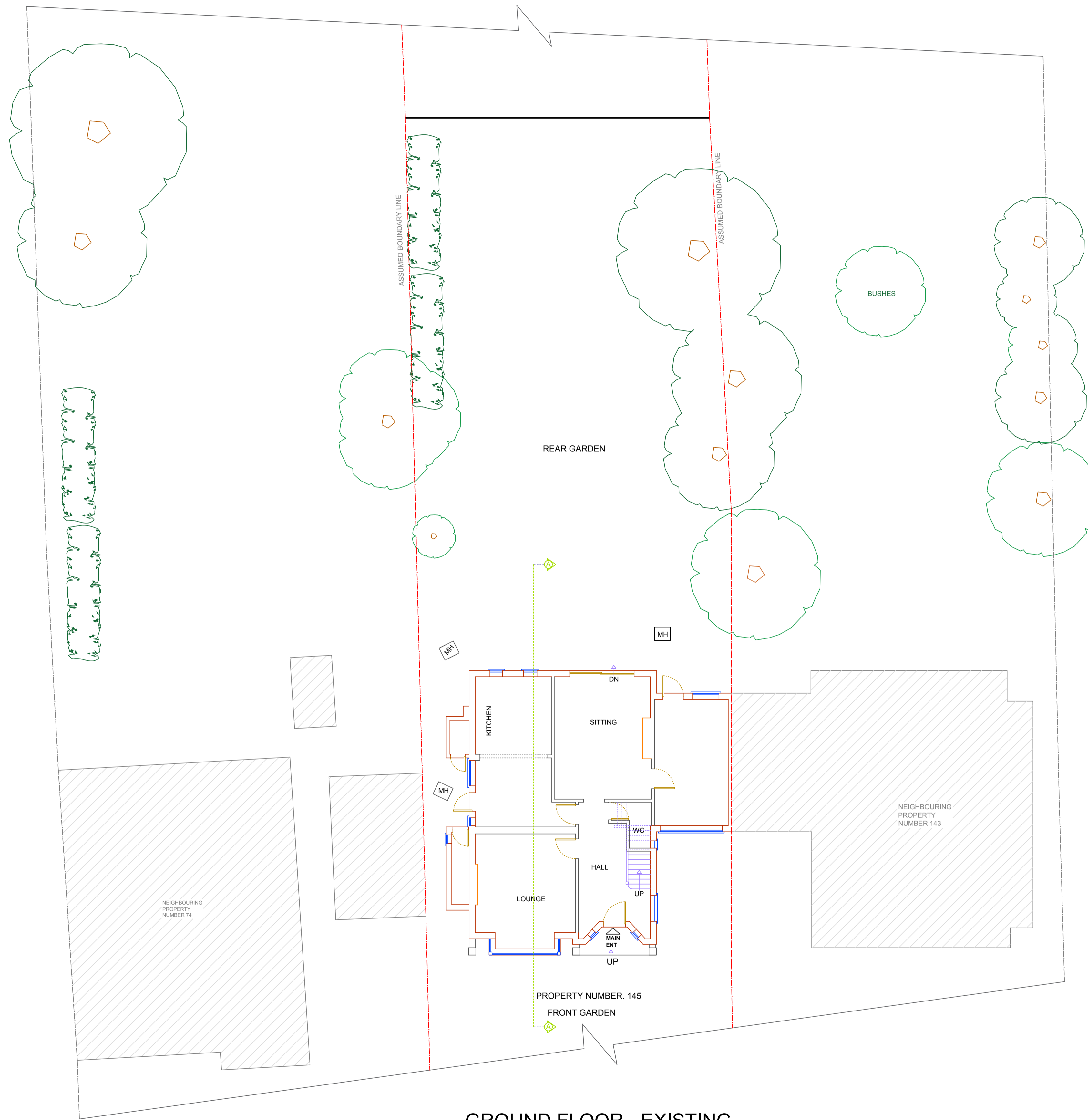


PAPER SIZE
A1



1 GROUND FLOOR - EXISTING
1:100

ALL WORK TO COMPLY WITH CURRENT BUILDING REGULATIONS AND CODES OF PRACTICE. ALL DIMENSIONS IN MM UNLESS NOTED OTHERWISE. MEASURED SURVEY DOES NOT INCLUDE FOR IRVING'S SURVEY TO DETERMINE EXACT LOCATION OF STEELWORK/SUPPORTING STRUCTURE. THIS DRAWING IS PREPARED SOLELY FOR DESIGN AND PLANNING SUBMISSION PURPOSES. IT IS NOT INTENDED OR SUITABLE FOR EITHER BUILDING REGULATIONS OR CONSTRUCTION PURPOSES AND SHOULD NOT BE USED FOR SUCH.

THIS DRAWING IS COPYRIGHT AND MUST NOT BE TRACED OR COPIED IN ANY WAY OR FORM.

PLEASE NOTE: PROPERTY OWNER TO ENSURE THAT ALL ASPECTS OF THE PARTY WALL ETC. ACT 1997 ARE COMPLIED WITH PRIOR TO ANY WORK COMMENCING ON SITE.

VARIATIONS IN SQUARENESS, DEPTH OF PLASTER ETC. MUST BE CHECKED FOR. WHERE NEW WALLS ARE SHOWN AS ALIGNED WITH EXISTING WALLS, PHYSICAL REMOVAL OF BRICKWORK AND / OR PLASTER TO ESTABLISH THE ACTUAL POSITION OF THE WALL BEING ATTACHED TO MUST BE CHECKED.

DOCUMENTS SHOULD BE USED AS THE DRAWING STATUS DESCRIBED. ANY OTHER USE IS DONE SO AT THE RESPONSIBILITY OF THE USER.

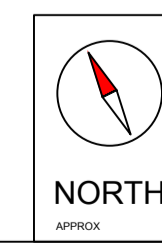
MATERIALS SHOULD MATCH THOSE OF THE EXISTING DWELLING

NO WORK TO BE CARRIED OUT PRIOR TO THE APPROVAL OF THE DRAWINGS UNDER THE TOWN PLANNING AND COUNTRY PLANNING ACTS AND THE BUILDING REGULATIONS. CONTRACTOR TO BE RESPONSIBLE FOR NOTIFYING THE LOCAL AUTHORITY FOR THE START OF THE WORK. DO NOT SCALE THE DRAWINGS EXCEPT FOR THE PLANNING APPLICATION PURPOSE.

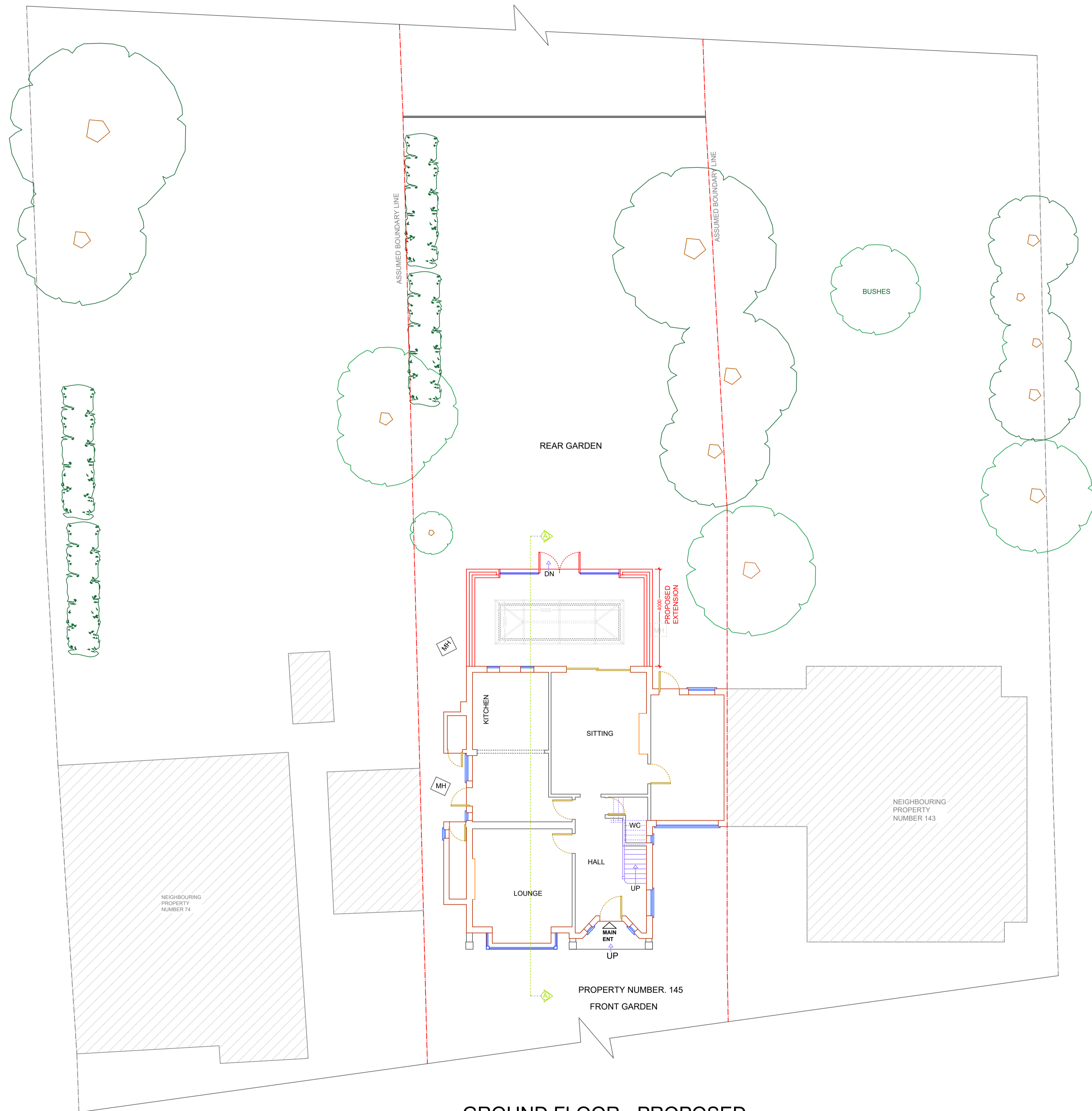
PLANNING ISSUE
DO NOT USE FOR ANY CONSTRUCTION WORK. ANY DEVELOPMENT WITHOUT A CERTIFICATE OF LAWFULNESS OR PLANNING PERMISSION IS SOLELY AT OWNERS RISK.

