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DESIGN, ACCESS, AND HERITAGE STATEMENT

Proposed Extension and Alterations to 17 Church Way, Iffley, Oxford OX4 4DY



ORA | design
architecture

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1. INTRODUCTION

This Design, Access, and Heritage statement acts as a framework for identifying the implications and opportunities that the proposed extensions and alterations can bring to the existing two-storey detached dwelling.

The proposed works consist of a rear ground floor single storey extension to make better use of the existing layout of the family home.

The residential proposal has been designed in accordance with the Oxford City planning policies, design guidance with consideration to the sites location within Iffley conservation area.

This report is divided into the following sections:

1. Introduction
2. Heritage Statement
3. Existing Dwelling
4. Proposals
5. Design Principles
6. Materials
7. Access
8. Conclusion

Appendix A – Pre-Planning Application Written Feedback

Appendix B – Response to Pre-Application Feedback

2. HERITAGE STATEMENT

Oxford Iffley Conservation Area details can be viewed on the oxford city Council site <https://www.oxford.gov.uk/directory-record/219/iffley>

In summary the listing is as follows:

The ancient village of Iffley ("Givetelei" of the Domesday Book) occupies a rocky promontory on the east bank of the Isis, some two miles south of the centre of Oxford. Until the 19th century, the main road to Henley ran along Iffley Turn and through the village. The northern end of the old village is marked by Tree Lane (a medieval sheep-way) and the Tree Hotel, where the Old Tree Inn once stood.

Towards the end of the 18th century, wealthy citizens of Oxford began to build country houses within easy reach of the city and the village expanded to the north by the addition of large houses in landscaped grounds, of which a number still remain with their heritage of fine trees. By the middle of the 19th century, the agricultural village was already acquiring its present, residential character.

As noted in the written feedback to the pre-application meeting for this application, 17 Church Way is located within the northern section of the Iffley Village Conservation Area. This section of Church Way emphasises the transition from a rural village to a residential suburb and is highlighted by the presence of the row of late Victorian red brick terraced houses just opposite the application site.

Respecting its position within the Iffley Conservation Area as well as the relatively contemporary nature of building within the Village, the proposed development has been designed to be unobtrusive and in keeping with the original design and materiality of the property.

Where renovations require existing materials to be replaced, new materials are specified on a like-for-like basis, or as a minimum with the appearance of the original materials used in the 1960s (e.g. the proposed new windows mimic the original windows however benefit from modern performance). As a result of the design approach pursued, the development is in keeping with the neighbouring property that was built at the same time thereby maintaining the heritage of its location within the Conservation Area.

