

37 THORNFIELD ROAD
 BISHOP STORTFORD
 HERTS CM23 2RB
 SINGLE STOREY REAR EXTENSION
 PROPOSED ELEVATIONS & ROOF PLAN
 Plan No TP/AG/4 of 5
 Scale 1:100 A3 PLAN

PLANNING NOTES

No more than half the area of land around the 'original house' should be covered by additions or other buildings. No extension should be built forward of the principal elevation or side elevation fronting a highway. No extension to be higher than the highest part of the roof. The maximum depth of a single-storey rear extension is 3m for an attached house and 4m for a detached house, which can be doubled under larger home /Neighbour consultation prior approval scheme. The maximum height of a single-storey rear extension is 4m. The maximum depth of a rear extension of more than one storey is 3m including the ground floor. The maximum eaves height should be 3m if the extension is within 2m of any boundary. The maximum eaves and ridge heights of the extension should be no higher than those of the existing house.

Side extensions may only be single storey, with a maximum height of 4m, and the width must be no more than half that of the original house. Two-storey extensions must be no closer than 7m to the rear boundary. The roof pitch of extensions higher than one storey should match that of the existing house. Materials used in construction should be similar in appearance to those used for the existing house. No verandas, balconies or raised platforms are permitted. Upper-floor, side-facing windows must be obscure-glazed and any opening part of the window must be 1.7m above the internal floor level.

If you live in a house you will need to apply for planning permission if the porch:

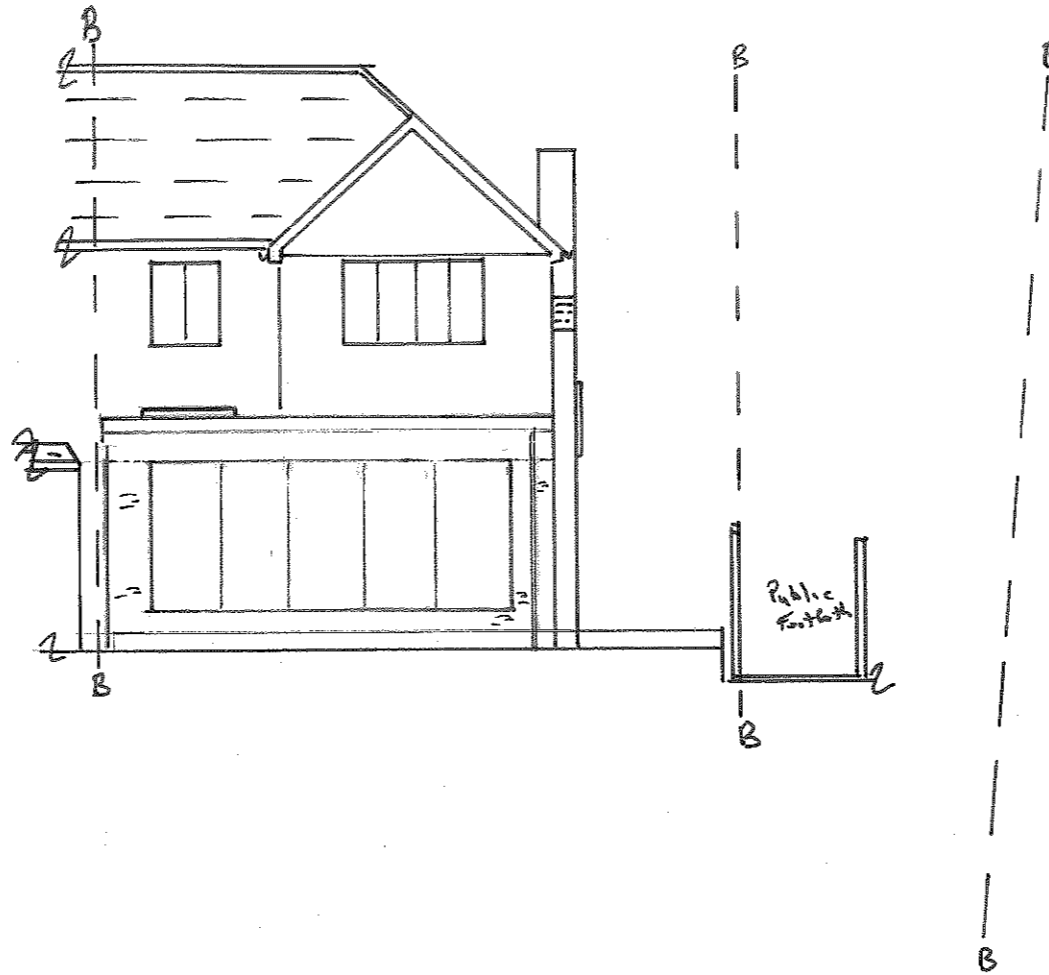
- Is higher than 3 metres above ground level.
- Has a ground area of more than 3 square meters (measured externally).
- Is less than 2 metres away from the highway.