Revision	Description	Date
<p>GET RAPID PLANS Architectural Services</p> <p>02084786567 / 07538938251 / 07507665812 169 Southpark Drive Ilford IG3 9AD Email: getrapidplans@gmail.com Website: getrapidplans.co.uk</p> <p>ADDRESS 145 FRERN BARNET N20 0NP</p> <p>PROJECT 1) SINGLE STOREY REAR EXTENSION</p> <p>TITLE EXISTING GROUND FLOOR PLAN</p>		

<p>DRAWN AT HEAD OFFICE</p> <p>DRAWING NO A06-1</p>	<p>SCALE 1:100 @A1</p> <p>REVISION</p> <p>DRAWN BY</p> <p>DATE 22-03-2024</p>
---	---



PAPER SIZE
A1



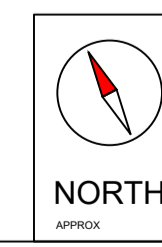
2 GROUND FLOOR - PROPOSED
1:100

ALL WORK TO COMPLY WITH CURRENT BUILDING REGULATIONS AND CODES OF PRACTICE.
ALL DIMENSIONS IN MM UNLESS NOTED OTHERWISE
MEASURED SURVEY DOES NOT INCLUDE FOR WITHIN-SURVEY TO DETERMINE EXACT LOCATION OF STEELWORK/SUPPORTING STRUCTURE.
THIS DRAWING IS PREPARED SOLELY FOR DESIGN AND PLANNING SUBMISSION PURPOSES. IT IS NOT INTENDED OR SUITABLE FOR EITHER BUILDING REGULATIONS OR CONSTRUCTION PURPOSES AND SHOULD NOT BE USED FOR SUCH.
THIS DRAWING IS COPYRIGHT AND MUST NOT BE TRACED OR COPIED IN ANY WAY OR FORM.
PLEASE NOTE: PROPERTY OWNER TO ENSURE THAT ALL ASPECTS OF THE PARTY WALL ETC. ACT 1999 ARE COMPLIED WITH PRIOR TO ANY WORK COMMENCING ON SITE.
VARIATIONS IN SQUARENESS, DEPTH OF PLASTER ETC. MUST BE CHECKED FOR. WHERE NEW WALLS ARE SHOWN AS ALIGNED WITH EXISTING WALLS, PHYSICAL REMOVAL OF BRICKWORK AND / OR PLASTER TO ESTABLISH THE ACTUAL POSITION OF THE WALL BEING ATTACHED TO MUST BE CHECKED.
DOCUMENTS SHOULD BE USED AS THE DRAWING STATUS DESCRIBED. ANY OTHER USE IS DONE SO AT THE RESPONSIBILITY OF THE USER.
MATERIALS SHOULD MATCH THOSE OF THE EXISTING DWELLING
NO WORK TO BE CARRIED OUT PRIOR TO THE APPROVAL OF THE DRAWINGS UNDER THE TOWN PLANNING AND COUNTRY PLANNING ACTS AND THE BUILDING REGULATIONS.
CONTRACTOR TO BE RESPONSIBLE FOR NOTIFYING THE LOCAL AUTHORITY FOR THE START OF THE WORK.
DO NOT SCALE THE DRAWINGS EXCEPT FOR THE PLANNING APPLICATION PURPOSE.

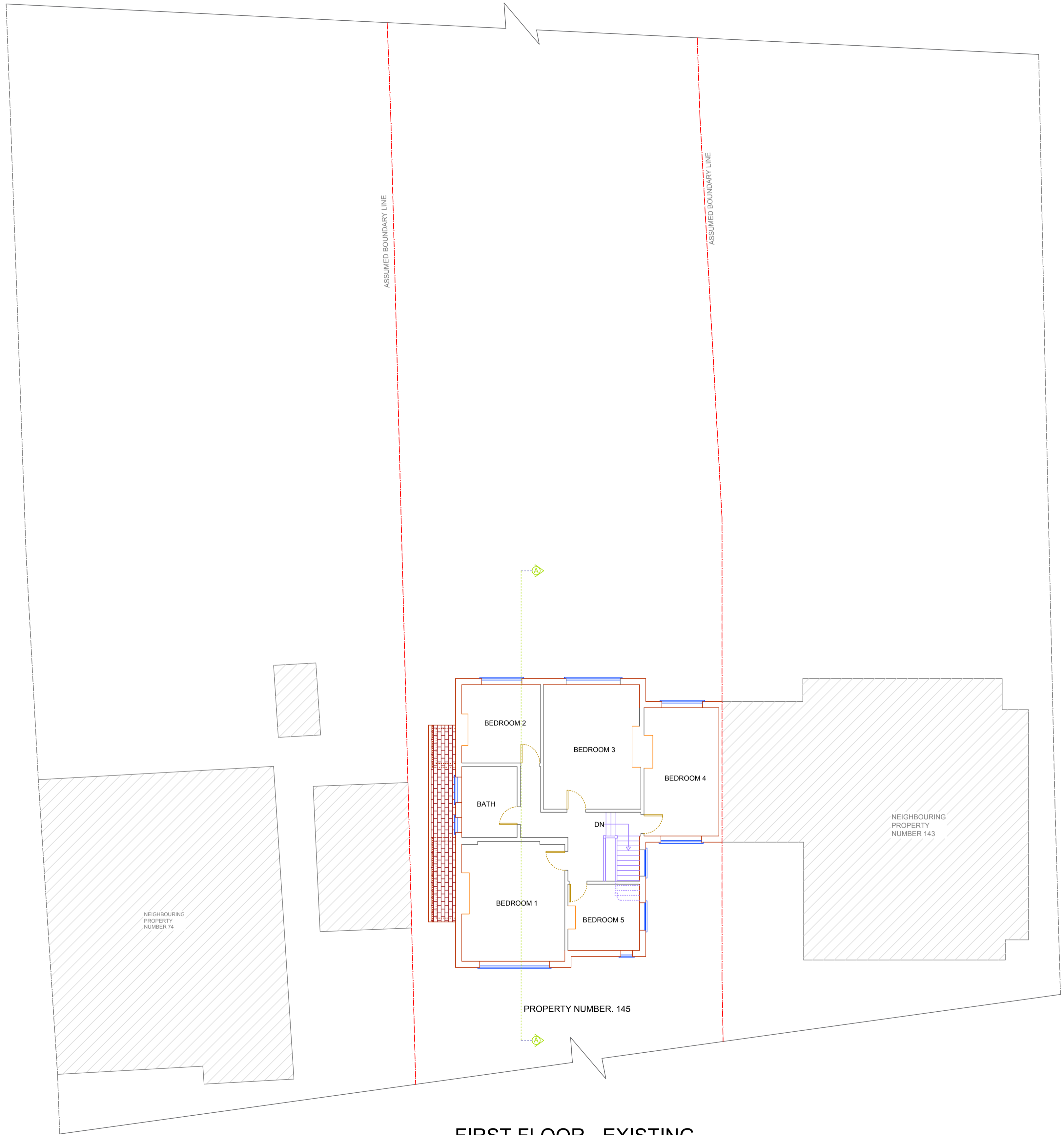
PLANNING ISSUE
DO NOT USE FOR ANY CONSTRUCTION WORK.
ANY DEVELOPMENT WITHOUT A CERTIFICATE OF LAWFULNESS OR PLANNING PERMISSION IS SOLELY AT OWNERS RISK.

Revision	Description	Date
<p>GET RAPID PLANS Architectural Services 02084786567 / 07538938251 / 07507665812 169 Southpark Drive Ilford IG3 9AD Email: getrapidplans@gmail.com Website: getrapidplans.co.uk</p> <p>ADDRESS 145 FRERN BARNET N20 0NP</p> <p>PROJECT 1) SINGLE STOREY REAR EXTENSION</p> <p>TITLE PROPOSED GROUND FLOOR PLAN</p>		

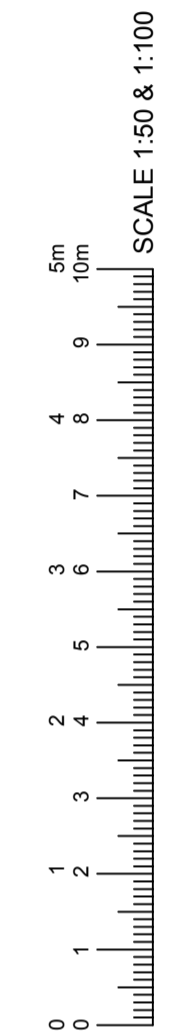
<p>DRAWN AT HEAD OFFICE</p>	<p>SCALE 1:100 @A1</p>
<p>DRAWING NO A06-2</p>	<p>REVISION</p>
<p>DATE 22-03-2024</p>	<p>DRAWN BY</p>



PAPER SIZE
A1



3 FIRST FLOOR - EXISTING
1:100

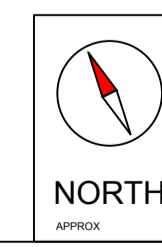


ALL WORK TO COMPLY WITH CURRENT BUILDING REGULATIONS AND CODES OF PRACTICE.
ALL DIMENSIONS IN MM UNLESS NOTED OTHERWISE
MEASURED SURVEY DOES NOT INCLUDE FOR IRONSING SURVEY TO DETERMINE EXACT LOCATION OF STEELWORK/SUPPORTING STRUCTURE.
THIS DRAWING IS PREPARED SOLELY FOR DESIGN AND PLANNING SUBMISSION PURPOSES. IT IS NOT INTENDED OR SUITABLE FOR EITHER BUILDING REGULATIONS OR CONSTRUCTION PURPOSES AND SHOULD NOT BE USED FOR SUCH.
THIS DRAWING IS COPYRIGHT AND MUST NOT BE TRACED OR COPIED IN ANY WAY OR FORM.
PLEASE NOTE: PROPERTY OWNER TO ENSURE THAT ALL ASPECTS OF THE PARTY WALL ETC. ACT 1997 ARE COMPLIED WITH PRIOR TO ANY WORK COMMENCING ON SITE.
VARIATIONS IN SQUARENESS, DEPTH OF PLASTER ETC. MUST BE CHECKED FOR. WHERE NEW WALLS ARE SHOWN AS ALIGNED WITH EXISTING WALLS, PHYSICAL REMOVAL OF BRICKWORK AND / OR PLASTER TO ESTABLISH THE ACTUAL POSITION OF THE WALL BEING ATTACHED TO MUST BE CHECKED.
DOCUMENTS SHOULD BE USED AS THE DRAWING STATUS DESCRIBED. ANY OTHER USE IS DONE SO AT THE RESPONSIBILITY OF THE USER.
MATERIALS SHOULD MATCH THOSE OF THE EXISTING DWELLING
NO WORK TO BE CARRIED OUT PRIOR TO THE APPROVAL OF THE DRAWINGS UNDER THE TOWN PLANNING AND COUNTRY PLANNING ACTS AND THE BUILDING REGULATIONS.
CONTRACTOR TO BE RESPONSIBLE FOR NOTIFYING THE LOCAL AUTHORITY FOR THE START OF THE WORK.
DO NOT SCALE THE DRAWINGS EXCEPT FOR THE PLANNING APPLICATION PURPOSE.