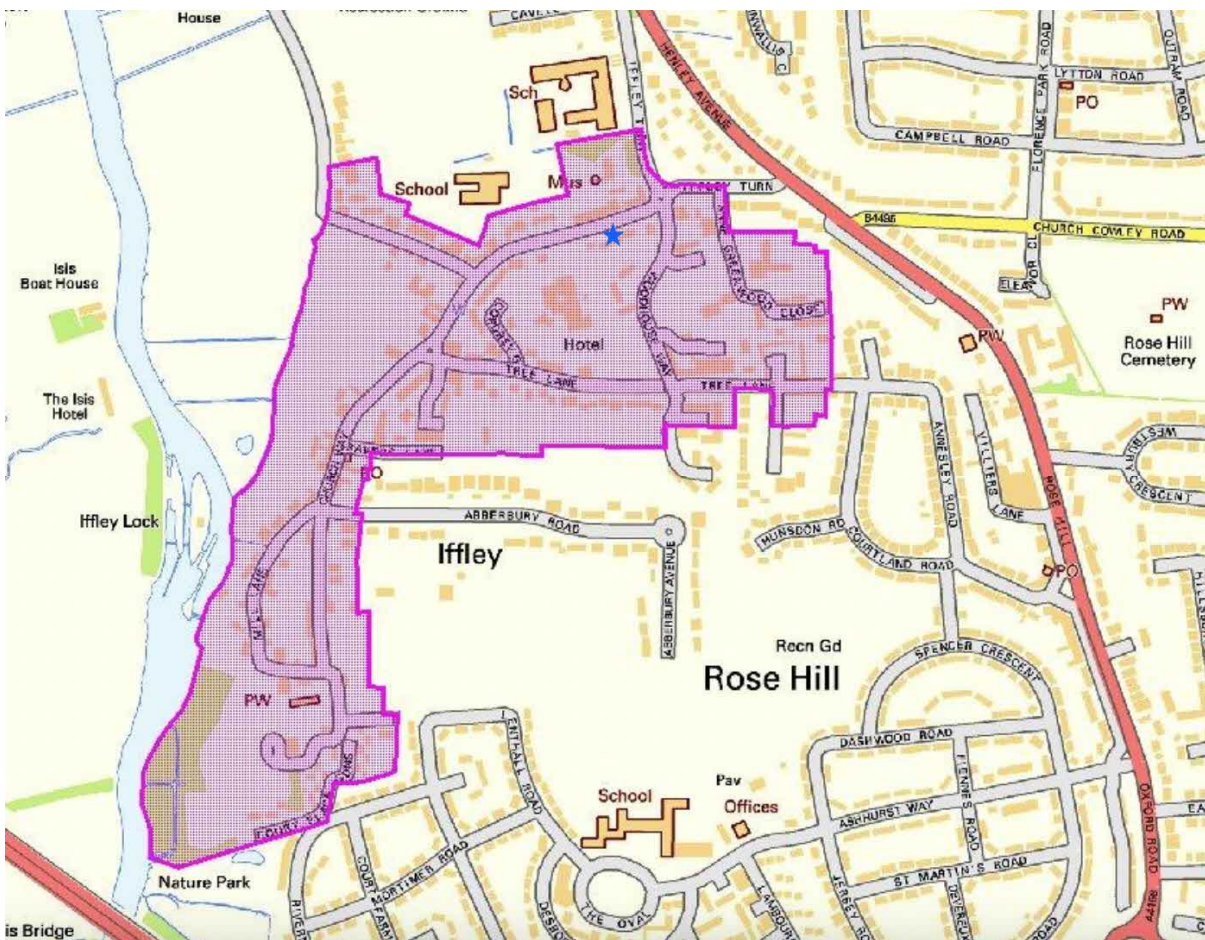


Figure 1: Location of 17 Church Way within Iffley Village Conservation Area (property location marked with a ★)

3. EXISTING DWELLING

17 Church Way, Iffley, Oxford, is a 4 bedroom, two-storey detached house with single storey double garage to the front left side. The property was constructed in 1968, and a single storey utility room was added in 1974 to the left side of the property. The property has been vacant for the past 5 years due to the previous owners declining health, and is in a poor condition as a result.

The property is accessed from Church Way Road and positioned above road level. There is a stone retaining wall between the front boundary and Church Way Road below.

There is a private driveway to the front of the property and a rear garden.



