

Summary of Information Submitted to Discharge Conditions Imposed on Approval Ref: 3/22/2119/FUL.

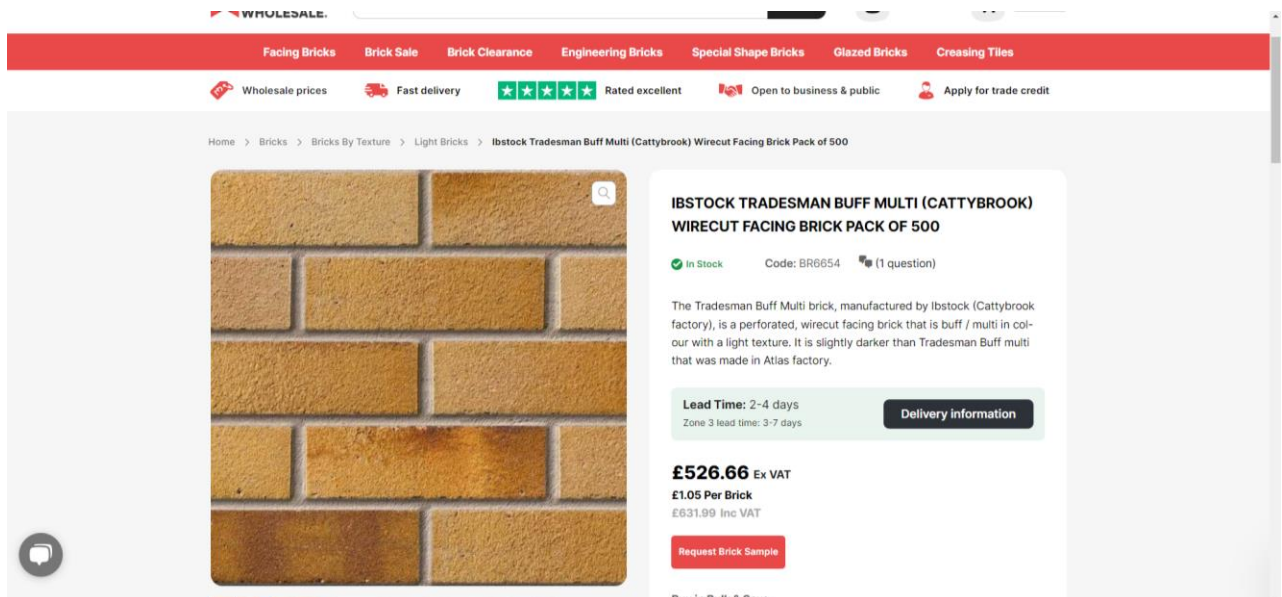
Condition 4

Prior to any above ground construction works being commenced, the external materials of construction for the development hereby permitted shall be submitted to and approved in writing by the Local Planning Authority

Walls

Brickwork to match adjoining property - Ibstock Tradesman Buff Multi (Cattybrook) – image and website link below

<https://brickwholesale.co.uk/ibstock-tradesman-buff-multi-cattybrook-wirecut-facing-brick-pack-of-500/>



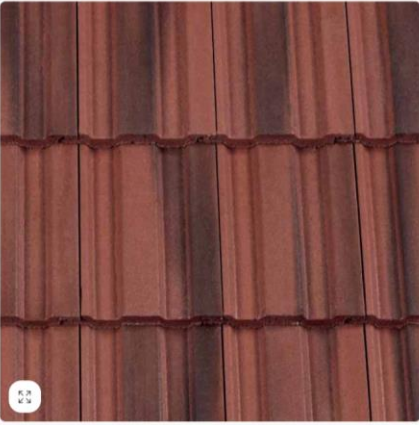
The screenshot shows the product page for 'IBSTOCK TRADESMAN BUFF MULTI (CATTYBROOK) WIRECUT FACING BRICK PACK OF 500'. The page features a large image of the brickwork on the left and a product description on the right. The description states: 'The Tradesman Buff Multi brick, manufactured by Ibstock (Cattybrook factory), is a perforated, wirecut facing brick that is buff / multi in colour with a light texture. It is slightly darker than Tradesman Buff multi that was made in Atlas factory.' The pricing information is as follows: £526.66 Ex VAT, £1.05 Per Brick, and £631.99 Inc VAT. There is also a 'Request Brick Sample' button and a 'Buy in Bulk & Save' note.

Roof

Tiles to match adjoining property Redland 49 Rustic Red – image and website link below

https://www.roofingoutlet.co.uk/products/redland-49-roof-tile-rustic-red?variant=34216693057&gad_source=1&gclid=EA1aIQobChMIu5Cag5mjhQMV0JZQBh05YwAqEAQYBiABEgKgHPD_BwE

Home > Redland 49 Roof Tile - Rustic Red



By BMI Redland
Redland 49 Roof Tile - Rustic Red

£1.58 (inc VAT)
£1.32 (ex VAT)

Want delivery by Thursday, 11th April? Order within

05 42 57
HOURS MINUTES SECONDS

1

Delivery:
Orders must be in Pallet Quantities (multiples of 336)
Current Lead time: 5 - 7 days. Collection available
Key Features:

Windows and Doors

The windows and rear external doors will be white Upvc to match the adjoining property seen in the site photo below.

