

# Planning Approval Documentation & Drawings for Stone

Full planning consent (18/00631/FUL)

Certificate of Lawful use or development (23/0182/CEU)

Compliance with conditions (18/00631/CND)

## Planning and Regulatory Services

Planning

[www.oxford.gov.uk](http://www.oxford.gov.uk)

## To contact us

Quote this reference :

**23/01802/CEU**

E: [planning@oxford.gov.uk](mailto:planning@oxford.gov.uk)

DD: 01865 249811

Postpoint: SAC 3.1A



**On Behalf of:** Mrs Kate Riach  
C/o Mrs Kate Riach  
79 Victoria Road  
OXFORD  
OX2 7QG

## OXFORD CITY COUNCIL

TOWN AND COUNTRY PLANNING ACT 1990: SECTION 191  
(as amended by Section 10 of the Planning and Compensation Act 1991)

**Town and Country Planning (Development Management Procedure) (England) Order 2015**

## CERTIFICATE OF LAWFUL USE OR DEVELOPMENT

Application Number: 23/01802/CEU

The Oxford City Council certify that on 31st August 2023 the operations described in the First Schedule to this certificate in respect of the land specified in the Second Schedule to this certificate, and edged red on the plan attached to this certificate, **was lawful** within the meaning of Section 191 of the Town and Country Planning Act 1990 (as amended), for the following reason(s):



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Oxford City Council, PO Box 10, Oxford, OX1 1EN

PECEUZ



## Community Infrastructure Levy (CIL) - Form 6: Commencement Notice

This notice must be received by the Collecting Authority prior to commencing your development. Failure to do so may result in you losing the ability to pay the levy in instalments and you may also incur a surcharge.

**Please note:** This version of the form should only be used for submissions relating to planning applications in England. There is a legacy version of the form for use in Wales: [Download the legacy version of this form](#)

### Please note the following if you have obtained, or intend to obtain, an exemption or relief from the levy

#### If your CIL liability notice, or revised CIL liability notice, was issued prior to 1 September 2019:

If you have received an exemption or relief from the levy, failure to submit this form, and for it to be received by the collecting authority, prior to commencing your development will nullify that exemption or relief and make you liable for the levy.

#### If your CIL liability notice, or revised CIL liability notice, was issued on or after 1 September 2019:

If you have received an exemption or relief from the levy, failure to submit this form, and for it to be received by the collecting authority, prior to commencing your development will result in a surcharge being applied by the collecting authority equal to 20% of the notional chargeable amount or £2,500, whichever is the lower amount (or, if you received exceptional circumstances relief from the levy, may result in the surcharge being applied).

Please complete the form using block capitals and black ink and send to the Collecting Authority.

See [Planning Practice Guidance for CIL](#) for guidance on CIL generally, including "what is a Commencement Notice and when it is issued".

### Privacy Notice

This form is provided by Planning Portal and based on the requirements provided by Government for the sole purpose of submitting information to a Local Authority in accordance with the 'The Community Infrastructure Levy Regulations 2010 (as amended)'. Please be aware that once you have downloaded this form, Planning Portal will have no access to the form or the data you enter into it (unless you choose to upload it to any Planning Portal online service in agreement with the relevant terms and conditions). Any subsequent user of this form is solely at your discretion, including the choice to complete and submit it to a Local Authority in agreement with the declaration section.

Upon receipt of this form and any subsequent information, it is the responsibility of the Local Authority to inform you of its obligations in regards to the processing of this information. Please refer to its website for further information on any legal, regulatory and commercial requirements relating to information security and data protection of the information you have provided.

### Details of Development

A: Planning Application reference / Notice of Chargeable Development:

B: Development Commencement Date:

C: Liability Notice reference:

Development permitted by A will commence on B. This will trigger the levy liability described in C.

#### Site address:

Colthorn Farm,  
Oxford Road,  
Old Marston,  
OX3 0PQ

#### Description of development:

Erection of 1 x 5-bed dwellinghouse (Use Class C3). Provision of private amenity space.

### Details of person sending this notice

Title:  First name:

Last name:

Address 1:

Address 2:

Address 3:

Town:

County:

Country:

Postcode:

Telephone number

Country code:  National number:  Extension number:

Email address (optional):

Please state your interest in the site:

Liable Party  Landowner  Applicant  Agent

Other (please give details)

### Details of collecting authority to whom the notice is being sent

Title:  First name:

Last name:

Address 1:

Address 2:

Address 3:

Town:

County:

Country:

Postcode:

Telephone number

Country code:  National number:  Extension number:

Email address (optional):

### Declaration

By signing this declaration:

- I acknowledge that if the intended date of commencement changes, failure to notify the CIL collecting authority before development commences of this date with a new commencement notice will result in the CIL amount being due for payment in full on the date of commencement.
- I also acknowledge that failure to notify the CIL collecting authority of the intended date of commencement by submitting a commencement notice in advance of this date will result in the CIL collecting authority imposing a surcharge of 20% of the amount of CIL due for payment, up to a maximum of £2,500 (the surcharge is discretionary in respect of exceptional circumstances relief).
- I also confirm my understanding that:
  - If my Liability or Revised Liability Notice for CIL was issued before 1 September 2019; **and**
  - If I have either been granted an exemption or relief from the levy, or will be seeking an exemption or relief from the levy (which I understand must be granted prior to commencement of the development)
 That failure to notify the CIL collecting authority of the intended date of commencement by submitting a commencement notice in advance of this date will nullify any exemption or relief I have previously obtained, and make me liable for the levy (except in respect of exceptional circumstances relief), and that a surcharge may also be applied.
- I confirm that a copy of this notice has been served on all persons known to me as an owner of the land on which the chargeable development will be built.  
*For the purpose of CIL, an owner is an owner of a freehold interest in the relevant land or a leasehold interest in the relevant land of 7 years or more from the date planning permission first permits the chargeable development.*

Signed:  Date (DD/MM/YYYY):

CATHERINE RIACH  04/06/2021

It is an offence for a person to knowingly or recklessly supply information which is false or misleading in a material respect to a charging or collecting authority in response to a requirement under the Community Infrastructure Levy Regulations (2010) as amended (regulation 110, SI 2010/ 948). A person guilty of an offence under this regulation may face unlimited fines, two years imprisonment, or both.



[On Behalf Of: Mr & Mrs Riach  
C/o Hunter Riach  
Ecologos Ltd  
1 Kings Meadow  
Osney Mead  
Ferry Hinksey Road  
Oxford  
OX2 0DP

Date: 3rd June 2021  
Your ref:  
My ref: 18/00631/CND  
Please ask for: Tim Hunter  
Email:  
Direct Dial:

Dear Mr & Mrs Riach

**COMPLIANCE WITH CONDITION(S)**

**APPLICATION NO: 18/00631/CND**

**PROPOSAL:** Details submitted in compliance with conditions 4(Landscape plan required), 6(Means of enclosure), 7(Refuse and recycling storage), 8(Parking), 9(Sustainable drainage), 10(Details excluded - rooflights) and 12(Ecology) of planning permission 18/00631/FUL

**LOCATION:** Colthorn Farm Oxford Road Old Marston

**CONDITION(S) N°:** 4, 6, 7, 8, 9, 10, 12,

I write in response to your application submitting details on requirement of conditions attached to the above consent. The City Council's decision is set out below.

Approved

4 The landscaping shown on the Conditions Plan dated March 2021 and registered on the 27 March 2021 is acceptable.

6 The means of enclosure shown on the Conditions Plan dated March 2021 and registered on the 27 March 2021 are acceptable.

7 The refuse and recycling stores shown on the Conditions Plan dated March 2021 and registered on the 27 March 2021 are acceptable.

8 The car and cycle parking provision and layout shown on the updated Conditions Plan dated

10 The Velux Conservation rooflights shown in the email of the 3rd June 2021 are acceptable.

12 The details and location of the bat boxes provided by email on 24th May 2021 are acceptable.

Yours sincerely,

**Tim Hunter**  
Planning Officer

For and on behalf of  
**ADRIAN ARNOLD**  
Head of Planning Services  
Please quote reference number in all communications



**On Behalf of:** Mr & Mrs Riach  
C/o Mr Hunter Riach  
3 Hadow Road  
Marston  
Oxford  
OX3 0JW

**APPLICATION FOR PLANNING PERMISSION**

Town and Country Planning Act 1990

**DECISION DATE:** 14th June 2018

**PROPOSAL:** Erection of 1 x 5-bed dwellinghouse (Use Class C3). Provision of private amenity space. (Amended Description)

**AT:** Colthorn Farm Oxford Road Old Marston

**NOTICE OF GRANT OF PLANNING PERMISSION**

**18/00631/FUL**

Following consideration of the application in respect of the proposal outlined above, it was resolved to **GRANT PLANNING PERMISSION** for the following reasons:-

- 1 The Council considers that the proposal accords with the policies of the development plan as summarised below. It has taken into consideration all other material matters, including matters raised in response to consultation and publicity. Any material harm that the development would otherwise give rise to can be offset by the conditions imposed.

subject to following conditions, which have been imposed for the reasons stated:-

**CONDITIONS:**

- 1 The development to which this permission relates must be begun not later than the expiration of three years from the date of this permission.  
  