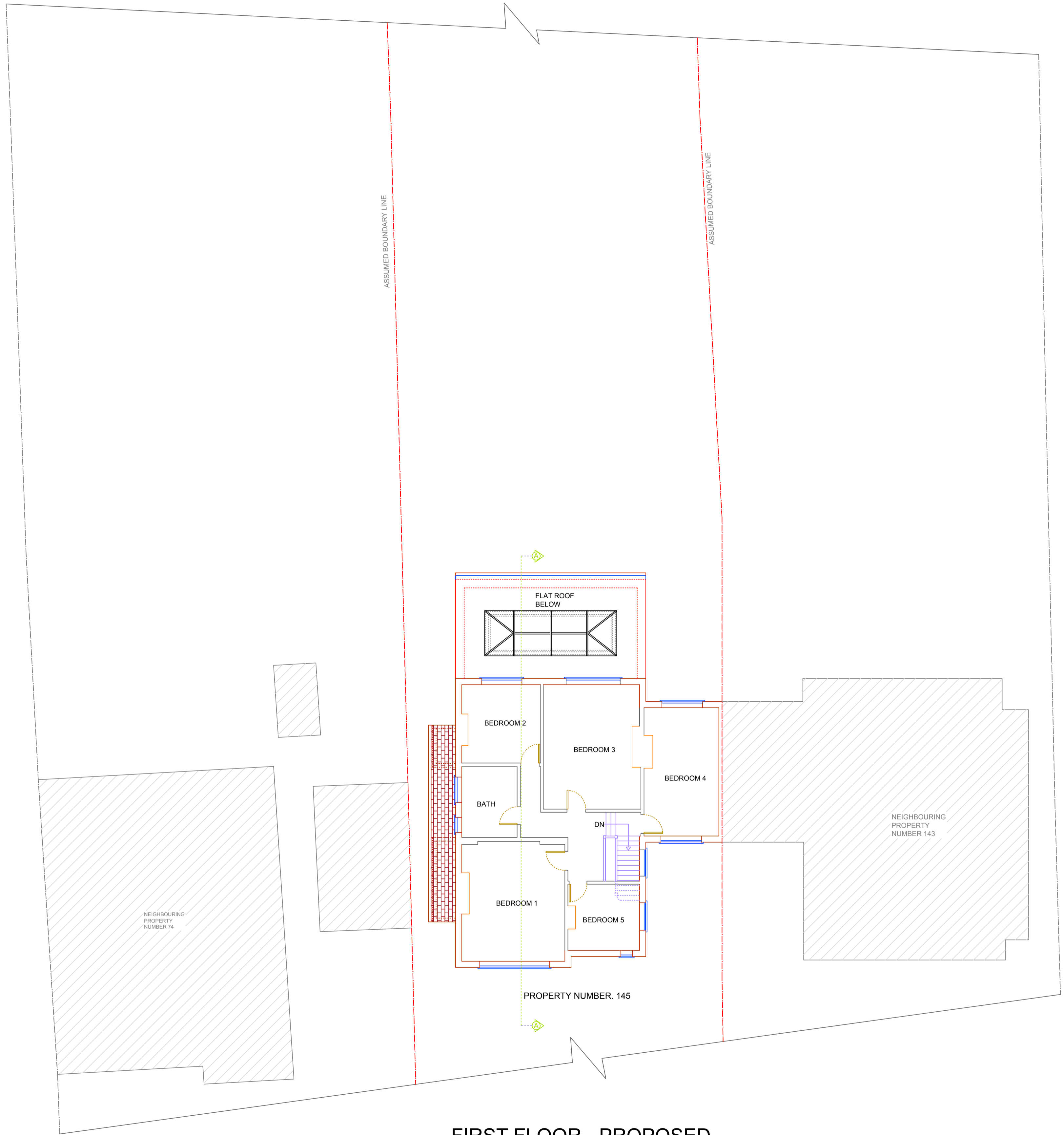
PLANNING ISSUE
DO NOT USE FOR ANY CONSTRUCTION WORK
ANY DEVELOPMENT WITHOUT A CERTIFICATE OF LAWFULNESS OR PLANNING PERMISSION IS SOLELY AT OWNERS RISK

Revision	Description	Date
<p>GET RAPID PLANS Architectural Services 02084786567 / 07538938251 / 07507665812 169 Southpark Drive Ilford IG3 9AD Email: getrapidplans@gmail.com Website: getrapidplans.co.uk</p> <p>ADDRESS 145 FRERN BARNET N20 0NP</p> <p>PROJECT 1) SINGLE STOREY REAR EXTENSION</p> <p>TITLE EXISTING FIRST FLOOR PLAN</p>		

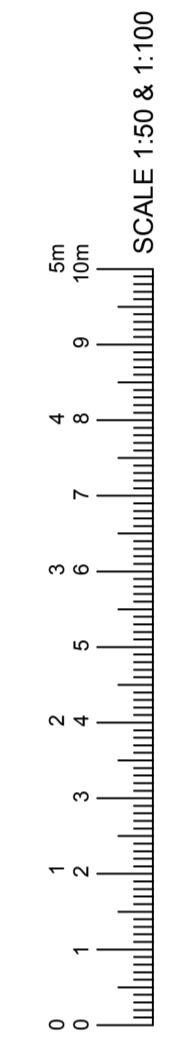
<p>DRAWN AT HEAD OFFICE</p> <p>DRAWING NO A06-3</p>	<p>SCALE 1:100 @A1</p> <p>REVISION</p> <p>DRAWN BY</p> <p>DATE 22-03-2024</p>
---	---



H
PAPER
SIZE
A1



4 FIRST FLOOR - PROPOSED
1:100

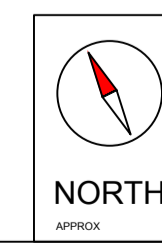


ALL WORK TO COMPLY WITH CURRENT BUILDING REGULATIONS AND CODES OF PRACTICE.
ALL DIMENSIONS IN MM UNLESS NOTED OTHERWISE
MEASURED SURVEY DOES NOT INCLUDE FOR WITHINING SURVEY TO DETERMINE EXACT LOCATION OF STEELWORK/SUPPORTING STRUCTURE.
THIS DRAWING IS PREPARED SOLELY FOR DESIGN AND PLANNING SUBMISSION PURPOSES. IT IS NOT INTENDED OR SUITABLE FOR EITHER BUILDING REGULATIONS OR CONSTRUCTION PURPOSES AND SHOULD NOT BE USED FOR SUCH.
THIS DRAWING IS COPYRIGHT AND MUST NOT BE TRACED OR COPIED IN ANY WAY OR FORM.
PLEASE NOTE: PROPERTY OWNER TO ENSURE THAT ALL ASPECTS OF THE PARTY WALL ETC. ACT 1997 ARE COMPLIED WITH PRIOR TO ANY WORK COMMENCING ON SITE.
VARIATIONS IN SQUARENESS, DEPTH OF PLASTER ETC. MUST BE CHECKED FOR. WHERE NEW WALLS ARE SHOWN AS ALIGNED WITH EXISTING WALLS, PHYSICAL REMOVAL OF BRICKWORK AND / OR PLASTER TO ESTABLISH THE ACTUAL POSITION OF THE WALL BEING ATTACHED TO MUST BE CHECKED.
DOCUMENTS SHOULD BE USED AS THE DRAWING STATUS DESCRIBED. ANY OTHER USE IS DONE SO AT THE RESPONSIBILITY OF THE USER.
MATERIALS SHOULD MATCH THOSE OF THE EXISTING DWELLING
NO WORK TO BE CARRIED OUT PRIOR TO THE APPROVAL OF THE DRAWINGS UNDER THE TOWN PLANNING AND COUNTRY PLANNING ACTS AND THE BUILDING REGULATIONS.
CONTRACTOR TO BE RESPONSIBLE FOR NOTIFYING THE LOCAL AUTHORITY FOR THE START OF THE WORK.
DO NOT SCALE THE DRAWINGS EXCEPT FOR THE PLANNING APPLICATION PURPOSE.

PLANNING ISSUE
DO NOT USE FOR ANY CONSTRUCTION WORK
ANY DEVELOPMENT WITHOUT A CERTIFICATE OF LAWFULNESS OR PLANNING PERMISSION IS SOLELY AT OWNERS RISK

Revision	Description	Date
<p>GET RAPID PLANS Architectural Services 02084786567 / 07538938251 / 07507665812 169 Southpark Drive Ilford IG3 9AD Email: getrapidplans@gmail.com Website: getrapidplans.co.uk</p> <p>ADDRESS 145 FRERN BARNET N20 0NP</p> <p>PROJECT 1) SINGLE STOREY REAR EXTENSION</p> <p>TITLE PROPOSED FIRST FLOOR PLAN</p>		

<p>DRAWN AT HEAD OFFICE</p> <p>DRAWING NO A06-4</p>	<p>SCALE 1:100 @A1</p> <p>REVISION</p> <p>DRAWN BY</p> <p>CHKD BY</p> <p>DATE 22-03-2024</p>
---	---



PAPER SIZE
A3

GET RAPID PLANS

getrapidplans.co.uk

ALL WORK TO COMPLY WITH CURRENT BUILDING REGULATIONS AND CODES OF PRACTICE.
 ALL DIMENSIONS IN MM UNLESS NOTED OTHERWISE
 MEASURED SURVEY DOES NOT INCLUDE FOR INTRUSIVE SURVEY TO DETERMINE EXACT LOCATION OF STEELWORK/SUPPORTING STRUCTURE.
 "THIS DRAWING IS PREPARED SOLELY FOR DESIGN AND PLANNING SUBMISSION PURPOSES. IT IS NOT INTENDED OR SUITABLE FOR EITHER BUILDING REGULATIONS OR CONSTRUCTION PURPOSES AND SHOULD NOT BE USED FOR SUCH".
 THIS DRAWING IS COPYRIGHT AND MUST NOT BE TRACED OR COPIED IN ANY WAY OR FORM.
PLEASE NOTE: PROPERTY OWNER TO ENSURE THAT ALL ASPECTS OF THE "PARTY WALL ETC, ACT 1996" ARE COMPLIED WITH PRIOR TO ANY WORK COMMENCING ON SITE.
 VARIATIONS IN SQUARENESS, DEPTH OF PLASTER ETC, MUST BE CHECKED FOR. WHERE NEW WALLS ARE SHOWN AS ALIGNED WITH EXISTING WALLS, PHYSICAL REMOVAL OF BRICKWORK AND / OR PLASTER TO ESTABLISH THE ACTUAL POSITION OF THE WALL BEING ATTACHED TO MUST BE CHECKED.
 DOCUMENTS SHOULD BE USED AS THE DRAWING STATUS DESCRIBED, ANY OTHER USE IS DONE SO AT THE RESPONSIBILITY OF THE USER.
MATERIALS SHOULD MATCH THOSE OF THE EXISTING DWELLING
 NO WORK TO BE CARRIED OUT PRIOR TO THE APPROVAL OF THE DRAWINGS UNDER THE TOWN PLANNING AND COUNTRY PLANNING ACTS AND THE BUILDING REGULATIONS. CONTRACTOR TO BE RESPONSIBLE FOR NOTIFYING THE LOCAL AUTHORITY FOR THE START OF THE WORK
 DO NOT SCALE THE DRAWINGS EXCEPT FOR THE PLANNING APPLICATION PURPOSE

PLANNING ISSUE
 DO NOT USE FOR ANY CONSTRUCTION WORK
 ANY DEVELOPMENT WITHOUT A CERTIFICATE OF LAWFULNESS OR PLANNING PERMISSION IS SOLELY AT OWNER'S RISK.