The main front door will be of composite construction finished in light grey, style to match the front door of the adjoining property seen in the site photo below



Gutters and Rainwater Pipes

Gutters will be half round 112mm diameter black plastic with 62mm diameter black plastic rainwater pipes. Images and website links below

<https://www.travisperkins.co.uk/product/building-materials/guttering/pvc-guttering/roundline-gutter-and-fittings/c/1526000/>

The screenshot displays two gutter products on the Travis Perkins website. At the top, there are two green input fields: "Please enter your delivery postcode..." and "Please select your collection branch...". Below these are two product cards. The first card shows a half-round gutter with a 4m length, product code 758605, a 4.8-star rating from 5 reviews, and a retail price of £19.28 each (excluding VAT). The second card shows a similar gutter with a 2m length, product code 758603, a 5-star rating from 2 reviews, and a retail price of £9.77 each (excluding VAT). Each product card includes a quantity selector set to 1 and buttons for "Delivery" and "Collection" with subtext: "Enter postcode for local availability" and "Select collection branch for local".

<https://www.travisperkins.co.uk/product/building-materials/guttering/pvc-guttering/roundline-downpipe-and-fittings/c/1526002/>

The screenshot displays two rainwater pipe products on the Travis Perkins website. At the top, there are two green input fields: "Please enter your delivery postcode..." and "Please select your collection branch...". Below these are two product cards. The first card shows a round pipe with a 2.75m length, product code 758609, a 4.7-star rating from 3 reviews, and a retail price of £14.17 each (excluding VAT). The second card shows a pipe bracket with a 68mm diameter, product code 758645, a 5-star rating from 5 reviews, and a retail price of £2.60 each (excluding VAT). Each product card includes a quantity selector set to 1 and buttons for "Delivery" and "Collection" with subtext: "Enter postcode for local availability" and "Select collection branch for local".

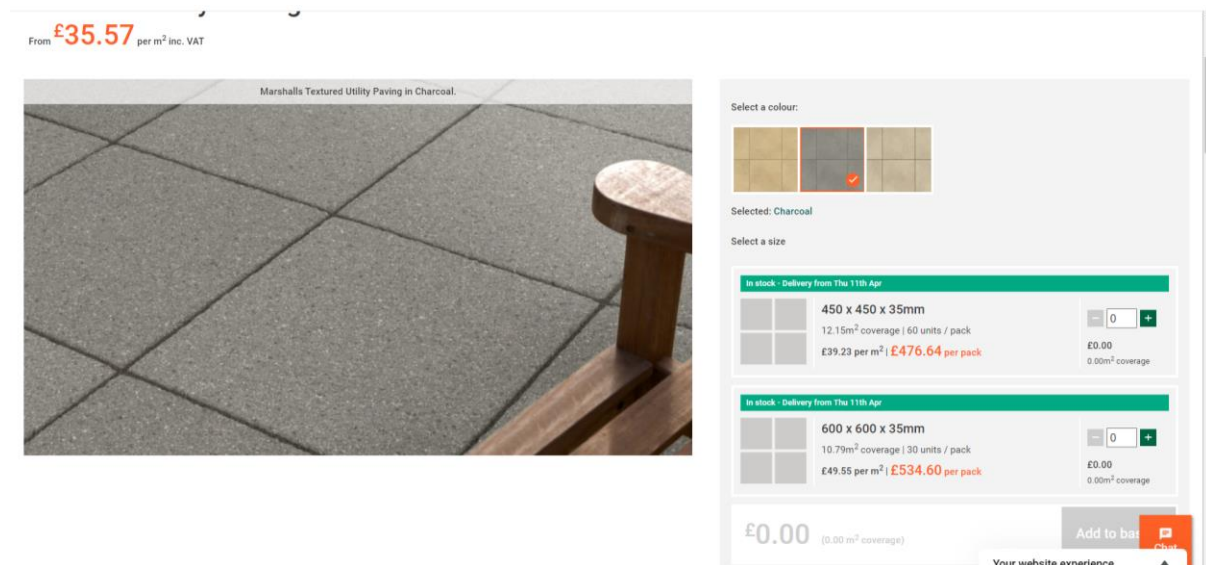
Condition 5

Prior to first occupation of the development hereby approved, details of landscaping shall be submitted and approved in writing and shall include full details of both hard and soft landscape proposals, finished levels or contours, hard surfacing materials, retained landscape features, planting plans, schedules of plants, species, planting sizes, density of planting and implementation timetable and thereafter the development should be implemented in accordance with the approved details.