Figure 2: Existing West Elevation

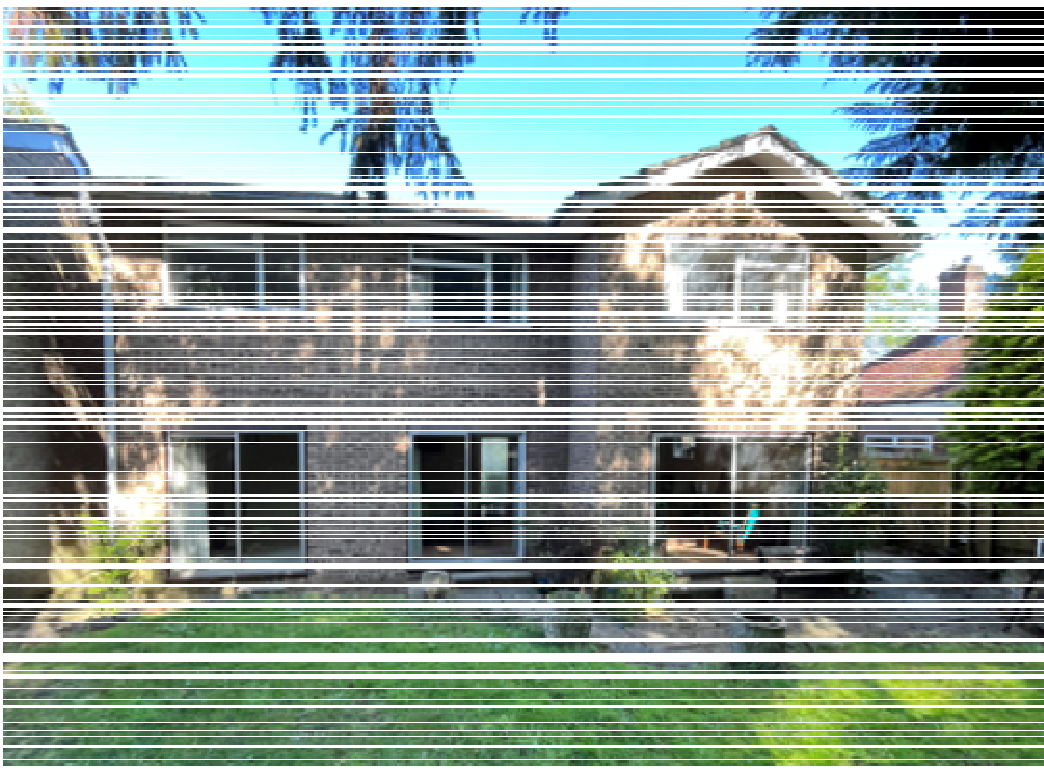


Figure 3: Existing South Elevation

4. PROPOSALS

The dwelling is in poor condition and requires refurbishment throughout. The new owners wish to modestly extend the property for better use of space with a young family.

The principle aims of the proposals are to:

1. Refurbish the existing dwelling throughout whilst maintaining the exiting character of the property.
2. Replace all existing windows with new high-performance units maintaining continuity of colour and style.
3. Increase the thermal performance of the property as a whole.
4. Create an attractive and in keeping extension, accommodating a more functional layout of better proportions.
5. Provide a floor layout that enables modern open plan kitchen living.
6. Provide more natural daylight into the main living areas.
7. Access and look out to the rear garden from the main living areas including the kitchen.

The owners appreciated the discussion about the proposed plans and have received and considered written pre-application advice from Oxford City Council planning department Ref: 24//00189/PAC (Appendix B includes a summary of the feedback received and how this has been considered in the submitted design).

5. DESIGN PRINCIPLES AND CONCEPTS

The new extension is designed to be modest, simple, and sympathetic to the area with materials that either match existing or are in keeping with the surroundings.

The new single-story extension is a modest 15% of the ground floor (9% over both floors) which will still maintain adequate garden space. In this respect the extension will sit comfortably within its surroundings. The extension has been designed specifically to be unimposing to the neighbouring properties, and no longer includes a raised terrace following advice received at the pre-application meeting.