Revision	Description	Date

GET RAPID PLANS
 Architectural Services
07538938251 / 07507665812

169 South Park Drive Ilford IG3 1AD
 Email: getrapidplans@gmail.com
 Website: getrapidplans.co.uk

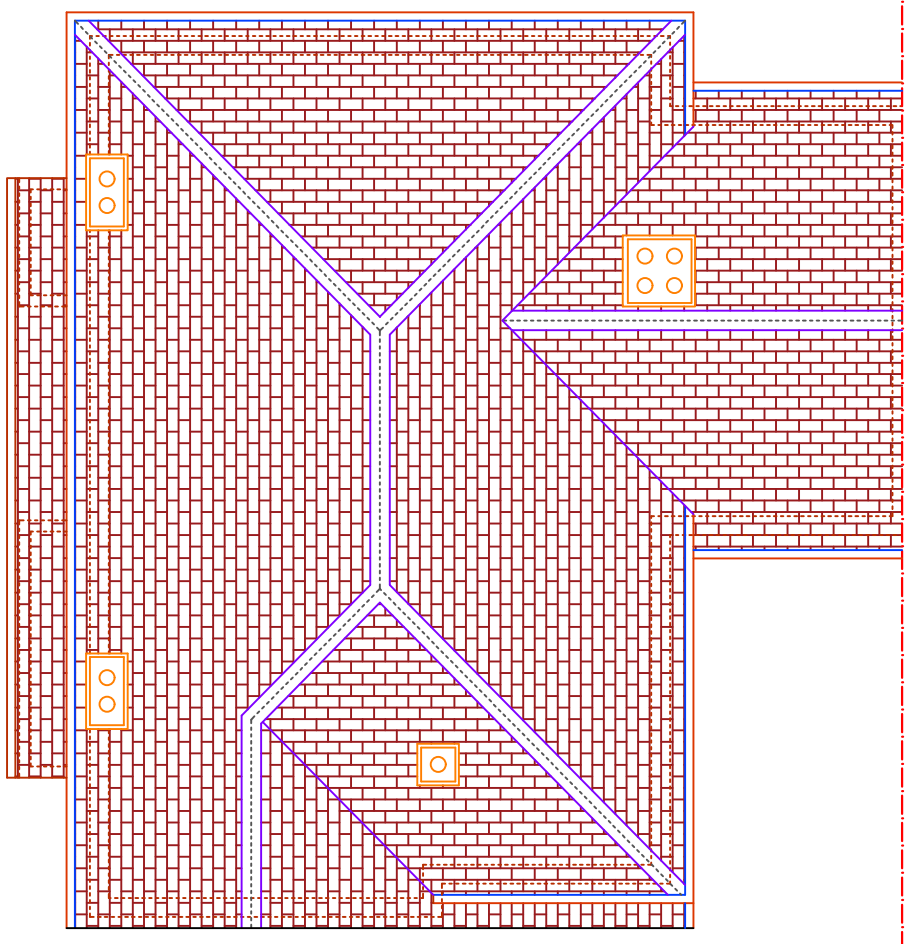
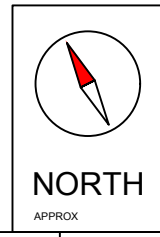
ADDRESS
 145 FRIERN BARNET
 N20 0NP

PROJECT
 1) SINGLE STOREY REAR EXTENSION

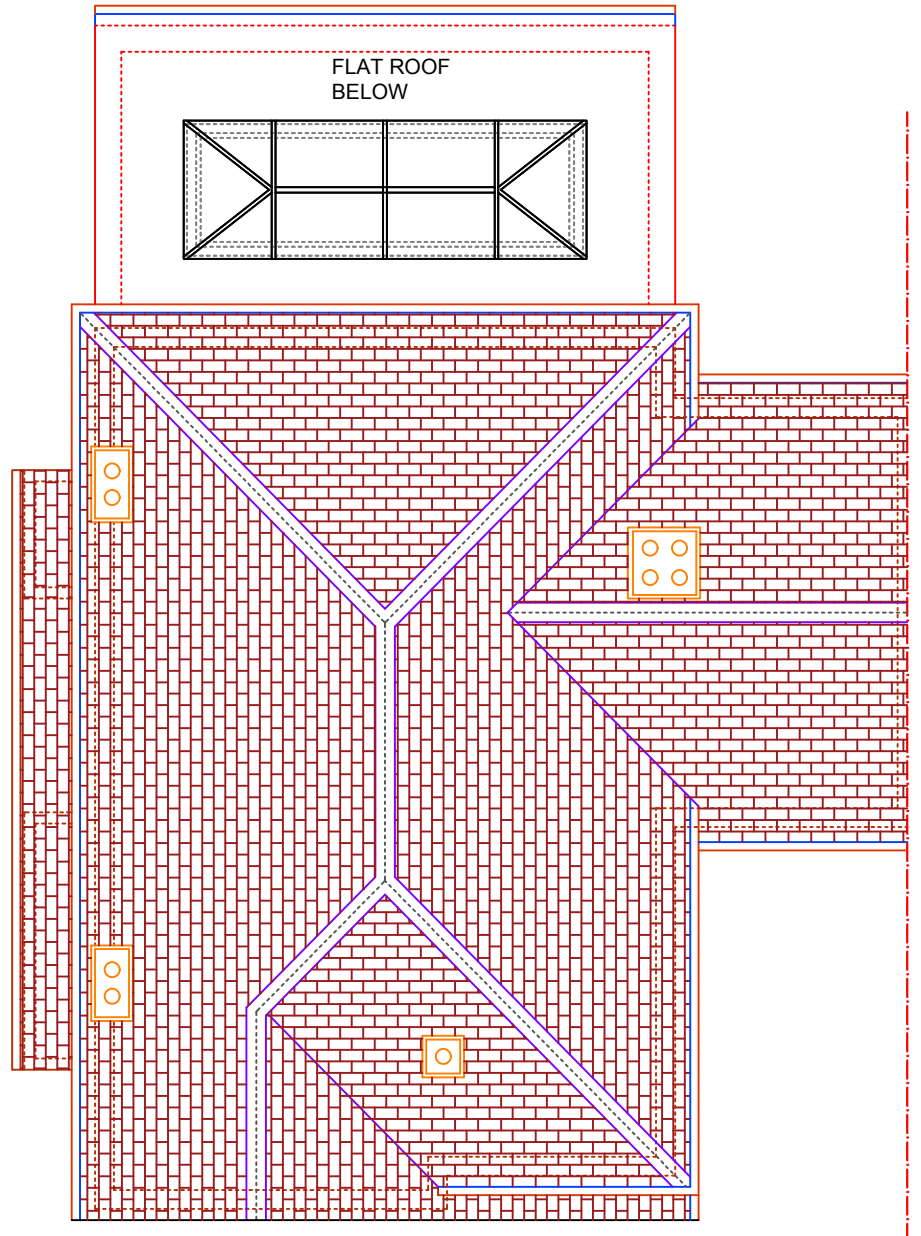
TITLE
 ROOF PLANS

DRAWN AT HEAD OFFICE SCALE **1:100 @A3**

DRAWING NO A06-5	DRAWN BY	CHKD BY
	REVISION	DATE
		22-03-2024



5 ROOF PLAN - EXISTING
1:100



6 ROOF PLAN - PROPOSED
1:100

PROPERTY NUMBER. 145

PROPERTY NUMBER. 145

NEIGHBOURING PROPERTY
NUMBER 143

NEIGHBOURING PROPERTY
NUMBER 143

0 7 5 3 8 9 3 8 2 5 1 - 0 7 5 0 7 6 6 5 8 1 2

PAPER SIZE
A3

GET RAPID PLANS

getrapidplans.co.uk



7 FRONT ELEVATION- EXISTING (NO CHANGES PROPOSED)
1:100

ALL WORK TO COMPLY WITH CURRENT BUILDING REGULATIONS AND CODES OF PRACTICE.
ALL DIMENSIONS IN MM UNLESS NOTED OTHERWISE
MEASURED SURVEY DOES NOT INCLUDE FOR INTRUSIVE SURVEY TO DETERMINE EXACT LOCATION OF STEELWORK/SUPPORTING STRUCTURE.

"THIS DRAWING IS PREPARED SOLELY FOR DESIGN AND PLANNING SUBMISSION PURPOSES. IT IS NOT INTENDED OR SUITABLE FOR EITHER BUILDING REGULATIONS OR CONSTRUCTION PURPOSES AND SHOULD NOT BE USED FOR SUCH".

THIS DRAWING IS COPYRIGHT AND MUST NOT BE TRACED OR COPIED IN ANY WAY OR FORM.

PLEASE NOTE: PROPERTY OWNER TO ENSURE THAT ALL ASPECTS OF THE "PARTY WALL ETC, ACT 1996" ARE COMPLIED WITH PRIOR TO ANY WORK COMMENCING ON SITE.

VARIATIONS IN SQUARENESS, DEPTH OF PLASTER ETC, MUST BE CHECKED FOR. WHERE NEW WALLS ARE SHOWN AS ALIGNED WITH EXISTING WALLS, PHYSICAL REMOVAL OF BRICKWORK AND / OR PLASTER TO ESTABLISH THE ACTUAL POSITION OF THE WALL BEING ATTACHED TO MUST BE CHECKED.