Landscape Design and Planting Schedule prepared by Studio Concepts included in the application documents

Side and rear patios and front path/ramp will be laid with Marshalls Textured Utility Paving Slabs in Charcoal. Image and website link below

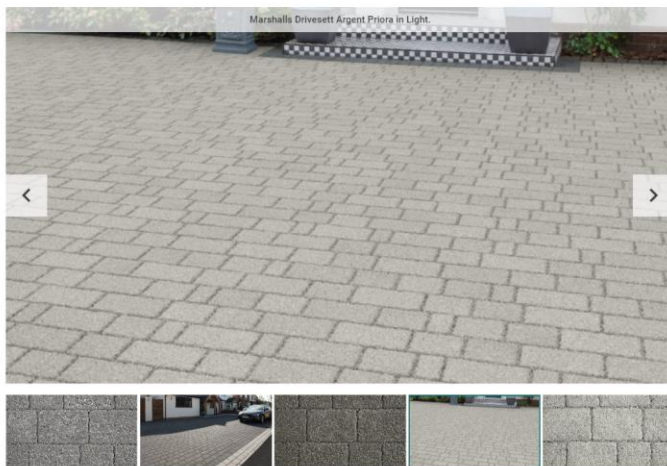
https://www.marshalls.co.uk/gardens-and-driveways/product/textured-utility-paving?sku=FL5522200&gad_source=1&gclid=EAIaIQobChMI6I-GoaejhQMVsZpQBh2haQCuEAQYAyABEgICbfD_BwE



The front driveway to be laid with Marshalls Drivesett Argent Priora Permeable Paving in Light image and website link below

https://www.marshalls.co.uk/gardens-and-driveways/product/drivesett-argent-priora-permeable-block-paving?sku=PV1373500&gad_source=1&gclid=EAIaIQobChMIoezz36ejhQMVIJNQBh2a5w_NEAQYBSABEgKpO_D_BwE#product-gallery-7

From **£70.61** per m² inc. VAT



Select a colour:

Selected: Light

Select a size

Reserve today - Delivery from Fri 19th Apr

Project Pack
8.06m² coverage | 279 units / pack
£70.61 per m² | **£569.10 per pack**

0

£0.00
0.00m² coverage

Add to basket

Pay in 3 available on all purchases between £30 and £2000 PayPal

Specifications
View all product & technical information

Chat

Condition 6

No above ground development shall take place until details of biodiversity improvements have been submitted to and agreed in writing by the Local Planning Authority, the details shall include:

- a) the provision of a minimum of one fruit tree,*
 - b) the provision and siting of 1no. integrated bird nesting box and 1no. integrated bat box.*
- Thereafter the development shall be carried out in accordance with the approved scheme and retained as such thereafter.*

Information shown on the Landscape Design prepared by Studio Concepts included in the application documents shows two apple trees and the RSPB recommended bat and bird boxes. The position of the bat box and bird box are indicated on John Perrin & Sons Ltd Drawing No 3502/3, 3502/5 included in the application documents.

Condition 9


Prior to first occupation of the development full details of the provision of 1 electric vehicle charging point for the dwelling hereby approved shall be submitted to and approved in writing by the Local Planning Authority.

The electric vehicle charging point position is shown on John Perrin & Sons Ltd Drawing No 3502/3 included in the application documents.

The electrical vehicle charging point will be by Pod Point.
Image and website link below






<https://pod-point.com/products/driver/solo>

Pod Point Solo 3



- **Fast EV charging** - comes with the choice of three power ratings: 3.6kW, 7kW or 22kW.
- **Over-the-air updates** - Unlock new features, get the latest software updates and receive remote support.
- **Optimise your energy usage** - gain insight into your charging activity and the associated costs from your mobile device on the **Pod Point App**.
- **Covered by a market-leading 5-year warranty** - comes as standard, for added peace of mind.
- **Installation included** - Friendly and professional **installation** in as little as 2 hours.

[Explore home charging](#)



Condition 10

Prior to the completion of foundations, details of how the design, materials and operation of the development: minimises overheating in summer, reduces the need for heating in the winter and reduces energy demand, shall be submitted to and approved in writing by the Local Planning Authority.

Part O calculations prepared by Watt Energy & Consulting Engineers Ltd are included with the application documents

Condition 11

The dwelling hereby approved shall be constructed and fitted out so that the potential consumption of water by persons occupying them dwelling will shall not exceed 110 litres per person per day as measured in accordance with a methodology approved by the Secretary of State. The dwellings shall not be occupied unless the notice of the potential consumption of wholesome water per person per day required by the Building Regulations 2010 has been submitted to and approved in writing by the Local Planning Authority

Part G calculations prepared by Watt Energy & Consulting Engineers Ltd are included with the application documents