Reason: In accordance with Section 91(1) of the Town and Country Planning Act 1990 as amended by the Planning Compulsory Purchase Act 2004.
- 2 The development permitted shall be constructed in complete accordance with the specifications in the application and approved plans listed below, unless otherwise agreed in



writing by the local planning authority.

Reason: To avoid doubt and to ensure an acceptable development as indicated on the submitted drawings in accordance with policy CP1 of the Oxford Local Plan 2001-2016.

- 3 Unless otherwise approved in writing by the Local Planning Authority, the materials to be used in the external elevations of the new development shall match those of the existing building.

Reason: To ensure that the new development is in keeping with existing building(s) and the special character and appearance of Marston Conservation Area in accordance with policies CP1, CP8 and HE7 of the Adopted Oxford Local Plan 2001-2016, CS18 of the Core Strategy and HP9 of the Sites and Housing Plan.

- 4 A landscape plan shall be submitted to, and approved in writing by, the Local Planning Authority before development starts. The plan shall include a survey of existing trees showing sizes and species, and indicate which (if any) it is requested should be removed, and shall show in detail all proposed tree and shrub planting, treatment of paved areas, and areas to be grassed or finished in a similar manner.

Reason: In the interests of visual amenity in accordance with policies CP1, CP11 and NE15 of the Adopted Local Plan 2001-2016.

- 5 The landscaping proposals as approved by the Local Planning Authority shall be carried out upon substantial completion of the development and be completed not later than the first planting season after substantial completion.

Reason: In the interests of visual amenity in accordance with policies CP1 and CP11 of the Adopted Local Plan 2001-2016.

- 6 The means of enclosure shall be erected in accordance with these approved details shown on Proposed Block Plan (1401-0002) prior to any part of the development being first occupied, and shall remain in place thereafter unless otherwise agreed in writing by the Local Planning Authority.

Reason: In the interests of residential amenity in accordance with Policies CP1 and CP10 of the Oxford Local Plan 2001-2016, and Policies HP9, HP11 and HP12 of the Sites and Housing Plan 2011-2026

- 7 No work shall commence until details of the refuse and cycle storage for the development have been submitted to and approved in writing by the Local Planning Authority. These details shall include the method of storage to ensure that they are safe, secure, and sheltered. The refuse and cycle storage shall be provided in accordance with these approved details prior to the development being first occupied, and shall be retained thereafter unless otherwise agreed in writing by the Local Planning Authority.

Reason: In the interests of residential amenity, and in accordance with Policies CP1, and CP10 of the Oxford Local Plan 2001-2016, and Policies HP12 and HP13 of the Sites and Housing Plan 2011-2026

- 8 No work shall commence until details of the parking areas, shared access, and vehicular access (to meadow) have been submitted to and approved in writing by the Local Planning Authority. These details shall include the method of construction, surfacing, a sustainable urban drainage system for the disposal of surface water, and the demarcation of spaces. The parking areas, shared access, and vehicular access (to meadow) shall be laid out, bound,

and formed in accordance with these approved details prior to the first occupation of the dwellinghouses and remain in place thereafter unless otherwise agreed in writing by the Local Planning Authority.

Reason: In the interests of highway safety and to ensure suitable surface water drainage in accordance with Policies CP1 of the Oxford Local Plan 2001-2016 and Sites and Housing Plan Policy HP16

- 9 All extensions / developments which increase the size of the hard areas must be drained using SUDs methods, including porous pavements to decrease the run off to public surface water sewers and thus reduce flooding. You should carry out soakage tests to prove the effectiveness of soakaways or filter trenches. Drainage of rain water run-off from the extension hereby approved shall be compliant with the principles of Sustainable Urban Drainage Systems (SUDS).

Reason: To avoid increasing surface water run-off and thereby attenuating flood risk in accordance with Policy CS11 of the Core Strategy.

- 10 This permission shall specifically exclude the details of the proposed rooflights. Revised details shall be submitted to, and approved in writing by, the Local Planning Authority before the start of work on site and only the revised details shall be implemented.

Reason: To enable the Local Planning Authority to give further consideration to these details.

- 11 Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any Order revoking or enacting that Order) no structure including additions to the dwelling house as defined in Classes A, B, C, D, E of Schedule 2, Part 1 of the Order shall be erected or undertaken without the prior written consent of the Local Planning Authority.

Reason: The Local Planning Authority considers that even minor changes in the design or enlargement of the development should be subject of further consideration to safeguard the appearance of the area in accordance with policies CP1 and CP8 of the Adopted Oxford Local Plan 2001-2016.

- 12 Prior to the commencement of any development details of biodiversity enhancement measures including 1 bat roosting device integrated into the boarding of the new building shall be submitted to and approved in writing by the Local Planning Authority. The approved measures shall be incorporated into the scheme and be fully constructed prior to the first occupation of the development and retained thereafter unless otherwise agreed in writing by the local planning authority.

Reason: In the interests of improving biodiversity in accordance with Policy CS12 of the Oxford Core Strategy 2016 and Saved policy NE23 of the Oxford Local Plan 2001-2026

- 13 Before the start of above ground work, mortar details and stone sample panels shall be provided showing colour, texture, pattern and pointing.

Reason: In the interests of the visual appearance of the Marston Conservation Area in which it stands in accordance with policies CP1, CP8 and HE7 of the Adopted Oxford Local Plan 2001-2016.

- 14 Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015 (or any Order revoking or enacting that Order), the following windows shall be glazed in obscure glass, be non-opening below 1.7 metres above finished

floor levels in the room(s) they serve and thereafter retained.

- i. First floor, east facing bathroom window
- ii. Roof level, east facing bedroom window

Reason: To safeguard the amenities of the future and adjoining occupiers in accordance with policies CP1 and CP10 of the Adopted Oxford Local Plan 2001-2016 and HP14 of the Sites and Housing Plan.

- 15 Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015, no additional windows shall be provided to the upper floors of the elevation(s) without the prior written consent of the Local Planning Authority.

Reason: To safeguard the amenities of the adjoining occupiers in accordance with policies CP1 and CP10 of the Adopted Oxford Local Plan 2001-2016 and HP14 of the Sites and Housing plan.

#### INFORMATIVES :-

- 1 The development hereby permitted is liable to pay the Community Infrastructure Levy. The Liability Notice issued by Oxford City Council will state the current chargeable amount. A revised Liability Notice will be issued if this amount changes. Anyone can formally assume liability to pay, but if no one does so then liability will rest with the landowner. There are certain legal requirements that must be complied with. For instance, whoever will pay the levy must submit an Assumption of Liability form and a Commencement Notice to Oxford City Council prior to commencement of development. For more information see: [www.oxford.gov.uk/CIL](http://www.oxford.gov.uk/CIL)
- 2 Your attention is drawn to the provisions of the Party Wall Act 1996. A copy of an explanatory booklet is available to download free of charge from the following website <http://www.communities.gov.uk/publications/planningandbuilding/partywall>
- 3 The sample panels should demonstrate that appropriate natural stone is being used to match traditional stone buildings in the area. This is likely to mean locally sourced stone in rubble masonry form, laid uncoursed with lime mortar and appropriate pointing. Veneered stone and reconstituted stone will not be acceptable.
- 4 In accordance with guidance set out in the National Planning Policy Framework, the Council tries to work positively and proactively with applicants towards achieving sustainable development that accords with the Development Plan and national planning policy objectives. This includes the offer of pre-application advice and, where reasonable and appropriate, the opportunity to submit amended proposals as well as time for constructive discussions during the course of the determination of an application. However, development that is not sustainable and that fails to accord with the requirements of the Development Plan and/or relevant national policy guidance will normally be refused. The Council expects applicants and their agents to adopt a similarly proactive approach in pursuit of sustainable development.

## DELEGATED REPORT

**Application Number:** 18/00631/FUL

**Decision Due by:** 2nd May 2018

**Proposal:** Erection of 1 x 5-bed dwellinghouse (Use Class C3).  
Provision of private amenity space. (Amended Description)

**Site Address:** Colthorn Farm Oxford Road Old Marston Oxford

**Ward:** Marston Ward

**Agent:** Mr Hunter Riach

**Applicant:** Mr & Mrs Riach

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### Recommendation:

APPLICATION BE APPROVED

For the following reasons:

- 1 The Council considers that the proposal accords with the policies of the development plan as summarised below. It has taken into consideration all other material matters, including matters raised in response to consultation and publicity. Any material harm that the development would otherwise give rise to can be offset by the conditions imposed.

subject to the following conditions, which have been imposed for the reasons stated:-

- 1 Development begun within time limit
- 2 Develop in accordance with approved plans
- 3 Materials in a Conservation Area
- 4 Landscape plan required Landscape Plan Required
- 5 Landscape carry out by completion Landscape carry out by completion
- 6 Means of enclosure
- 7 Refuse and recycling storage
- 8 Parking
- 9 Sustainable drainage
- 10 Details excluded - rooflights

11 Design - no additions to dwelling

12 Ecology

13 Sample panels

### Main Local Plan Policies:

#### Oxford Local Plan 2001-2016 (OLP)

**CP1** - Development Proposals

**CP8** - Design Development to Relate to its Context

**CP9** - Creating Successful New Places

**CP10** - Siting Development to Meet Functional Needs

**CP11** - Landscape Design

**CP13** - Accessibility

**NE4** - Loss of Agricultural Land

**NE15** - Loss of Trees and Hedgerows

**HE7** - Conservation Areas

#### Core Strategy

**CS20\_** - Cultural and community development

**CS18\_** - Urban design, town character, historic environment

**CS23\_** - Mix of housing

**CP11** - Landscape Design

#### Sites and Housing Plan (SHP)

**MP1** - Model Policy

**HP9\_** - Design, Character and Context

**HP11\_** - Low Carbon Homes

**HP12\_** - Indoor Space

**HP13\_** - Outdoor Space

**HP14\_** - Privacy and Daylight

**HP15\_** - Residential cycle parking

**HP16\_** - Residential car parking

#### Other Material Considerations:

National Planning Policy Framework

This application is in or affecting the Marston Conservation Area.