DOCUMENTS SHOULD BE USED AS THE DRAWING STATUS DESCRIBED, ANY OTHER USE IS DONE SO AT THE RESPONSIBILITY OF THE USER.

MATERIALS SHOULD MATCH THOSE OF THE EXISTING DWELLING

NO WORK TO BE CARRIED OUT PRIOR TO THE APPROVAL OF THE DRAWINGS UNDER THE TOWN PLANNING AND COUNTRY PLANNING ACTS AND THE BUILDING REGULATIONS. CONTRACTOR TO BE RESPONSIBLE FOR NOTIFYING THE LOCAL AUTHORITY FOR THE START OF THE WORK
DO NOT SCALE THE DRAWINGS EXCEPT FOR THE PLANNING APPLICATION PURPOSE

PLANNING ISSUE
DO NOT USE FOR ANY CONSTRUCTION WORK
ANY DEVELOPMENT WITHOUT A CERTIFICATE OF LAWFULNESS OR PLANNING PERMISSION IS SOLELY AT OWNER'S RISK.



Revision	Description	Date
----------	-------------	------

GET RAPID PLANS

Architectural Services

07538938251 / 07507665812

169 South Park Drive Ilford IG3 1AD

Email: getrapidplans@gmail.com

Website: getrapidplans.co.uk

ADDRESS
145 FRIERN BARNET
N20 0NP

PROJECT
1) SINGLE STOREY REAR EXTENSION

TITLE
EXISTING FRONT ELEVATION

DRAWN AT HEAD OFFICE SCALE 1:100 @A3

DRAWING NO A06-6	DRAWN BY	CHKD BY
	REVISION	DATE 22-03-2024

0 7 5 3 8 9 3 8 2 5 1 - 0 7 5 0 7 6 6 5 8 1 2

PAPER SIZE
A3

GET RAPID PLANS

getrapidplans.co.uk



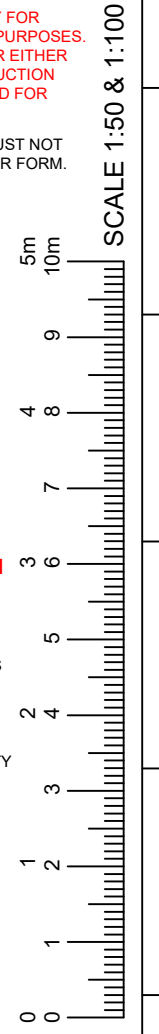
8 REAR ELEVATION - EXISTING
1:100



9 REAR ELEVATION - PROPOSED
1:100

ALL WORK TO COMPLY WITH CURRENT BUILDING REGULATIONS AND CODES OF PRACTICE.
ALL DIMENSIONS IN MM UNLESS NOTED OTHERWISE
MEASURED SURVEY DOES NOT INCLUDE FOR INTRUSIVE SURVEY TO DETERMINE EXACT LOCATION OF STEELWORK/SUPPORTING STRUCTURE.
"THIS DRAWING IS PREPARED SOLELY FOR DESIGN AND PLANNING SUBMISSION PURPOSES. IT IS NOT INTENDED OR SUITABLE FOR EITHER BUILDING REGULATIONS OR CONSTRUCTION PURPOSES AND SHOULD NOT BE USED FOR SUCH".
THIS DRAWING IS COPYRIGHT AND MUST NOT BE TRACED OR COPIED IN ANY WAY OR FORM.
PLEASE NOTE: PROPERTY OWNER TO ENSURE THAT ALL ASPECTS OF THE "PARTY WALL ETC, ACT 1996" ARE COMPLIED WITH PRIOR TO ANY WORK COMMENCING ON SITE.
VARIATIONS IN SQUARENESS, DEPTH OF PLASTER ETC, MUST BE CHECKED FOR. WHERE NEW WALLS ARE SHOWN AS ALIGNED WITH EXISTING WALLS, PHYSICAL REMOVAL OF BRICKWORK AND / OR PLASTER TO ESTABLISH THE ACTUAL POSITION OF THE WALL BEING ATTACHED TO MUST BE CHECKED.
DOCUMENTS SHOULD BE USED AS THE DRAWING STATUS DESCRIBED, ANY OTHER USE IS DONE SO AT THE RESPONSIBILITY OF THE USER.
MATERIALS SHOULD MATCH THOSE OF THE EXISTING DWELLING
NO WORK TO BE CARRIED OUT PRIOR TO THE APPROVAL OF THE DRAWINGS UNDER THE TOWN PLANNING AND COUNTRY PLANNING ACTS AND THE BUILDING REGULATIONS.
CONTRACTOR TO BE RESPONSIBLE FOR NOTIFYING THE LOCAL AUTHORITY FOR THE START OF THE WORK
DO NOT SCALE THE DRAWINGS EXCEPT FOR THE PLANNING APPLICATION PURPOSE

PLANNING ISSUE
DO NOT USE FOR ANY CONSTRUCTION WORK
ANY DEVELOPMENT WITHOUT A CERTIFICATE OF LAWFULNESS OR PLANNING PERMISSION IS SOLELY AT OWNER'S RISK.



Revision	Description	Date
----------	-------------	------

GET RAPID PLANS
Architectural Services
07538938251 / 07507665812
169 South Park Drive Ilford IG3 1AD
Email: getrapidplans@gmail.com
Website: getrapidplans.co.uk

ADDRESS
145 FRIERN BARNET
N20 0NP

PROJECT
1) SINGLE STOREY REAR EXTENSION

TITLE
REAR ELEVATIONS

DRAWN AT HEAD OFFICE SCALE 1:100 @A3

DRAWING NO A06-7	DRAWN BY	CHKD BY
	REVISION	DATE 22-03-2024

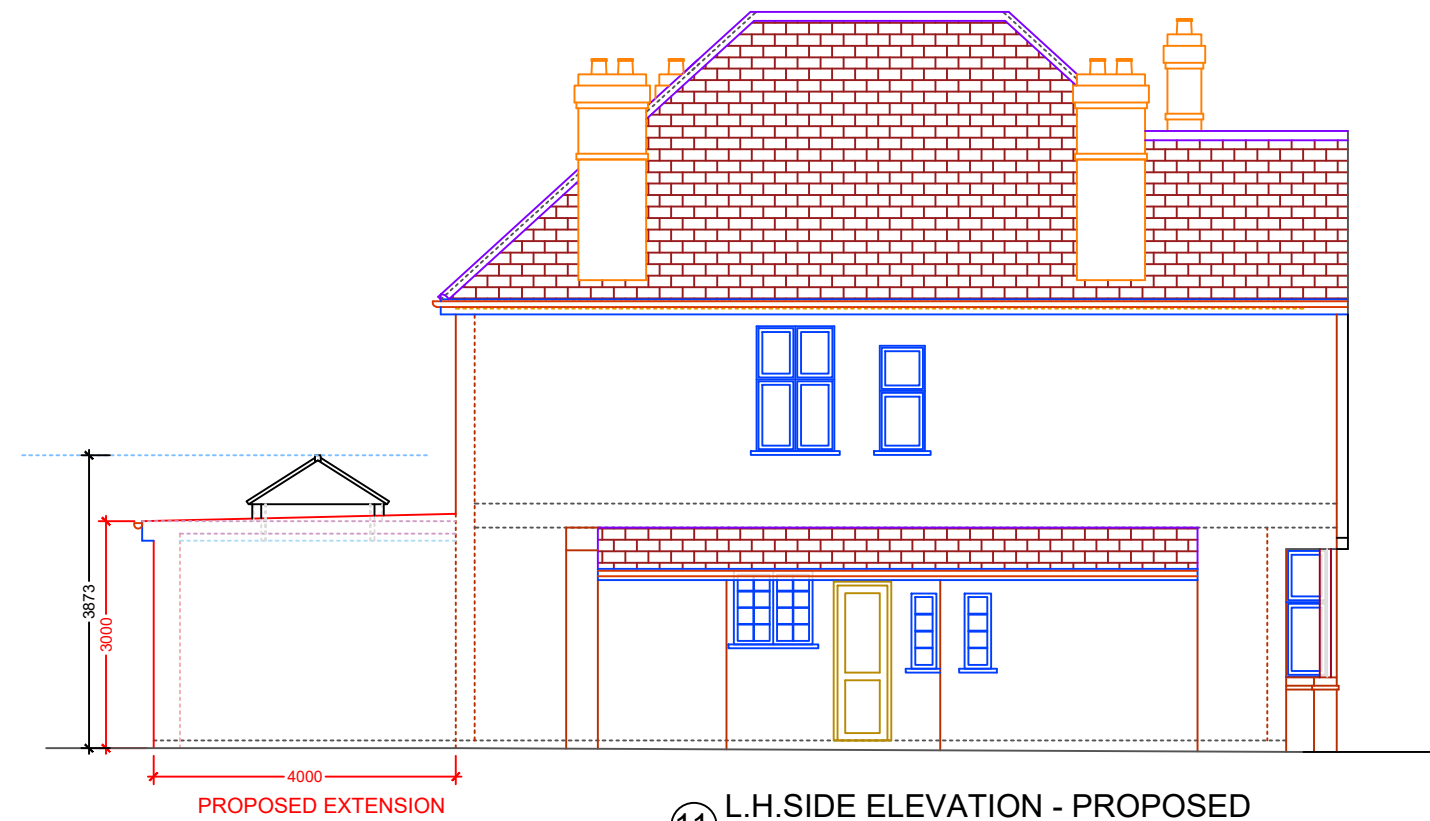
0 7 5 3 8 9 3 8 2 5 1 - 0 7 5 0 7 6 6 5 8 1 2