Do I need planning permission for a shed/detached garage/ summerhouse?

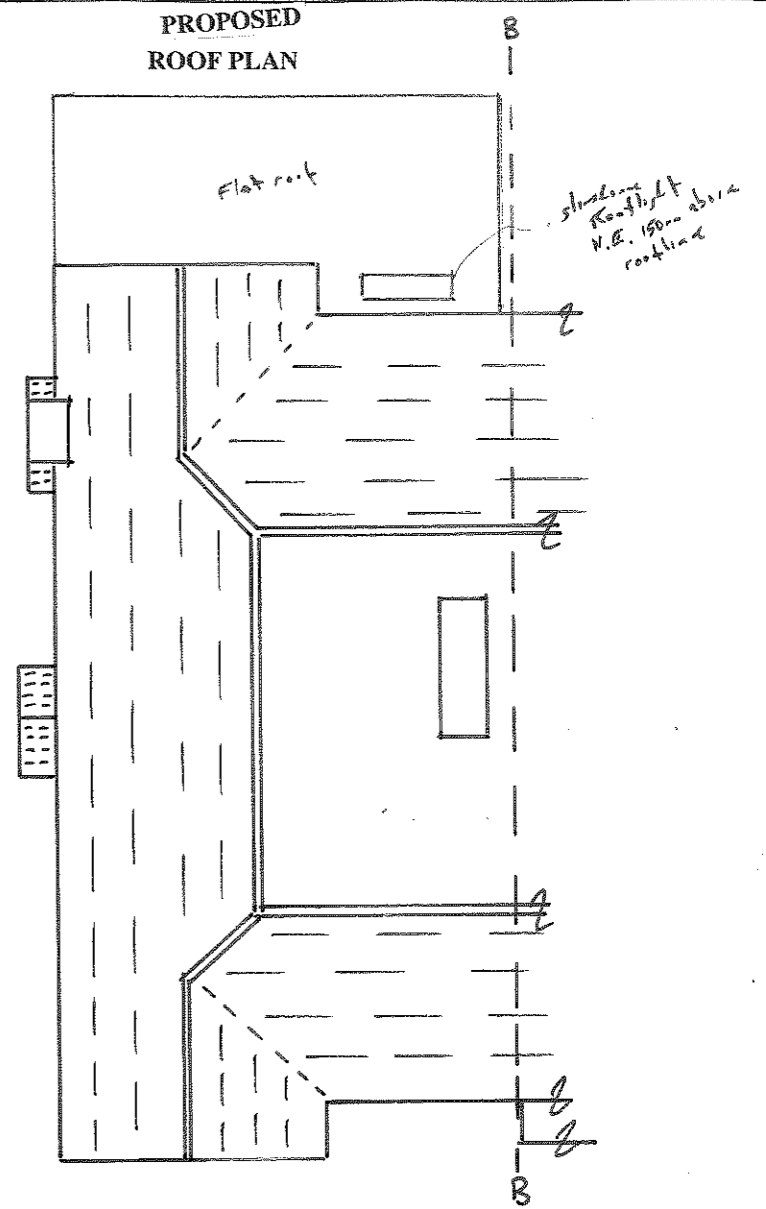
If you live in a flat or maisonette you will need to apply for planning permission for a shed/detached garage/summerhouse. If you live in a house you will not need planning permission if the shed/detached garage/summerhouse complies with the following conditions:

- No outbuilding forward of the principal elevation fronting a highway.
- Outbuildings and garages to be single storey with maximum eaves height of 2.5m and maximum overall height of 4m with a dual pitched roof or 3m for any other roof.
- Maximum height 2.5m within 2m of a boundary.
- No verandas, balconies or raised platforms.
- No more than half the area of land around the 'original house' would be covered by additions or other buildings.
- In conservation areas buildings, enclosures, containers and pools at the side of properties will require planning permission.
- Within the curtilage of listed buildings any outbuilding will require planning permission.