Planning Practice Guidance

Ground Investigation Statement for a development at  
Colthorn Farm, 34 Oxford Road, Old Marston, Oxford, OX3 0PQ

Client:  
Mr. D. Riach  
27 Victoria Road  
Oxford  
OX2 7QJ

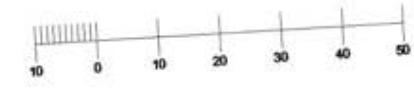
Appendix i

21<sup>st</sup> March 2018

Ref: VAL/854



This map shows the area bounded by 452590 208498, 452790 208498, 452790 208548 and 452590 208548. It is based on Ordnance Survey data and incorporates surveyed revision available at this date. Data licence expires 09 February 2024. Unique plan reference: 4407/506558/1223739



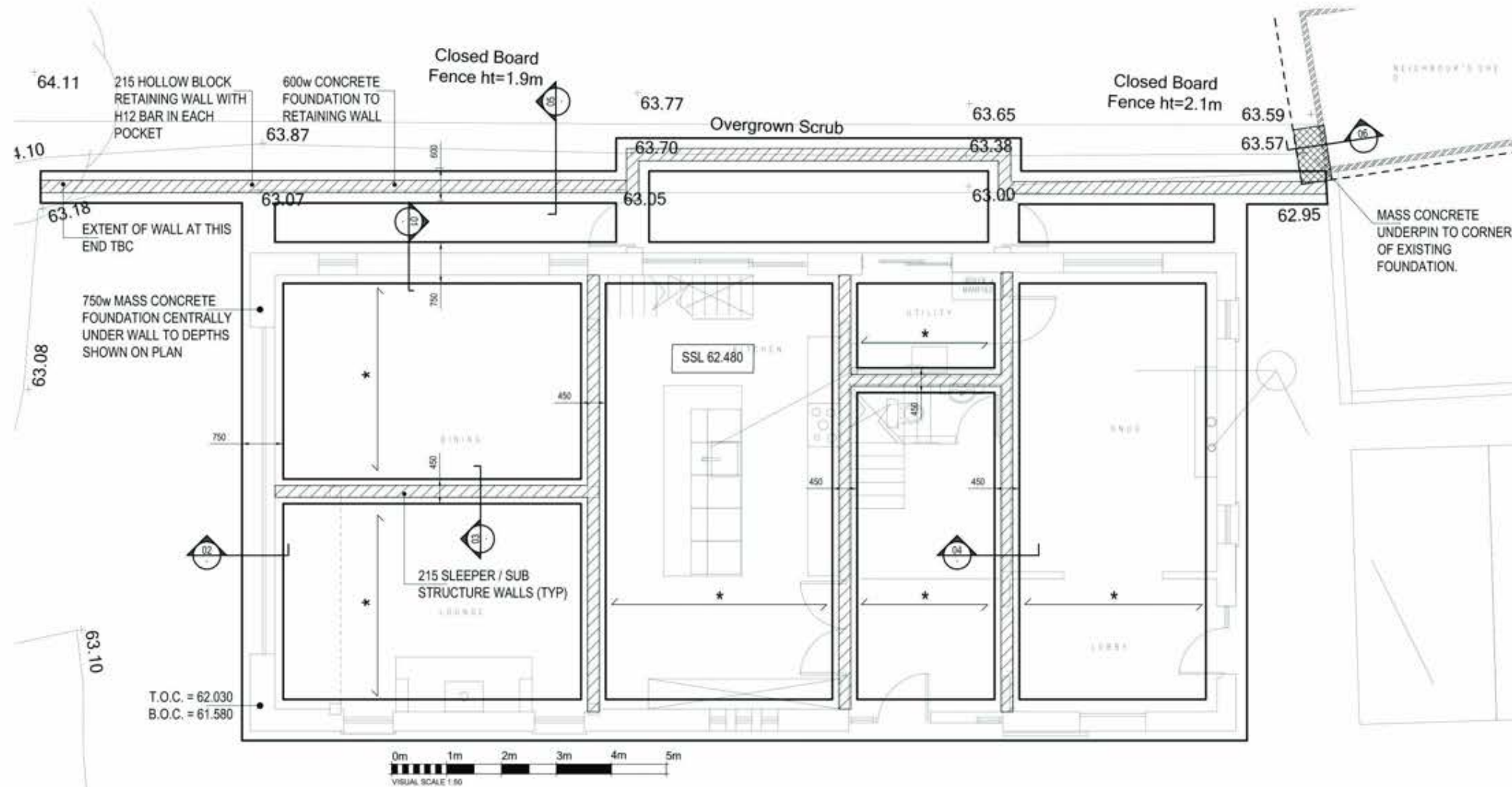
Appendix e

Drawing Title: Site Boundary  
Date: 08/01/23  
Scale @ A4: 1 : 1250  
Drawing No: A043

Stone Barn Colthorn Farm

Based on Ordnance Survey 1:1250 mapping with permission of the controller Crown copyright 2023. Supplied by copla ltd trading as UKPlanningMaps.com a licensed Ordnance Survey partner (OS). Data licence expires 09 February 2024. Unique plan reference: 4407/506558/1223739

Appendix h



**PRE-CAST CONCRETE FLOOR NOTES**

1. ALL PRE-CAST BEAM & BLOCK OR WIDE SPAN UNITS TO BE IN ACCORDANCE WITH BS 8110.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DESIGN & SUPPLY OF THE PRE-CAST BEAMS.
3. THE DIRECTION OF SPAN IS SHOWN THUS:  $\leftarrow$
4. ALL DIMENSIONS OF PRE-CAST UNITS ARE TO BE CONFIRMED BY THE CONTRACTOR BEFORE COMMENCEMENT OF WORKS. LAYOUT PLANS TO BE SUBMITTED FOR APPROVAL.
5. ALL JOINTS TO BE GROUTED WITH A NON-SHRINKABLE SAND/CEMENT GROUT.