6. MATERIALS

	Existing	Proposed
External walls	Cavity wall construction with facing brickwork and part cladding to the front elevation at first floor level.	The proposed extension will use bricks that are in keeping with the existing brick colour, as well as the surrounding are. <i>Note: No changes to existing bricks of the house are proposed.</i>

	 <p>Figure 4: Existing brickwork across the house</p>	 <p>Figure 5: New Brickwork reclaimed bricks – Petersen Tegl D78 Brick or similar approved by LA.</p>
<p>Windows and Doors</p>	<p>Existing windows are a mix of aluminium, timber, and uPVC, installed at different times since the house was built.</p>  <p>Figure 6: Existing Aluminium Window</p>	<p>The proposal is to replace all windows and doors with modern white timber aluminium composite windows. These windows would be in the same style and colour as the current windows.</p>  <p>Figure 7: New Windows (Velfac V200E in "Pure White" [RAL 9010])</p>

<p>Extension roof</p>	<p>N/A</p>	<p>New extension will have a GRP flat roof, that is concealed within parapet walls.</p>  <p>Figure 8: Top picture shows indicative roof appearance including proposed parapet concealing GRP roof and skylights. Bottom illustration of proposed parapet as seen from ground level.</p>
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7. ACCESS

This application is proposing a small-scale domestic extension. The proposal does provide some improvement to the access and adaptability arrangements of the house. The extension could provide level access to a greater proportion of the property. The proposals are designed to conform to Parts B and M of the Building Regulations. Vehicular access to the property will remain unchanged.

8. CONCLUSION

The proposals are modest but would make a huge improvement to the use of space and layout with minimal impact on neighbouring properties. The proposed extension is secluded to the rear elevation and the design has been considered to be sympathetic and in keeping with the existing dwelling. The pre application advice received from Oxford City Council has been helpful in finalising a design which maintains the heritage of the property within Iffley Conservation Area.

APPENDIX A – Pre-Planning Application Written Feedback

Please see separate PDF included with this application.

APPENDIX B – Response to Pre-Application Feedback

Response to Pre-Application Feedback

The below table has been prepared to highlight the design changes and considerations within the proposal following the pre-application advice meeting with Oxford City Council on 09 February 2024. The applicant wishes to highlight the helpfulness of the meeting in formulating the submitted design.

Section	Extract from pre-application report (24/00189/PAC)	Response
Site and proposal (p.1)	The proposal also refers to replacing a failed roof, constructing a raised platform	No roof works proposed within application. No raised terrace proposed within application.
Site and proposal (p.1)	Whilst the installation of an air source heat pump (ASHP) was discussed in the meeting on the 9th of February, the submitted documents do not mention it.	The ASHP has not been shown as it meets permitted development requirements. The chosen ASHP is less than 0.6 cubic metres in volume. It will also be installed over 1m away from the shared boundary, by a MCS certified company to ensure MCS planning standards are met.
Rear extension (p.3)	It is unclear what materials are proposed for the flat roof, but EPDM or GRP would likely be appropriate for longevity and design (p.3)	GRP roof - Grey Colour
Alterations to fenestration (p.3)	Whilst the glazing does resemble the existing rear fenestration, a reduction in the size of the middle window would help the development to respond better to the character of the main dwelling.	This window has been reduced and design revised in line with these comments. Please see latest drawing.
Alterations to the roof, guttering and fascia (p.4)	The replacement and repairs to the roof and fascia are acceptable in principle...	No roof works proposed within application.
Raised platform and ASHP (p.4)	Whilst on the larger scale, officers do not object to the principle of a raised terraced....	No raised terrace proposed as part of this application following pre-application feedback. Levels will remain unchanged. Instead, repairs will be made to the existing steps and

		paving. Please see latest drawing.
Raised platform and ASHP (p.4)	We also understand that alterations would be proposed to the rear landscaping to accommodate the new area for the rear decking. Officers would, therefore, recommend any future application submitted include elevations....	As the raised terrace is no longer proposed, no elevation plan of the garden has been provided as this will not change.
Trees (p. 6)	No information regarding the impact on trees has been submitted with this application.	The only trees impacted by the proposed development are addressed separately in 23/02897/CAT which has been decided with no objections.
Conclusion (p. 7)	The proposed extension is likely to be considered acceptable in principle, though a reduction in the extent of glazing to the rear is recommended so that the development better reflects the character of the property.	Design changes have been made to the glazing following this feedback. Please see new drawings.