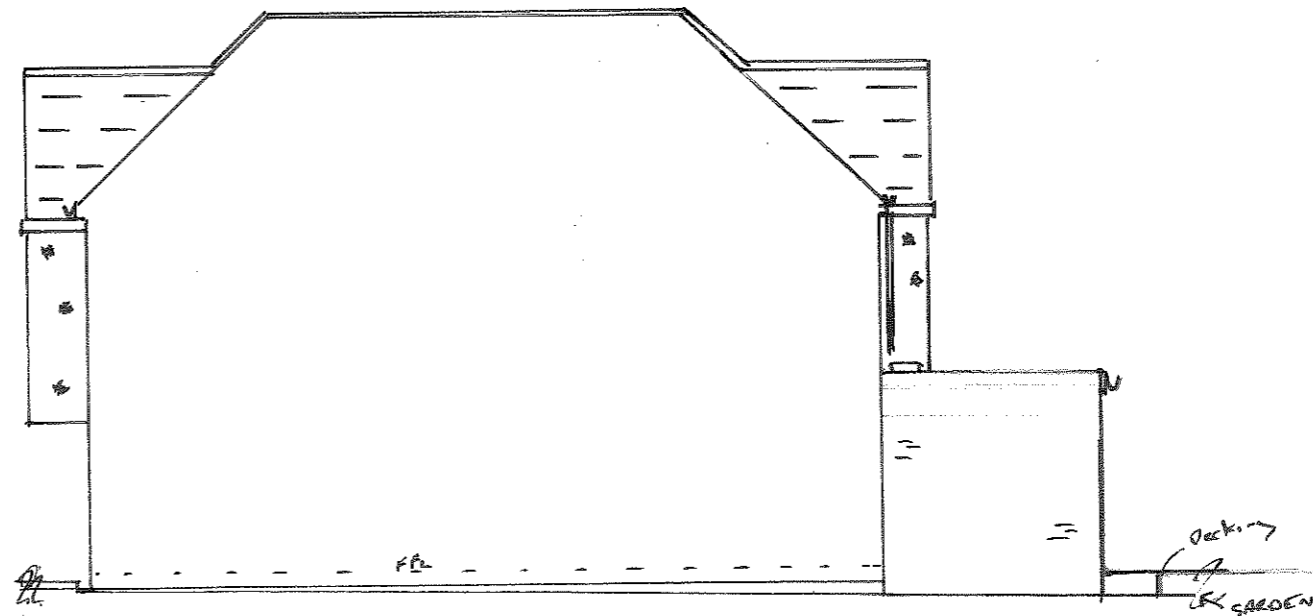
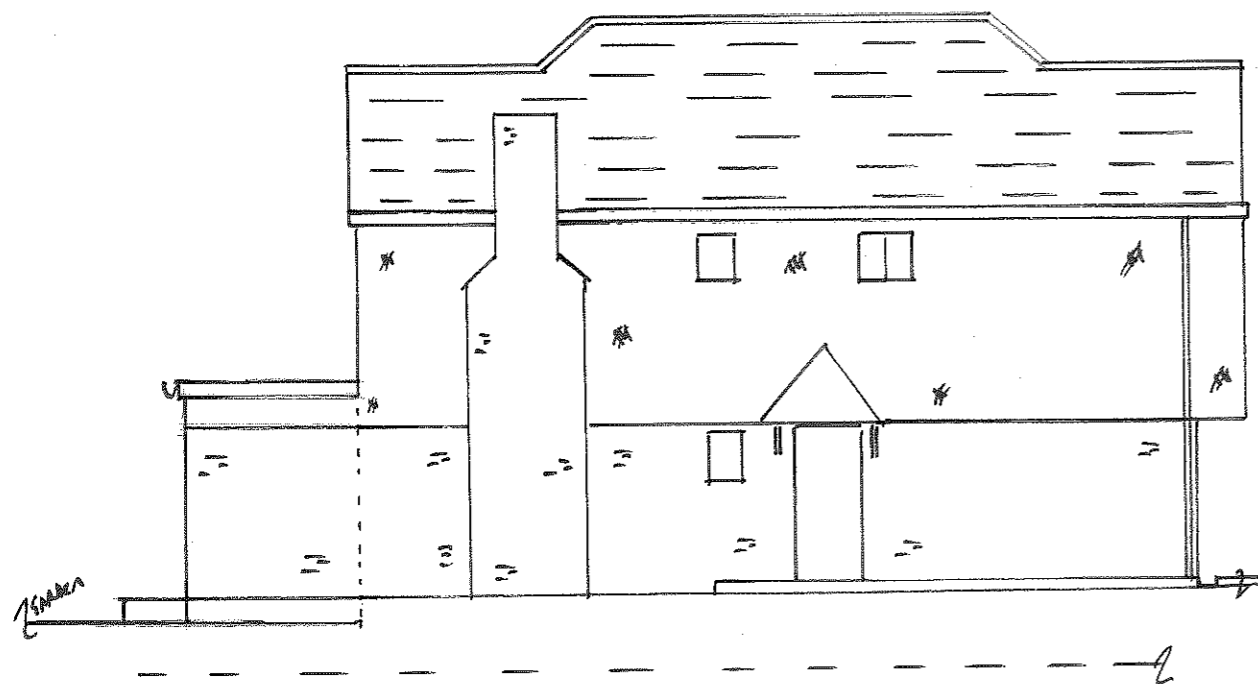
PROPOSED REAR ELEVATION



PROPOSED ROOF PLAN



PROPOSED SIDE ELEVATIONS



BAR SCALE 1:100
 0 1m 2m 3m 4m 5m A3