**GENERAL NOTES**

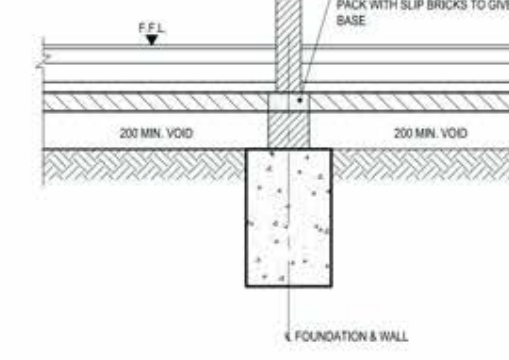
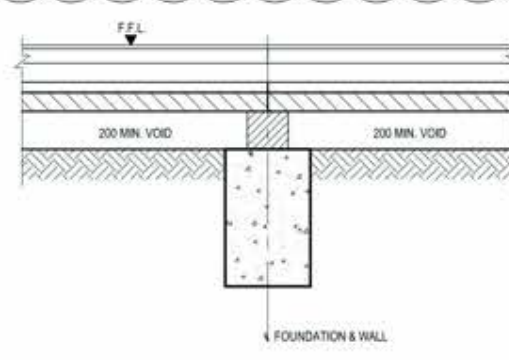
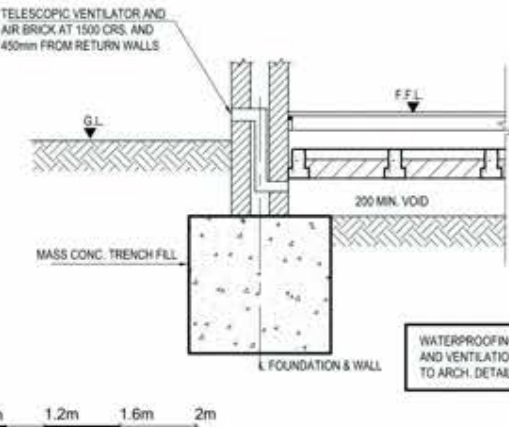
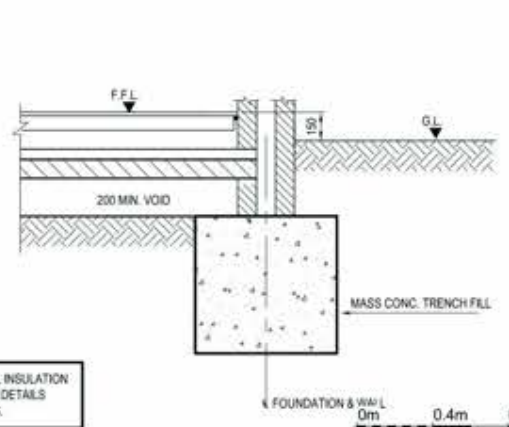
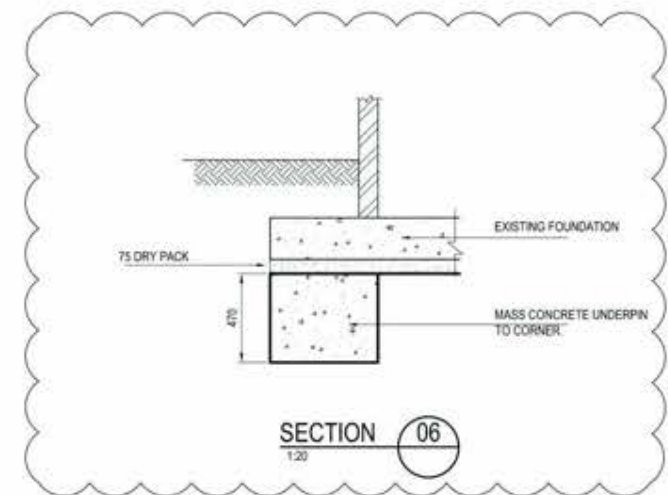
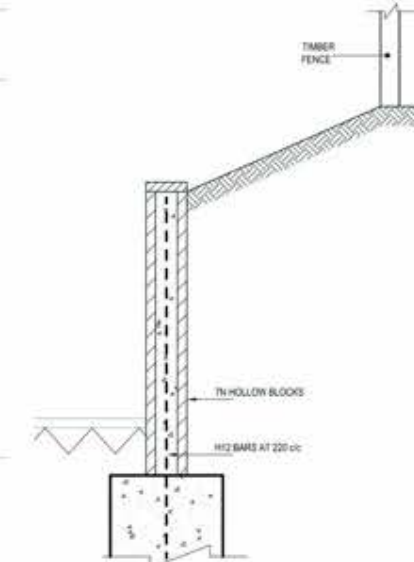
1. DO NOT SCALE THIS DRAWING. FIGURED DIMENSIONS ONLY SHALL BE USED. ANY DISCREPANCIES SHALL BE REPORTED TO ENGINEER FOR CLARIFICATION. IF IN DOUBT ASK.
2. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT ARCHITECTS, SERVICES ENGINEERS AND STRUCTURAL ENGINEERS DRAWINGS AND SPECIFICATIONS.
3. ALL DIMENSIONS ARE IN MM UNLESS NOTED OTHERWISE.
4. ALL DIMENSIONS TAKEN FROM EXISTING STRUCTURE ARE TO BE CHECKED PRIOR TO WORK COMMENCING.
5.  $\triangle$  NO. IN TRIANGLE DENOTES SECTION NO.  
 $\circ$  NO. IN SEMI CIRCLE DENOTES DRAWING NO.
6. ALL WATERPROOFING & INSULATION TO BE TO ARCHITECTS DETAILS.
7. ALL TEMPORARY WORKS, PROPS, NEEDLES AND SHORING REQUIRED TO INSTALL THE PERMANENT WORKS ARE TO BE DESIGNED AND INSTALLED BY THE PRINCIPAL CONTRACTOR. THE PRINCIPAL CONTRACTOR IS TO ENSURE THAT TEMPORARY STABILITY IS MAINTAINED DURING CONSTRUCTION OPERATIONS.

**FOUNDATIONS**

1. ALL FOUNDATIONS TO BE TAKEN DOWN TO GOOD GROUND CAPABLE OF SUPPORTING A MINIMUM BEARING PRESSURE OF 100 kN/m<sup>2</sup> AND TO DEPTHS SHOWN ON PLANS. ALL FOUNDATIONS EXCAVATIONS TO BE INSPECTED BY BUILDING CONTROL PRIOR TO CONCRETING.
2. ALL SOFT SPOTS TO BE BROUGHT TO THE ATTENTION OF THE BUILDING CONTROL OFFICER OR ENGINEER WHO WILL ADVISE ON SUITABLE REMEDIATION.
3. BLINDING DESIGNATED MIX TO BE GRADE GEN1.
4. FOUNDATION CONCRETE DESIGNATED MIX TO BE GRADE FND 2.

**STRUCTURAL MASONRY NOTES**

1. ALL LOAD BEARING MASONRY AND WORKMANSHIP TO BE IN ACCORDANCE WITH BS 5628.
2. ALL BRICKS TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF:  
BELOW DPC 20 N/mm<sup>2</sup>  
ABOVE DPC 15 N/mm<sup>2</sup>
3. ALL BLOCKS TO HAVE A MINIMUM DENSITY OF 1350 kg/m<sup>3</sup>
4. ALL BLOCKS TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF:  
BELOW DPC 7.3 N/mm<sup>2</sup>  
ABOVE DPC 3.6 N/mm<sup>2</sup>
5. MORTAR TO BE CLASS M4(iii)
6. WALL TIES TO BE STAINLESS STEEL PROVIDED AT: 450 CENTRES VERTICALLY AND 900 CENTRES HORIZONTALLY STAGGERED CLOSE CENTRES TO 300mm AT OPENINGS AS BS8103.2:2013
7. DAMP PROOF COURSE, CAVITY DRAINS, CLOSURES AND INSULATION TO ARCHITECTS DETAILS.
8. ALL LINTELS TO BE PRECAST CONCRETE OR FORMED STEEL BY "STRESSLINE" OR "CATNIC" RESPECTIVELY OR SIMILAR APPROVED.
9. ALL LINTELS TO HAVE A 150mm MINIMUM BEARING UNLESS NOTED OTHERWISE.
10. ALL DOOR AND WINDOW CILL AND HEAD DETAILS TO BE IN ACCORDANCE WITH THE ARCHITECTS DRAWINGS.



Rev	Date	Description	By	Chk
P2	21/02/18	UNDERPINNING ADDED	A.W.	VAL
P2	21/12/17	RETAINING WALL ADDED	H.B.	VAL
P1	13/12/17	FIRST ISSUE	H.B.	VAL

Client		MR & MRS RIACH	
Job Title		NEW DWELLING PLOT 2 COLTHORN FARM OXFORD ROAD MARSTON OXFORD	
Drawing Title		FOUNDATION PLAN	