PAPER SIZE
A3

GET RAPID PLANS



10 L.H.SIDE ELEVATION - EXISTING
1:100



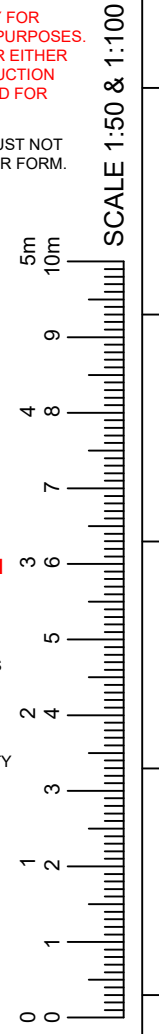
11 L.H.SIDE ELEVATION - PROPOSED
1:100

getrapidplans.co.uk

A
B
C

ALL WORK TO COMPLY WITH CURRENT BUILDING REGULATIONS AND CODES OF PRACTICE.
ALL DIMENSIONS IN MM UNLESS NOTED OTHERWISE
MEASURED SURVEY DOES NOT INCLUDE FOR INTRUSIVE SURVEY TO DETERMINE EXACT LOCATION OF STEELWORK/SUPPORTING STRUCTURE.
"THIS DRAWING IS PREPARED SOLELY FOR DESIGN AND PLANNING SUBMISSION PURPOSES. IT IS NOT INTENDED OR SUITABLE FOR EITHER BUILDING REGULATIONS OR CONSTRUCTION PURPOSES AND SHOULD NOT BE USED FOR SUCH".
THIS DRAWING IS COPYRIGHT AND MUST NOT BE TRACED OR COPIED IN ANY WAY OR FORM.
PLEASE NOTE: PROPERTY OWNER TO ENSURE THAT ALL ASPECTS OF THE "PARTY WALL ETC, ACT 1996" ARE COMPLIED WITH PRIOR TO ANY WORK COMMENCING ON SITE.
VARIATIONS IN SQUARENESS, DEPTH OF PLASTER ETC, MUST BE CHECKED FOR. WHERE NEW WALLS ARE SHOWN AS ALIGNED WITH EXISTING WALLS, PHYSICAL REMOVAL OF BRICKWORK AND / OR PLASTER TO ESTABLISH THE ACTUAL POSITION OF THE WALL BEING ATTACHED TO MUST BE CHECKED.
DOCUMENTS SHOULD BE USED AS THE DRAWING STATUS DESCRIBED, ANY OTHER USE IS DONE SO AT THE RESPONSIBILITY OF THE USER.
MATERIALS SHOULD MATCH THOSE OF THE EXISTING DWELLING
NO WORK TO BE CARRIED OUT PRIOR TO THE APPROVAL OF THE DRAWINGS UNDER THE TOWN PLANNING AND COUNTRY PLANNING ACTS AND THE BUILDING REGULATIONS.
CONTRACTOR TO BE RESPONSIBLE FOR NOTIFYING THE LOCAL AUTHORITY FOR THE START OF THE WORK
DO NOT SCALE THE DRAWINGS EXCEPT FOR THE PLANNING APPLICATION PURPOSE

PLANNING ISSUE
DO NOT USE FOR ANY CONSTRUCTION WORK
ANY DEVELOPMENT WITHOUT A CERTIFICATE OF LAWFULNESS OR PLANNING PERMISSION IS SOLELY AT OWNER'S RISK.



Revision	Description	Date
----------	-------------	------

GET RAPID PLANS
Architectural Services
07538938251 / 07507665812
169 South Park Drive Ilford IG3 1AD
Email: getrapidplans@gmail.com
Website: getrapidplans.co.uk

ADDRESS
145 FRIERN BARNET
N20 0NP

PROJECT
1) SINGLE STOREY REAR EXTENSION

TITLE
L.H.SIDE ELEVATIONS

DRAWN AT HEAD OFFICE SCALE **1:100 @A3**

DRAWING NO A06-8	DRAWN BY	CHKD BY
	REVISION	DATE 04-03-2024

0 7 5 3 8 9 3 8 2 5 1 - 0 7 5 0 7 6 6 5 8 1 2

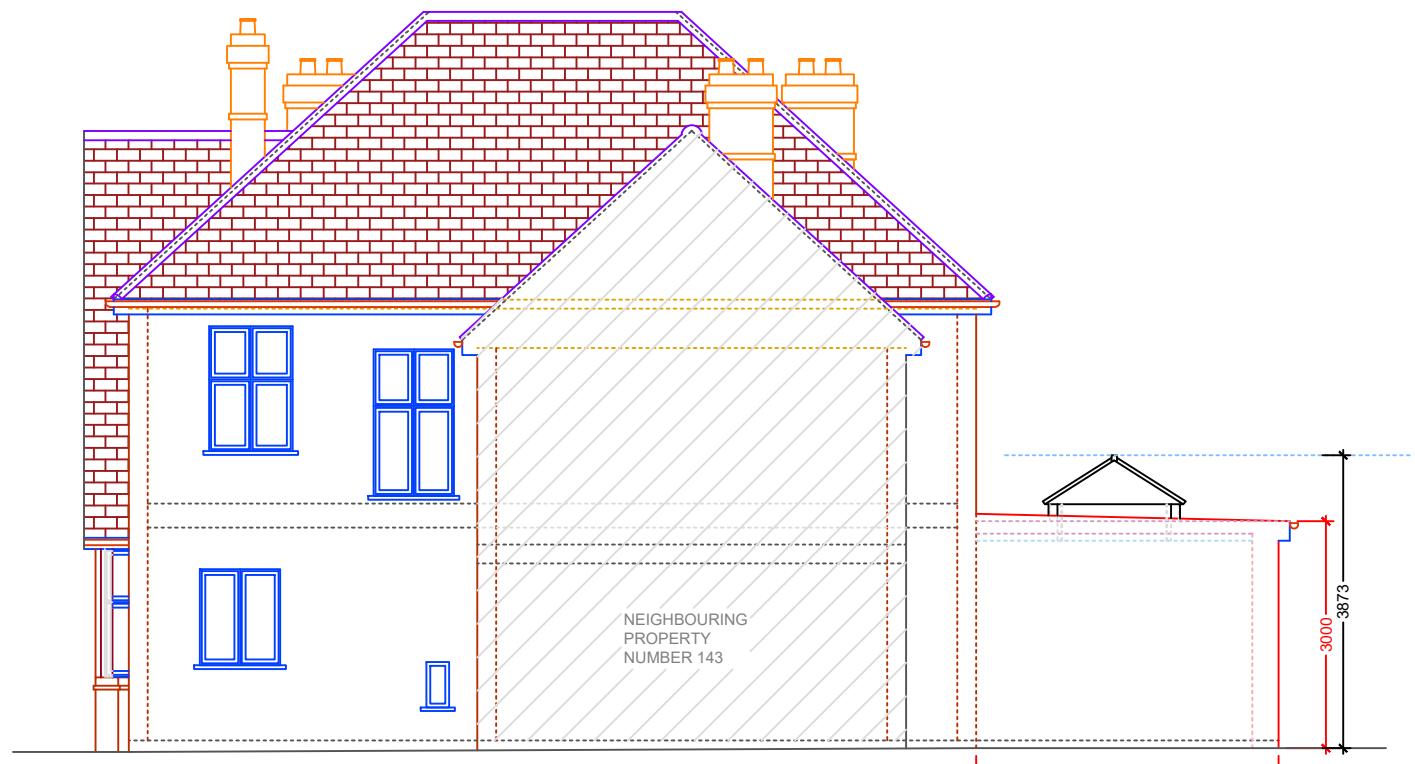
PAPER SIZE
A3

GET RAPID PLANS

getrapidplans.co.uk



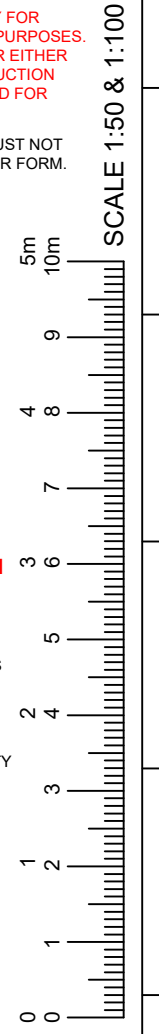
12 R.H.SIDE ELEVATION - EXISTING
1:100



13 R.H.SIDE ELEVATION - PROPOSED
1:100

ALL WORK TO COMPLY WITH CURRENT BUILDING REGULATIONS AND CODES OF PRACTICE.
ALL DIMENSIONS IN MM UNLESS NOTED OTHERWISE
MEASURED SURVEY DOES NOT INCLUDE FOR INTRUSIVE SURVEY TO DETERMINE EXACT LOCATION OF STEELWORK/SUPPORTING STRUCTURE.
"THIS DRAWING IS PREPARED SOLELY FOR DESIGN AND PLANNING SUBMISSION PURPOSES. IT IS NOT INTENDED OR SUITABLE FOR EITHER BUILDING REGULATIONS OR CONSTRUCTION PURPOSES AND SHOULD NOT BE USED FOR SUCH".
THIS DRAWING IS COPYRIGHT AND MUST NOT BE TRACED OR COPIED IN ANY WAY OR FORM.
PLEASE NOTE: PROPERTY OWNER TO ENSURE THAT ALL ASPECTS OF THE "PARTY WALL ETC, ACT 1996" ARE COMPLIED WITH PRIOR TO ANY WORK COMMENCING ON SITE.
VARIATIONS IN SQUARENESS, DEPTH OF PLASTER ETC, MUST BE CHECKED FOR. WHERE NEW WALLS ARE SHOWN AS ALIGNED WITH EXISTING WALLS, PHYSICAL REMOVAL OF BRICKWORK AND / OR PLASTER TO ESTABLISH THE ACTUAL POSITION OF THE WALL BEING ATTACHED TO MUST BE CHECKED.
DOCUMENTS SHOULD BE USED AS THE DRAWING STATUS DESCRIBED, ANY OTHER USE IS DONE SO AT THE RESPONSIBILITY OF THE USER.
MATERIALS SHOULD MATCH THOSE OF THE EXISTING DWELLING
NO WORK TO BE CARRIED OUT PRIOR TO THE APPROVAL OF THE DRAWINGS UNDER THE TOWN PLANNING AND COUNTRY PLANNING ACTS AND THE BUILDING REGULATIONS.
CONTRACTOR TO BE RESPONSIBLE FOR NOTIFYING THE LOCAL AUTHORITY FOR THE START OF THE WORK
DO NOT SCALE THE DRAWINGS EXCEPT FOR THE PLANNING APPLICATION PURPOSE

PLANNING ISSUE
DO NOT USE FOR ANY CONSTRUCTION WORK
ANY DEVELOPMENT WITHOUT A CERTIFICATE OF LAWFULNESS OR PLANNING PERMISSION IS SOLELY AT OWNER'S RISK.



