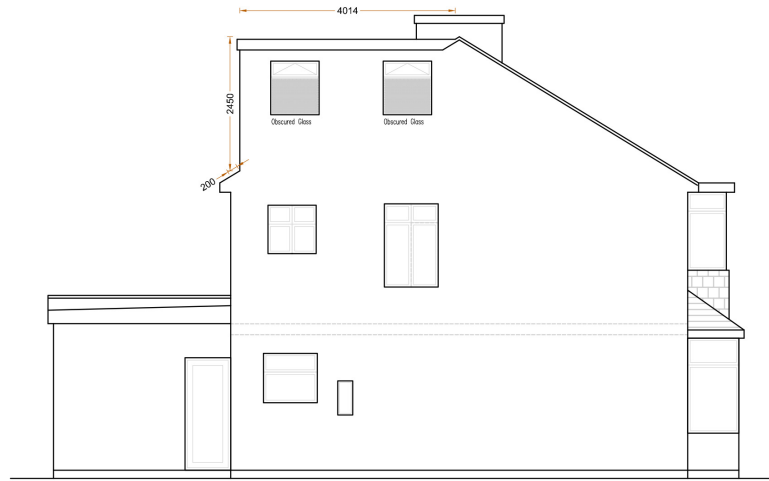
CLIENT Mr. R Varsani
DRAWING NO: RV.PA.2015.A103

SITE 16 Cumbrian Gardens NW2 1EF
DRAWING TITLE EXISTING ELEVATIONS

Date: 12/07/2015
Scale @ A3: 1:100
Revision: P01



PROPOSED FRONT ELEVATION

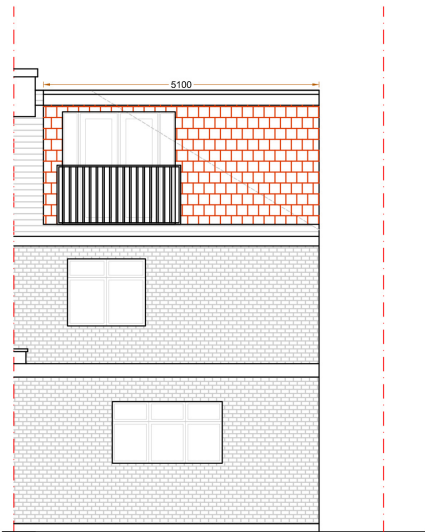
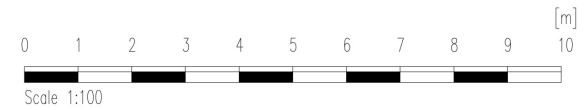


PROPOSED SIDE ELEVATION

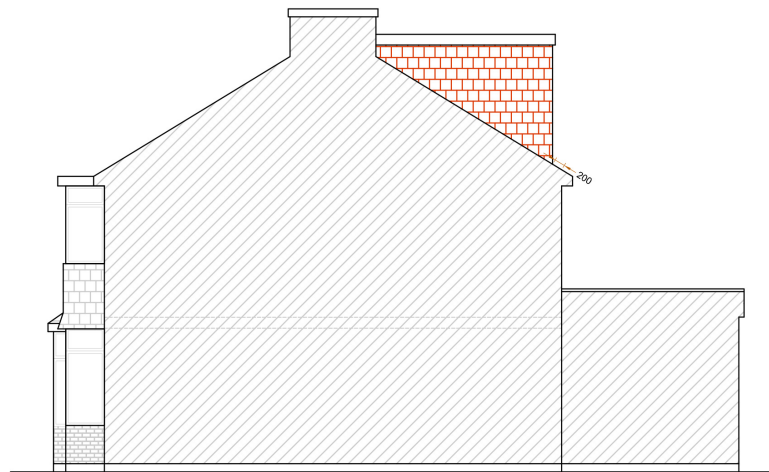
GENERAL NOTES:

- All dimensions are in millimetres unless otherwise stated.
- Do not scale off any drawing. Use figured dimensions only.
- All drawings shall be read in conjunction with specifications, plans/section details, and other associated details as may be provided.
- All details and dimensions are to be confirmed on site prior to work commencing or prior to ordering any materials.
- All work is to be carried out to the Local Authority Planning and Building Regulations Approval, and the Codes of Practice and British Standards necessary.
- All dimensions, level, sizes, positions and locations of particulars as indicated on drawings are to be verified by the appointed Contractor on site prior to engaging in works.
- Any discrepancies must be reported to the Architect/Surveyor/Engineer/Owner or responsible person/s immediately.
- The Contractor is responsible for ensuring compliance with the CDM Regulations and appropriate Health & Safety on site precautions.
- The Client/Building Owner must obtain any necessary Party Wall Agreement prior to engaging in the works on site.
- Contractor shall allow for making good of all disturbed works.
- Owner to establish actual property boundary on site and ensure that proposed extension is built entirely within the property boundary.
- All existing foundations, beams and/or lintels carrying additional load, are to be exposed, if necessary, for the Building Control Surveyor inspection and same should be upgraded if instructed.

All materials and finishes to match existing



PROPOSED REAR ELEVATION



PROPOSED SIDE ELEVATION

LOFT CONVERSION

1. The proposed development to be built entirely within the curtilage of the property.
2. The materials to be used to construct the proposed development to those used in the construction of the exterior of the existing dwelling house.
3. The proposed rear dormer has an additional volume of 49.95 cubic metres. The proposed extension to the roof would be within 50 cubic meters limit for the enlargement of the roof of a terraced dwelling house.
4. The proposed rear dormer to be set more than 200mm from the closest point of projecting eaves (which is the intersection with the wall).
5. The proposed roof extensions not at any point exceed the height of the highest of the existing roof nor project forward of any roof slope which forms the principal elevation of the dwelling house and fronts a highway.
6. The proposed roof lights in the front elevation not to protrude more than 150 millimetres beyond the plane of the slope of the original roof when measured perpendicular with the external surface of the original roof.
7. The proposed roof extension not to include the provision of a veranda balcony or raised platform.

Revision notes:

Rev:	Date:	Notes:
P01	12/07/2015	First Draft

CLIENT Mr. R Varsani	SITE 16 Cumbrian Gardens NW2 1EF
DRAWING NO: RV.PA.2015.A104	DRAWING TITLE PROPOSED ELEVATIONS

Date: 12/07/2015
Scale @ A3: 1:100
Revision: P01