**lawfull associates**  
consulting structural engineers

e: enquiries@lawfull-associates.com  
t: 01235 202170

The Workshop  
50 Bleasheim Close  
Didcot  
Oxfordshire  
OX11 7JL

Scale of 01	As shown	H.B.	VAL	DEC 2017
Drawing Status	PRELIMINARY			

Drawing No: 854-LST-001  
P3

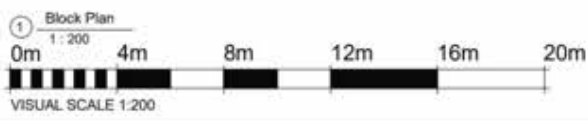
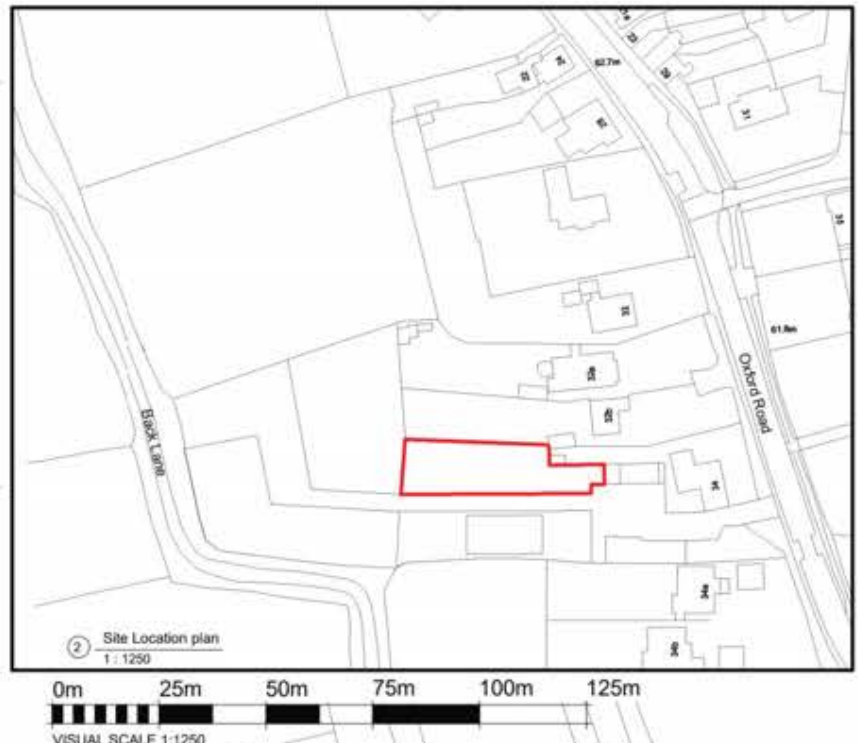
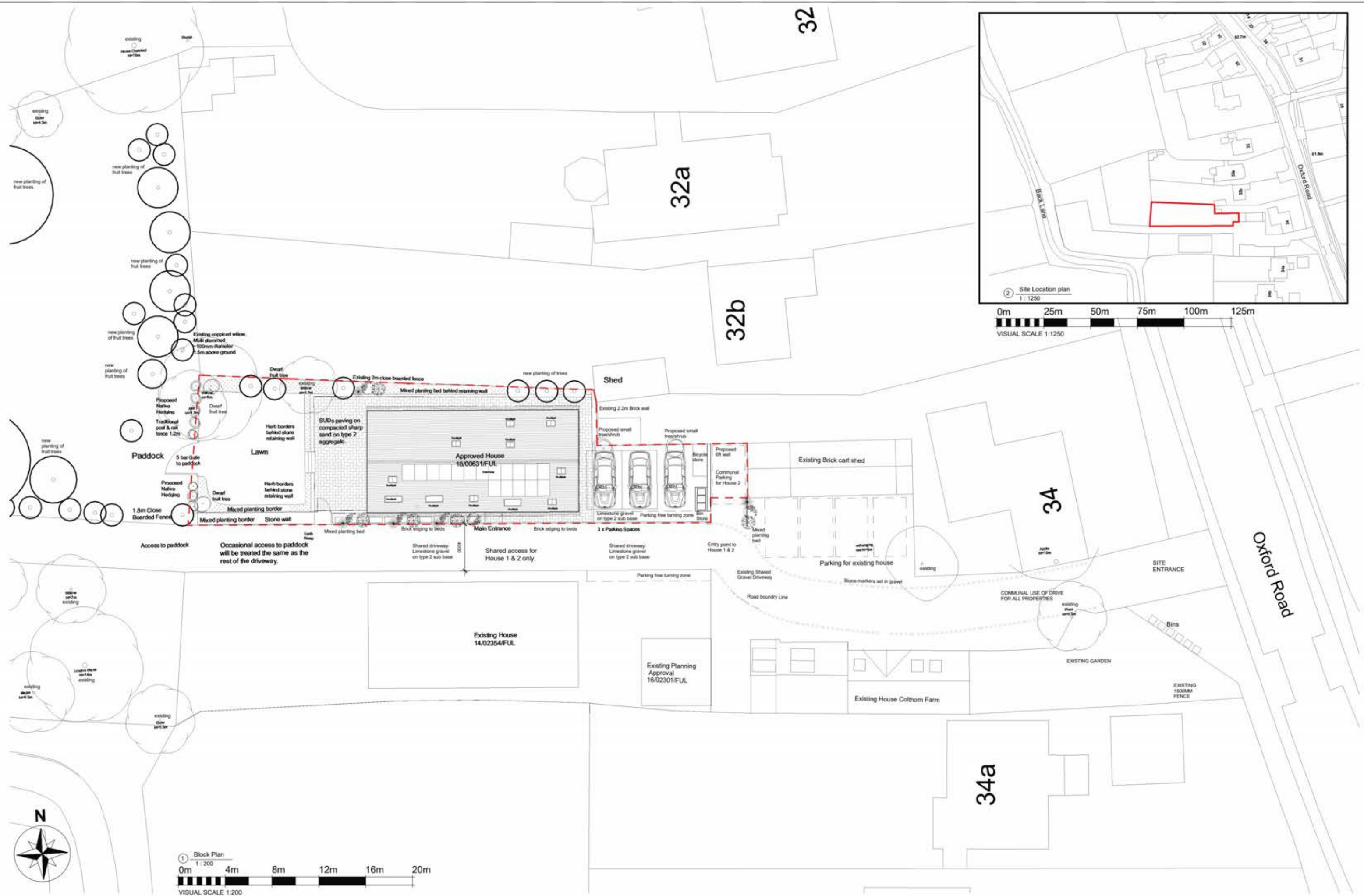


Drawing Title: Structure Foundations 854-LST-001-P3  
Date: 06/02/21  
Scale: (A1)  
Drawing No: 854-LST-001  
If any discrepancies are found in the drawing these are to be brought to the attention of the Architect. Do not scale from this drawing. Please check all dimensions on site before commencement. All dimensions are approximate.

Appendix i

Stone Barn Colthorn Farm





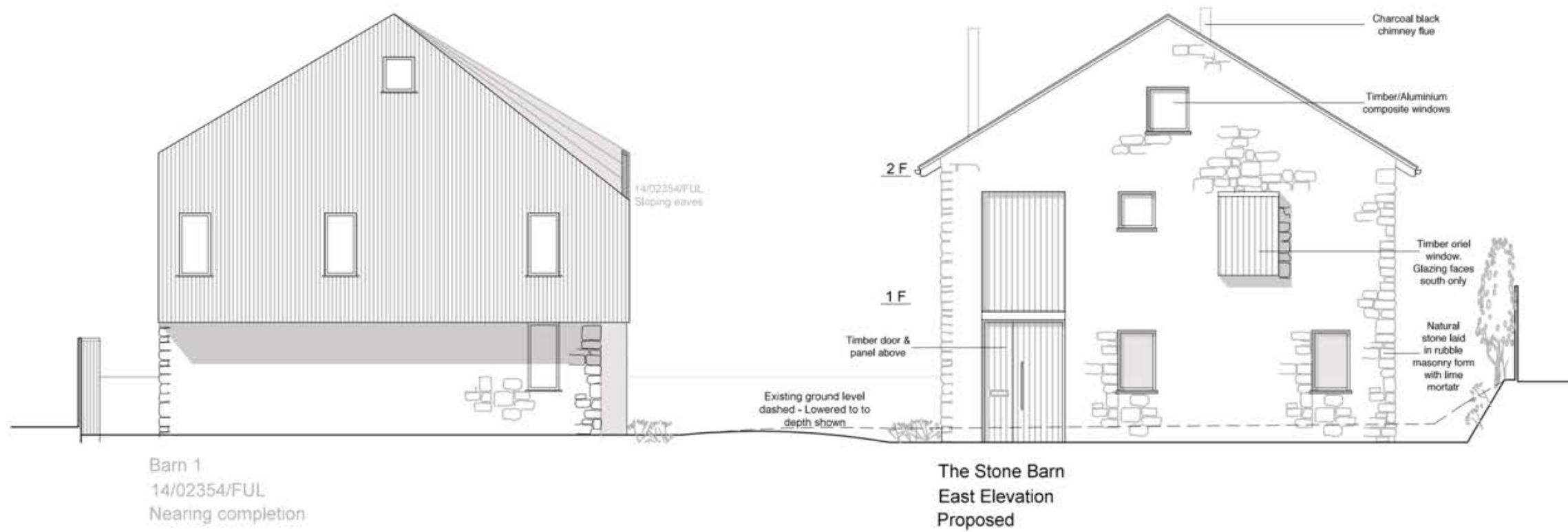
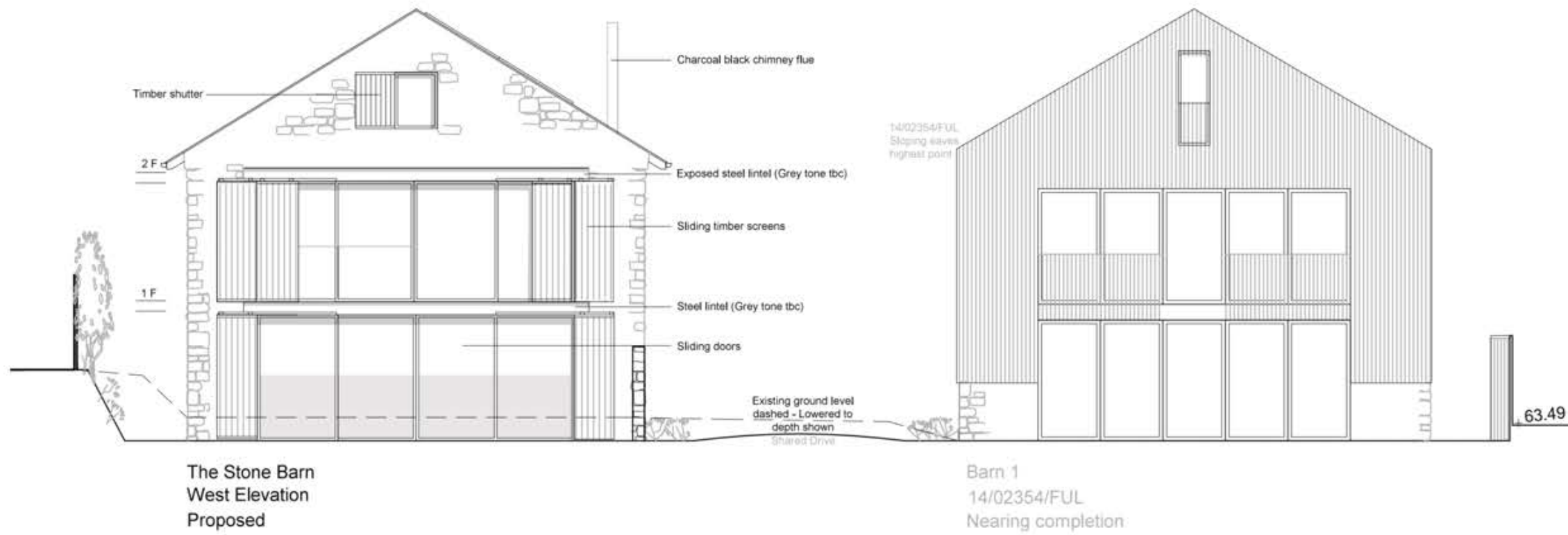
Drawing Title: Block Plan  
 Date: 08/26/23  
 Scale @ A2: As indicated  
 Drawing No: A044  
 If any discrepancies are found in the drawing these are to be brought to the attention of the Architect. Do not scale from this drawing. Please check all dimensions on site before commencement. All dimensions are approximate