Revision	Description	Date
----------	-------------	------

GET RAPID PLANS
Architectural Services
07538938251 / 07507665812
169 South Park Drive Ilford IG3 1AD
Email: getrapidplans@gmail.com
Website: getrapidplans.co.uk

ADDRESS
145 FRIERN BARNET
N20 0NP

PROJECT
1) SINGLE STOREY REAR EXTENSION

TITLE
R.H.SIDE ELEVATIONS

DRAWN AT HEAD OFFICE SCALE 1:100 @A3

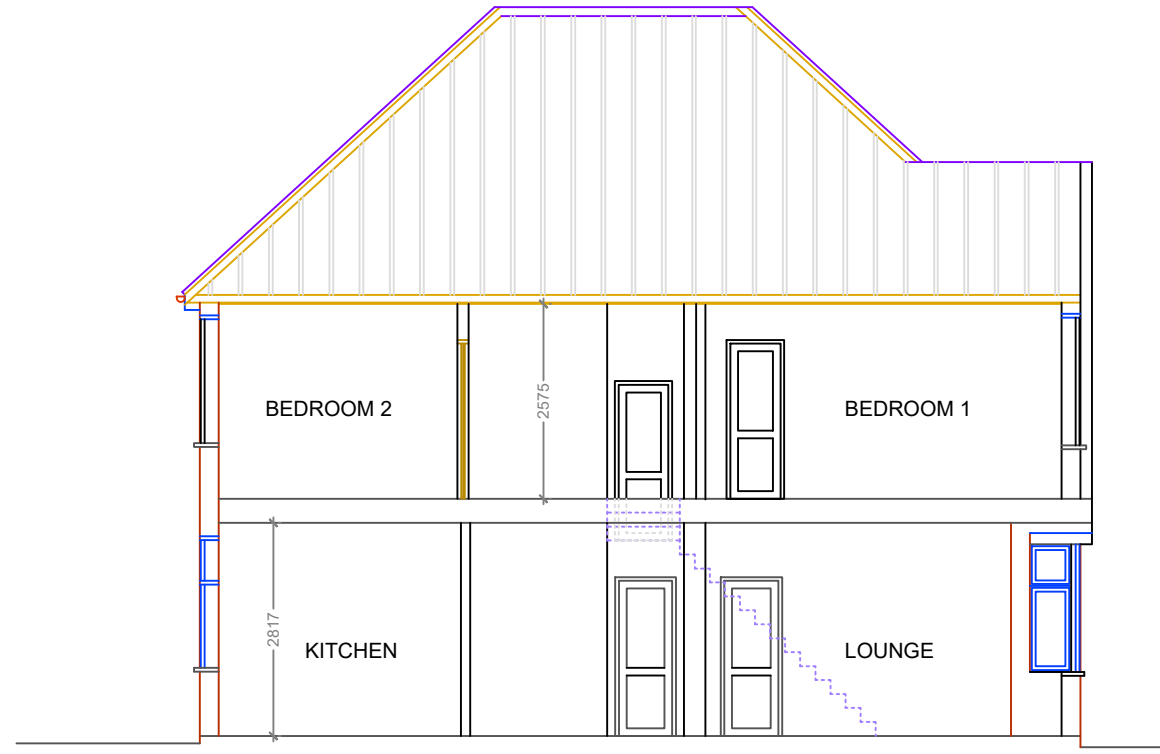
DRAWING NO A06-9	DRAWN BY	CHKD BY
	REVISION	DATE 04-03-2024

0 7 5 3 8 9 3 8 2 5 1 - 0 7 5 0 7 6 6 5 8 1 2

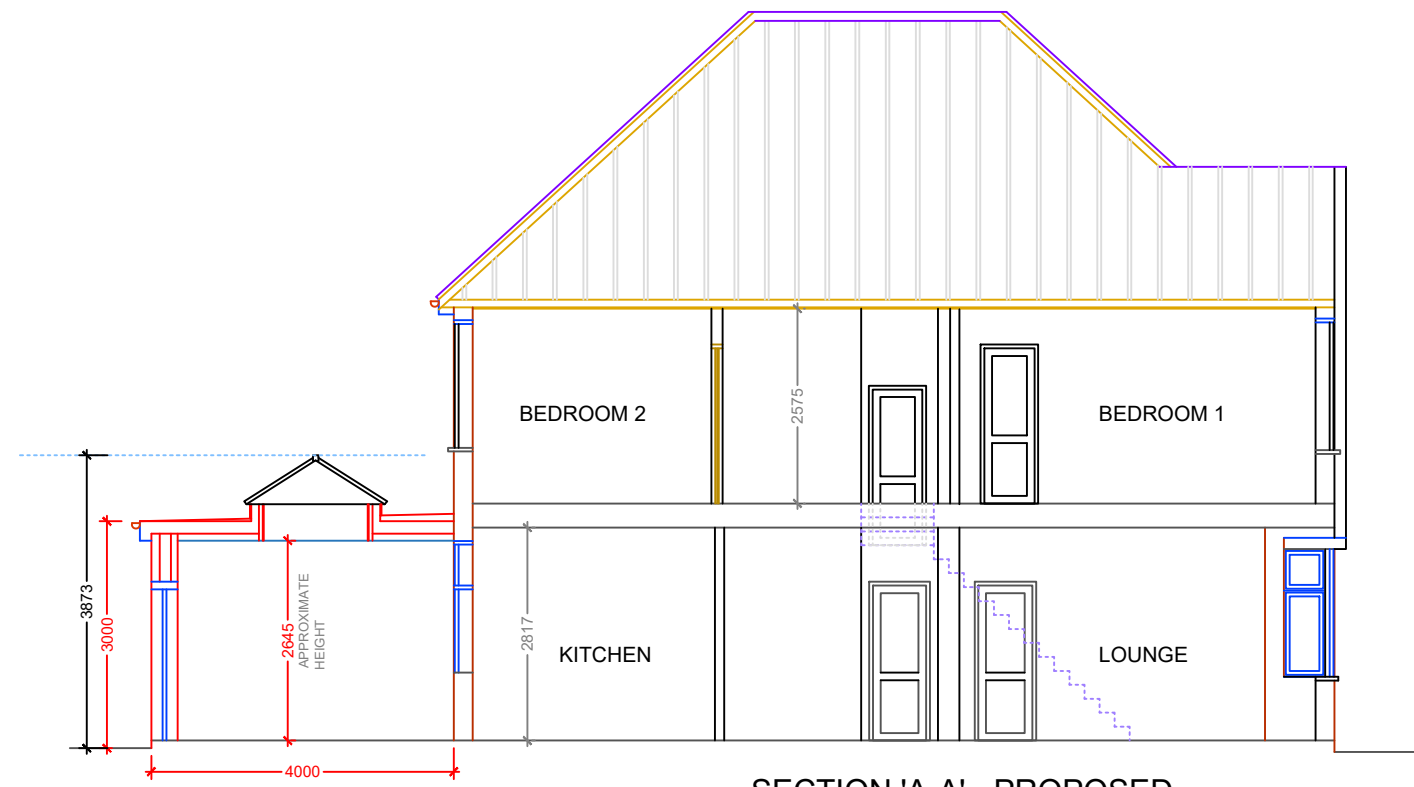
PAPER SIZE
A3

GET RAPID PLANS

getrapidplans.co.uk



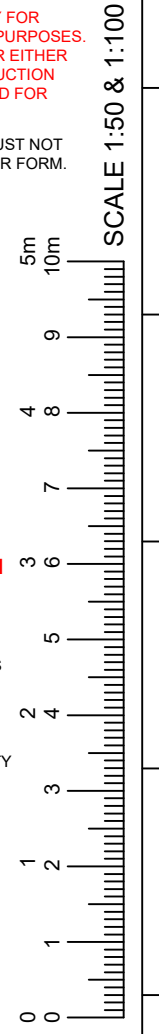
14 SECTION 'A-A' - EXISTING
1:100



15 SECTION 'A-A' - PROPOSED
1:100

ALL WORK TO COMPLY WITH CURRENT BUILDING REGULATIONS AND CODES OF PRACTICE.
ALL DIMENSIONS IN MM UNLESS NOTED OTHERWISE
MEASURED SURVEY DOES NOT INCLUDE FOR INTRUSIVE SURVEY TO DETERMINE EXACT LOCATION OF STEELWORK/SUPPORTING STRUCTURE.
"THIS DRAWING IS PREPARED SOLELY FOR DESIGN AND PLANNING SUBMISSION PURPOSES. IT IS NOT INTENDED OR SUITABLE FOR EITHER BUILDING REGULATIONS OR CONSTRUCTION PURPOSES AND SHOULD NOT BE USED FOR SUCH".
THIS DRAWING IS COPYRIGHT AND MUST NOT BE TRACED OR COPIED IN ANY WAY OR FORM.
PLEASE NOTE: PROPERTY OWNER TO ENSURE THAT ALL ASPECTS OF THE "PARTY WALL ETC, ACT 1996" ARE COMPLIED WITH PRIOR TO ANY WORK COMMENCING ON SITE.
VARIATIONS IN SQUARENESS, DEPTH OF PLASTER ETC, MUST BE CHECKED FOR. WHERE NEW WALLS ARE SHOWN AS ALIGNED WITH EXISTING WALLS, PHYSICAL REMOVAL OF BRICKWORK AND / OR PLASTER TO ESTABLISH THE ACTUAL POSITION OF THE WALL BEING ATTACHED TO MUST BE CHECKED.
DOCUMENTS SHOULD BE USED AS THE DRAWING STATUS DESCRIBED, ANY OTHER USE IS DONE SO AT THE RESPONSIBILITY OF THE USER.
MATERIALS SHOULD MATCH THOSE OF THE EXISTING DWELLING
NO WORK TO BE CARRIED OUT PRIOR TO THE APPROVAL OF THE DRAWINGS UNDER THE TOWN PLANNING AND COUNTRY PLANNING ACTS AND THE BUILDING REGULATIONS.
CONTRACTOR TO BE RESPONSIBLE FOR NOTIFYING THE LOCAL AUTHORITY FOR THE START OF THE WORK
DO NOT SCALE THE DRAWINGS EXCEPT FOR THE PLANNING APPLICATION PURPOSE

PLANNING ISSUE
DO NOT USE FOR ANY CONSTRUCTION WORK
ANY DEVELOPMENT WITHOUT A CERTIFICATE OF LAWFULNESS OR PLANNING PERMISSION IS SOLELY AT OWNER'S RISK.