Appendix g

**Stone Barn Colthorn Farm**  
 idrawdesign.art  
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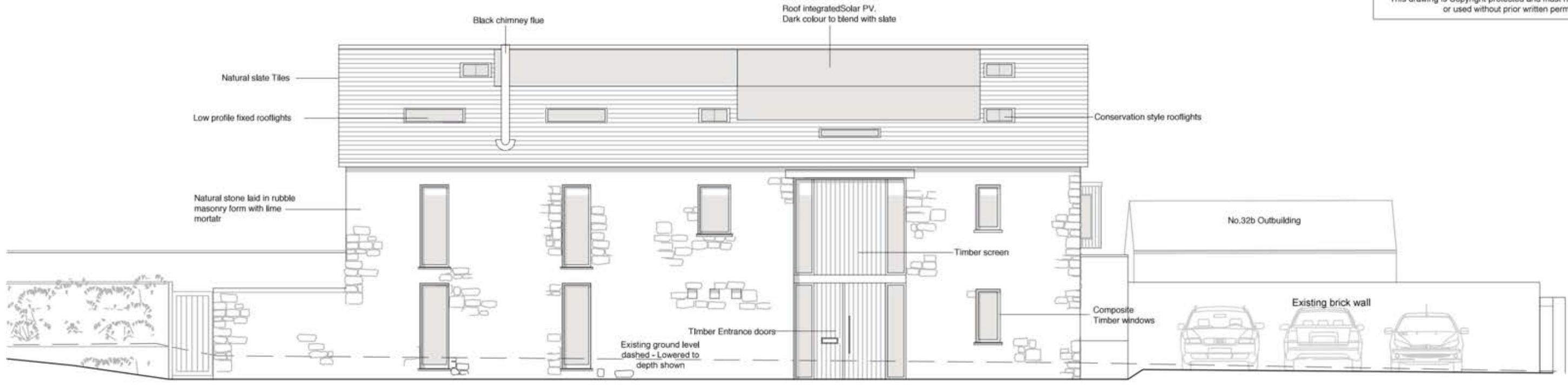
alr design

Client	
C & D Riach	
Project	
Colthorn Farm - Barn 2	
Drawing title	
East & West Elevations context	
Date	Scale
05/03/18	1:100@A3
Stage	Drawn By
Design	HR
Drawing Number	
205	

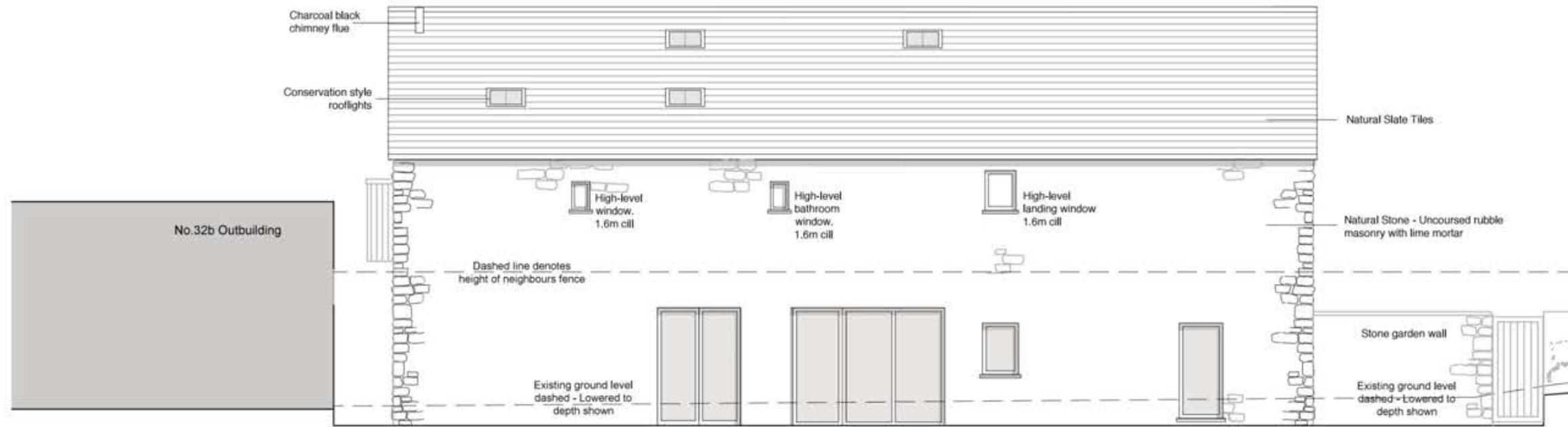


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The Stone Barn  
South Elevation Proposed



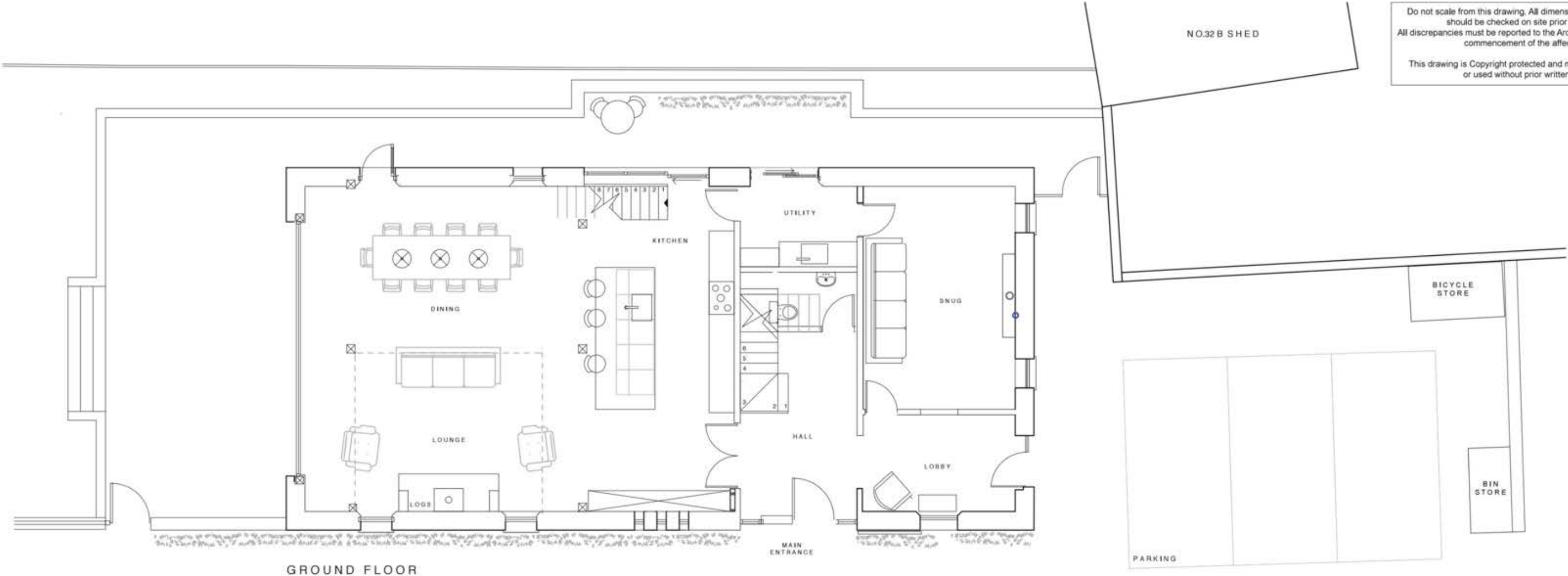
The Stone Barn  
North Elevation Proposed



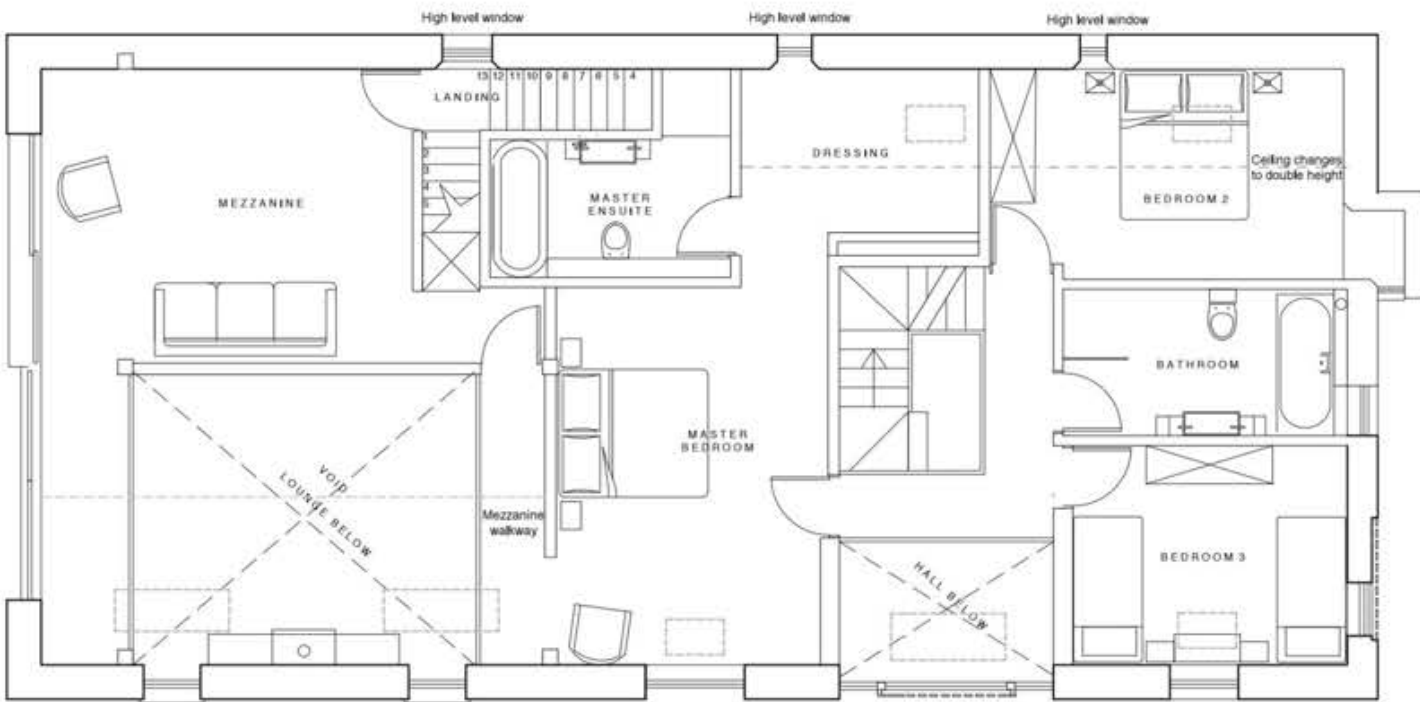
alr design

Client	C & D Riach
Project	Colthorn Farm - Barn 2
Drawing title	East & West Elevations
Date	01/03/18
Scale	1:100@A3
Stage	Design
Drawn By	HR
Drawing Number	204

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GROUND FLOOR



FIRST FLOOR



1:100@A3



**a | r design**

Client

C & D Riach

Project

Colthorn Farm - Barn 2

Drawing title

Ground & First Floor Plans

Date

05/03/18

Scale

1:100@A3

Stage

Design

Drawn By

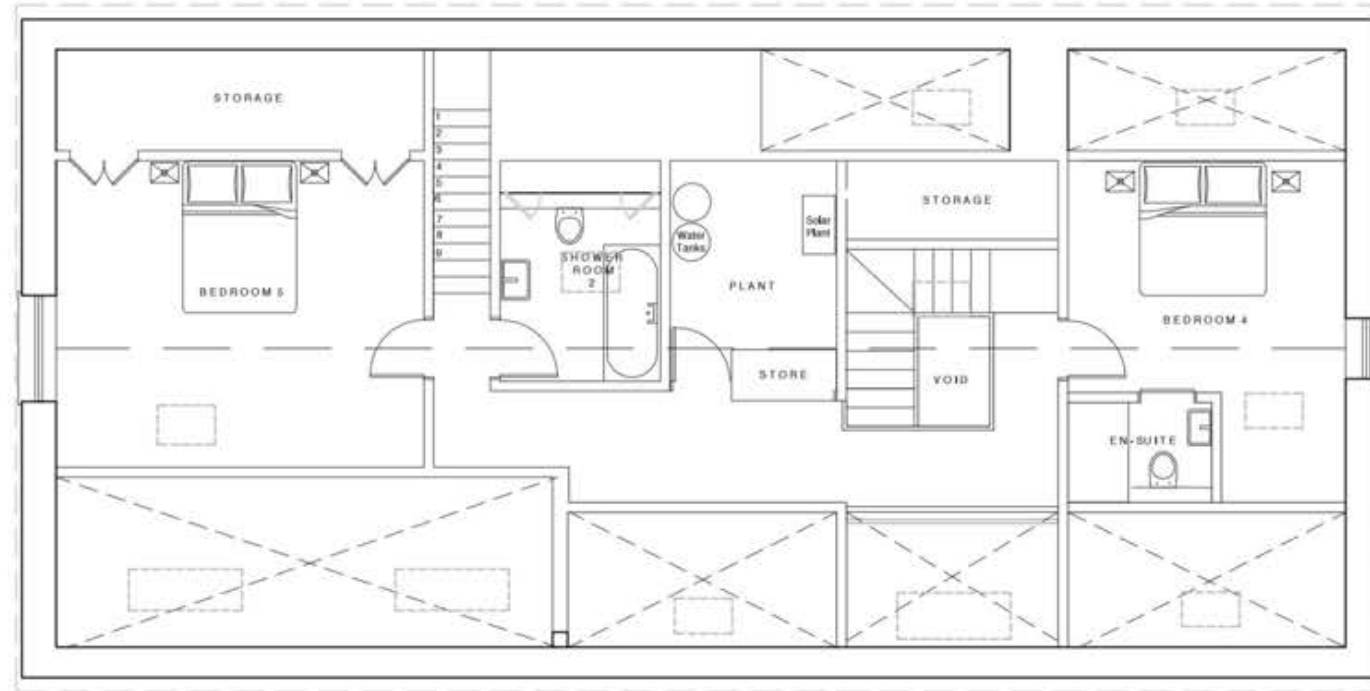
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Drawing Number