Revision	Description	Date

GET RAPID PLANS
Architectural Services
07538938251 / 07507665812
169 South Park Drive Ilford IG3 1AD
Email: getrapidplans@gmail.com
Website: getrapidplans.co.uk

ADDRESS
145 FRIERN BARNET
N20 0NP

PROJECT
1) SINGLE STOREY REAR EXTENSION

TITLE
SECTIONS 'A-A'

DRAWN AT HEAD OFFICE SCALE 1:100 @A3

DRAWING NO	DRAWN BY	CHKD BY
A06-10		
	REVISION	DATE
		04-03-2024

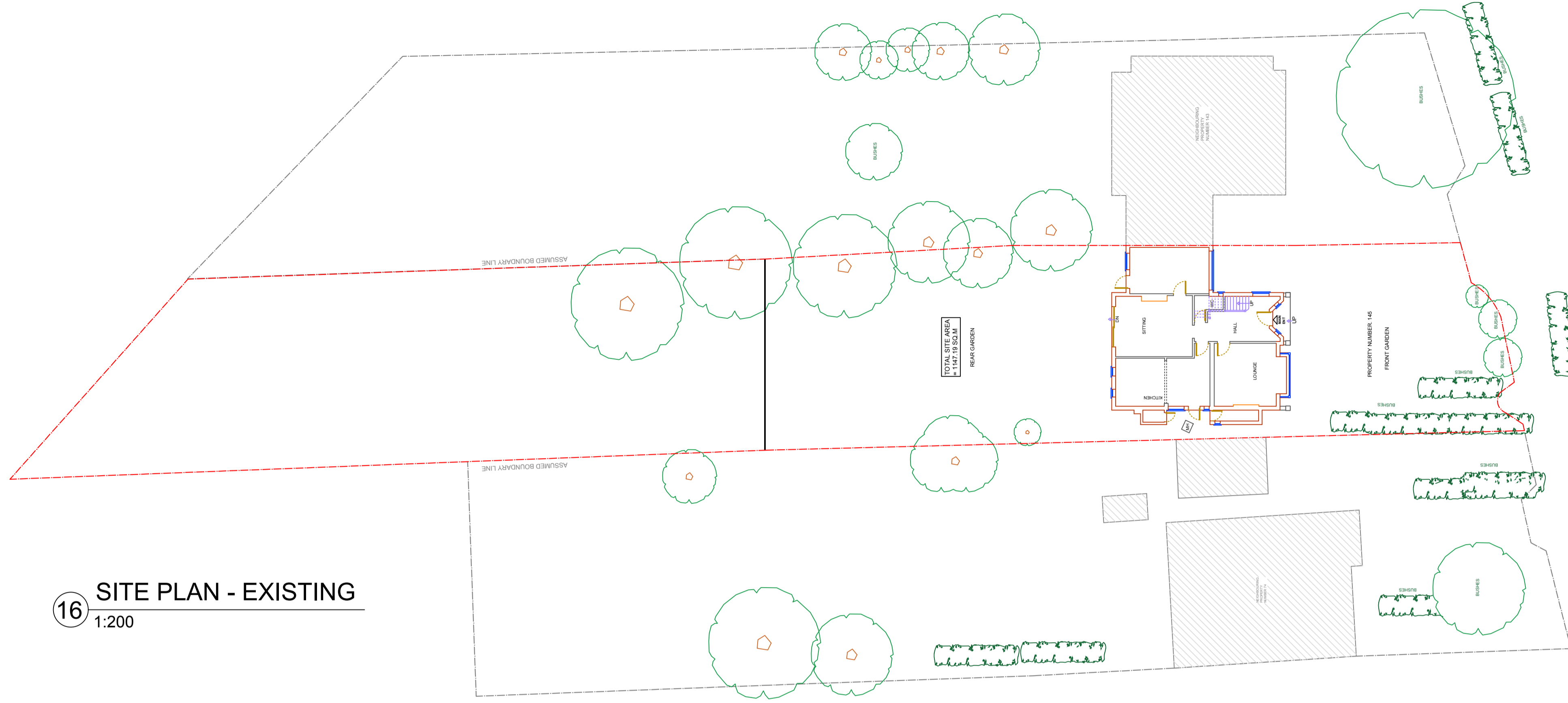
0 7 5 3 8 9 3 8 2 5 1 - 0 7 5 0 7 6 6 5 8 1 2

H

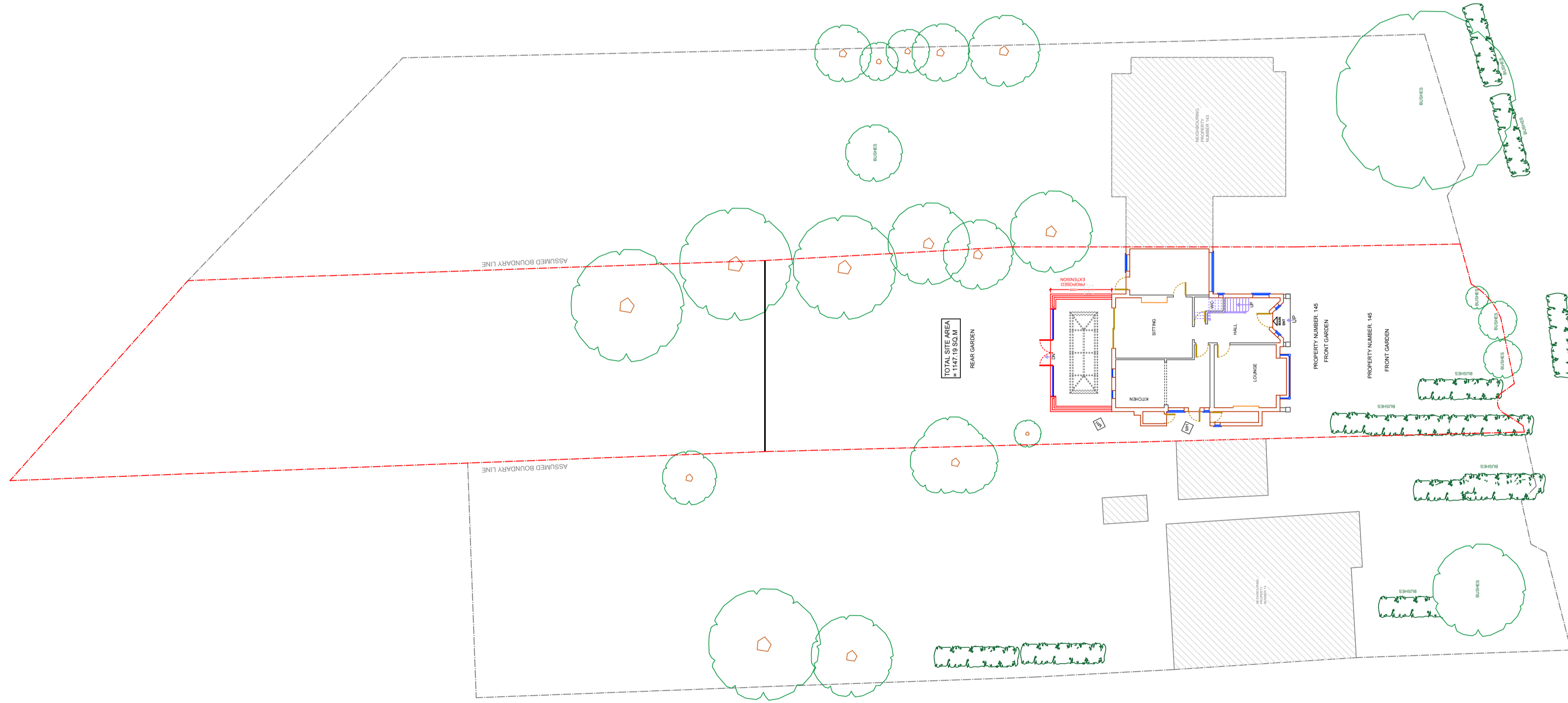
PAPER SIZE

A1

16 SITE PLAN - EXISTING
1:200



17 SITE PLAN - PROPOSED
1:200



ALL WORK TO COMPLY WITH CURRENT BUILDING REGULATIONS AND CODES OF PRACTICE.
ALL DIMENSIONS IN MM UNLESS NOTED OTHERWISE
MEASURED SURVEY DOES NOT INCLUDE FOR WITHINING SURVEY TO DETERMINE EXACT LOCATION OF STEELWORK/SUPPORTING STRUCTURE.
THIS DRAWING IS PREPARED SOLELY FOR DESIGN AND PLANNING SUBMISSION PURPOSES. IT IS NOT INTENDED OR SUITABLE FOR EITHER BUILDING REGULATIONS OR CONSTRUCTION PURPOSES AND SHOULD NOT BE USED FOR SUCH.
THIS DRAWING IS COPYRIGHT AND MUST NOT BE TRACED OR COPIED IN ANY WAY OR FORM.
PLEASE NOTE: PROPERTY OWNER TO ENSURE THAT ALL ASPECTS OF THE PARTY WALL ETC. ACT 1997 ARE COMPLIED WITH PRIOR TO ANY WORK COMMENCING ON SITE.
VARIATIONS IN SQUARENESS, DEPTH OF PLASTER ETC. MUST BE CHECKED FOR. WHERE NEW WALLS ARE SHOWN AS ALIGNED WITH EXISTING WALLS, PHYSICAL REMOVAL OF BRICKWORK AND / OR PLASTER TO ESTABLISH THE ACTUAL POSITION OF THE WALL BEING ATTACHED TO MUST BE CHECKED.
DOCUMENTS SHOULD BE USED AS THE DRAWING STATUS DESCRIBED. ANY OTHER USE IS DONE SO AT THE RESPONSIBILITY OF THE USER.
MATERIALS SHOULD MATCH THOSE OF THE EXISTING DWELLING
NO WORK TO BE CARRIED OUT PRIOR TO THE APPROVAL OF THE DRAWINGS UNDER THE TOWN PLANNING AND COUNTRY PLANNING ACTS AND THE BUILDING REGULATIONS.
CONTRACTOR TO BE RESPONSIBLE FOR NOTIFYING THE LOCAL AUTHORITY FOR THE START OF THE WORK.
DO NOT SCALE THE DRAWINGS EXCEPT FOR THE PLANNING APPLICATION PURPOSE.

PLANNING ISSUE
DO NOT USE FOR ANY CONSTRUCTION WORK
ANY DEVELOPMENT WITHOUT A CERTIFICATE OF LAWFULNESS OR PLANNING PERMISSION IS SOLELY AT OWNERS RISK

Revision	Description	Date
<p>GET RAPID PLANS Architectural Services 02084786567 / 07538938251 / 07507665812 169 Southpark Drive Ifford IG3 9AD Email: getrapidplans@gmail.com Website: getrapidplans.co.uk</p> <p>ADDRESS 145 FRIERN BARNET N20 0NP</p> <p>PROJECT 1) SINGLE STOREY REAR EXTENSION</p> <p>TITLE SITE PLANS</p> <p>DRAWN AT HEAD OFFICE SCALE 1:200 @A1</p> <p>DRAWING NO A06-11 REVISION DRAWN BY CHWB BY DATE 22-03-2024</p>		