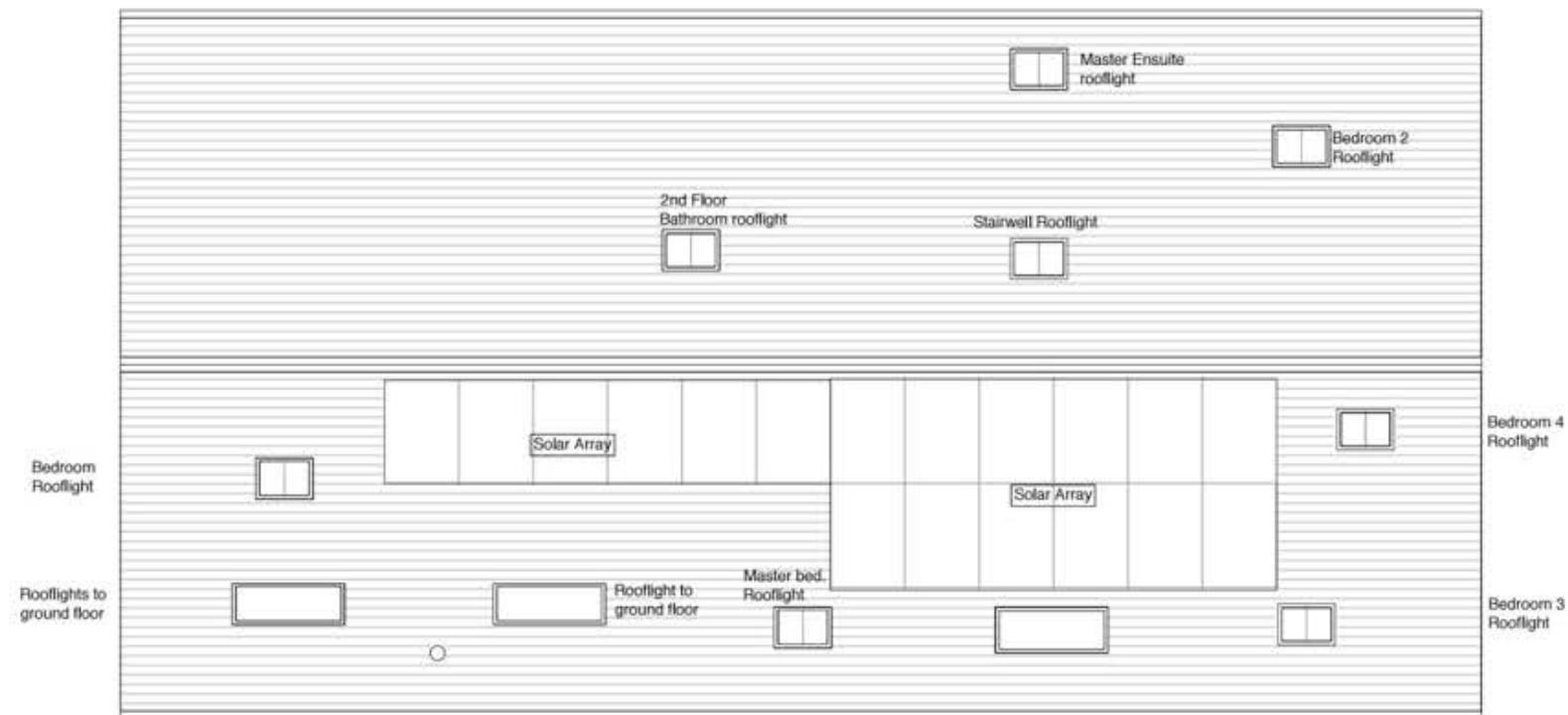
202

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SECOND FLOOR



ROOF PLAN

alr design

Client

C & D Riach

Project

Colthorn Farm - Barn 2

Drawing title

Second Floor & Roof plan

Date

05/01/18

Scale

1:100@A3

Stage

Design

Drawn By

HW

Drawing Number

203



1:100@A3



## Planning History

Erection of detached 2 storey 4 bed house with 2 associated parking spaces & detached 2 storey 5 bed house (with 1st floor in roof space) & 3 parking spaces in open front garage. 3 parking spaces for Colthorn Farm. Ref. No: 00/00715/NFZ | Status: Approved

Covered yard and conversion of existing buildings into a milking parlour dairy and feed store Ref. No: 60/00306/M\_H | Status: Approved

Erection of dwelling house with ancillary roads and footpaths. Ref. No: 71/00669/M\_H | Status: Refused

Erection of four dwellings; garages; demolition of outbuildings; access; and ancillary works Ref. No: 83/00626/SON | Status: Refused

Alterations to vehicular access. Ref. No: 85/00049/PN | Status: Refused

Change of use of stabling to typesetting and artwork studio with office and reception and associated car parking. Ref. No: 86/00154/PN | Status: Refused

Change of use from redundant farm buildings to dining room and study Ref. No: 88/00558/PN | Status: Approved

Conversion of stables and storage building to artwork studio. Use part of barn to provide additional car parking. Ref. No: 89/00432/PN | Status: Approved

Change of use from type-setting studio to dwelling with 2 parking spaces using existing vehicular access. New vehicular access from Oxford Road to 2 parking spaces serving existing house (Amended plans) Ref. No: 92/00064/NFH | Status: Approved

Change of use from redundant farm building to B1 business use. Provision of 8 parking spaces accessed from Oxford Road (Amended plans) Ref. No: 92/00066 NFH | Status: Approved

Variation of condition 2 of unimplemented permission 92/66/NFH for change of use from redundant farm building to B1 business use & provision of 8 parking spaces, to allow extended period for implementation. Ref. No: 97/00359/NXH | Status: Approved

Conservation Area consent for demolition of outbuildings. Ref. No: 97/01237/LH | Status: Withdrawn

Outline application for residential development. (All matters reserved) Ref. No: 97/01238/NOZ | Status: Withdrawn

Conservation Area consent for demolition of farm out-buildings. Ref. No: 98/00197/LZH | Status: Approved

Outline application for 10 dwellings: 1x2 & 2x3 single storey with integral garage, 3x3 & 4x4 bed 2 storey with integral garage, accessed from Oxford Road. Landscaped public open space. Detached double garage. Ref. No: 98/00198/NOZ | Status: Refused

Demolition of redundant farm buildings and erection of 2 x 4 bedroom houses and provision of car parking (Renewal of the planning permission granted under application no. 00/00715/NFZ). Ref. No: 06/01871/FUL | Status: Approved

Erection of detached 2 storey 4 bed house with 2 associated parking spaces & detached 2 storey 5 bed house (with 1st floor in roof space) & 3 parking spaces in open front garage. 3 parking spaces for Colthorn Farm. Ref. No: 00/00715/NFZ | Status: Approved

Covered yard and conversion of existing buildings into a milking parlour dairy and feed store Ref. No: 60/00306/M\_H | Status: Approved

Erection of dwelling house with ancillary roads and footpaths. Ref. No: 71/00669/M\_H | Status: Refused

Erection of four dwellings; garages; demolition of outbuildings; access; and ancillary works Ref. No: 83/00626/SON | Status: Refused

Alterations to vehicular access. Ref. No: 85/00049/PN | Status: Refused

Change of use of stabling to typesetting and artwork studio with office and reception and associated car parking. Ref. No: 86/00154/PN | Status: Refused

Change of use from redundant farm buildings to dining room and study Ref. No: 88/00558/PN | Status: Approved

Conversion of stables and storage building to artwork studio. Use part of barn to provide additional car parking. Ref. No: 89/00432/PN | Status: Approved

Change of use from type-setting studio to dwelling with 2 parking spaces using existing vehicular access. New vehicular access from Oxford Road to 2 parking spaces serving existing house (Amended plans) Ref. No: 92/00064/NFH | Status: Approved

Change of use from redundant farm building to B1 business use. Provision of 8 parking spaces accessed from Oxford Road (Amended plans) Ref. No: 92/00066 NFH | Status: Approved

Variation of condition 2 of unimplemented permission 92/66/NFH for change of use from redundant farm building to B1 business use & provision of 8 parking spaces, to allow extended period for implementation. Ref. No: 97/00359/NXH | Status: Approved

Conservation Area consent for demolition of outbuildings. Ref. No: 97/01237/LH | Status: Withdrawn

Outline application for residential development. (All matters reserved) Ref. No: 97/01238/NOZ | Status: Withdrawn

Conservation Area consent for demolition of farm out-buildings. Ref. No: 98/00197/LZH | Status: Approved

Outline application for 10 dwellings: 1x2 & 2x3 single storey with integral garage, 3x3 & 4x4 bed 2 storey with integral garage, accessed from Oxford Road. Landscaped public open space. Detached double garage. Ref. No: 98/00198/NOZ | Status: Refused

Demolition of redundant farm buildings and erection of 2 x 4 bedroom houses and provision of car parking (Renewal of the planning permission granted under application no. 00/00715/NFZ). Ref. No: 06/01871/FUL | Status: Approved

Demolition of redundant farm buildings. Ref. No: 06/01872/CAC | Status: Approved

Demolition of existing barn and outbuildings and erection of new detached 5 bed family dwelling with associated workspace/office and covered parking area (amended plans) Ref. No: 09/00805/FUL | Status: Withdrawn

Erection of 2 x 4-bedroom dwellings. Provision of 3 car parking spaces for each house. (Amended description) (Amended Plans) Ref. No: 11/00825/FUL | Status: Approved

Demolition of existing barn and outbuildings. Ref. No: 11/00826/CAC | Status: Approved

Erection of a 2 storey 5 bed dwelling with games room/studio (Amended plans) Ref. No: 12/01860/FUL | Status: Approved

Details submitted in compliance with conditions 3 (Architectural Recording) and 4 (No demolition before rebuilding contract) of planning permission 11/00826/CAC. Ref. No: 11/00826/CND | Status: Approved

Erection of 2 x 4-bed dwellings (Use Class C3). Ref. No: 14/01259/FUL | Status: Approved

Erection of 1x4 bed dwelling house (Use Class C3). Ref. No: 14/02354/FUL | Status: Approved

Erection of 1x5 bed dwelling house (Use Class C3). Provision of private amenity space (Amended plans) Ref. No: 14/03496/FUL | Status: Approved

Details submitted in compliance with conditions 3 (Materials), 4 (Landscape plan required), 6 (Means of enclosure), 7 (Refuse and Cycle Storage), 8 (Parking Area), 9 (SUDS) and 13 (ecology) of planning permission 14/02354/FUL Ref. No: 14/02354/CND | Status: Approved

Non-material amendment to planning permission 14/02354/FUL involving insertion of additional window and flue, replacement of rooflights with solar panels and lowering of ground level by 400mm. Ref. No: 14/02354/NMA | Status: Approved

Erection of a detached single storey garage. Ref. No: 16/02301/FUL | Status: Approved

Erection of 1 x 5-bed dwellinghouse (Use Class C3). Provision of private amenity space. Ref. No: 16/03274/FUL | Status: Approved

Non-material amendment to planning permission 14/02354/FUL to allow an increased amount of solar panels on roofsope. Ref. No: 14/02354/NMA2 | Status: Approved

Non-Material amendment to planning permission 14/02354/FUL to allow changes to the glazing and reduce cladding. Ref. No: 14/02354/NMA3 | Status: Refused

Details submitted in compliance with conditions 4 (Landscape plan