

Exact position of windows (cell level at first floor level) to be established by contractor in relation to roof of new extension prior to commencement of works.

Cod 4 led flashing at junction between wall and new roof.

Plaster, clay, interlocking low pitch roof tiles (see notes for details).

Velux rooflight (Type and specification to be agreed with client).

White UPVC fascia and soffit.

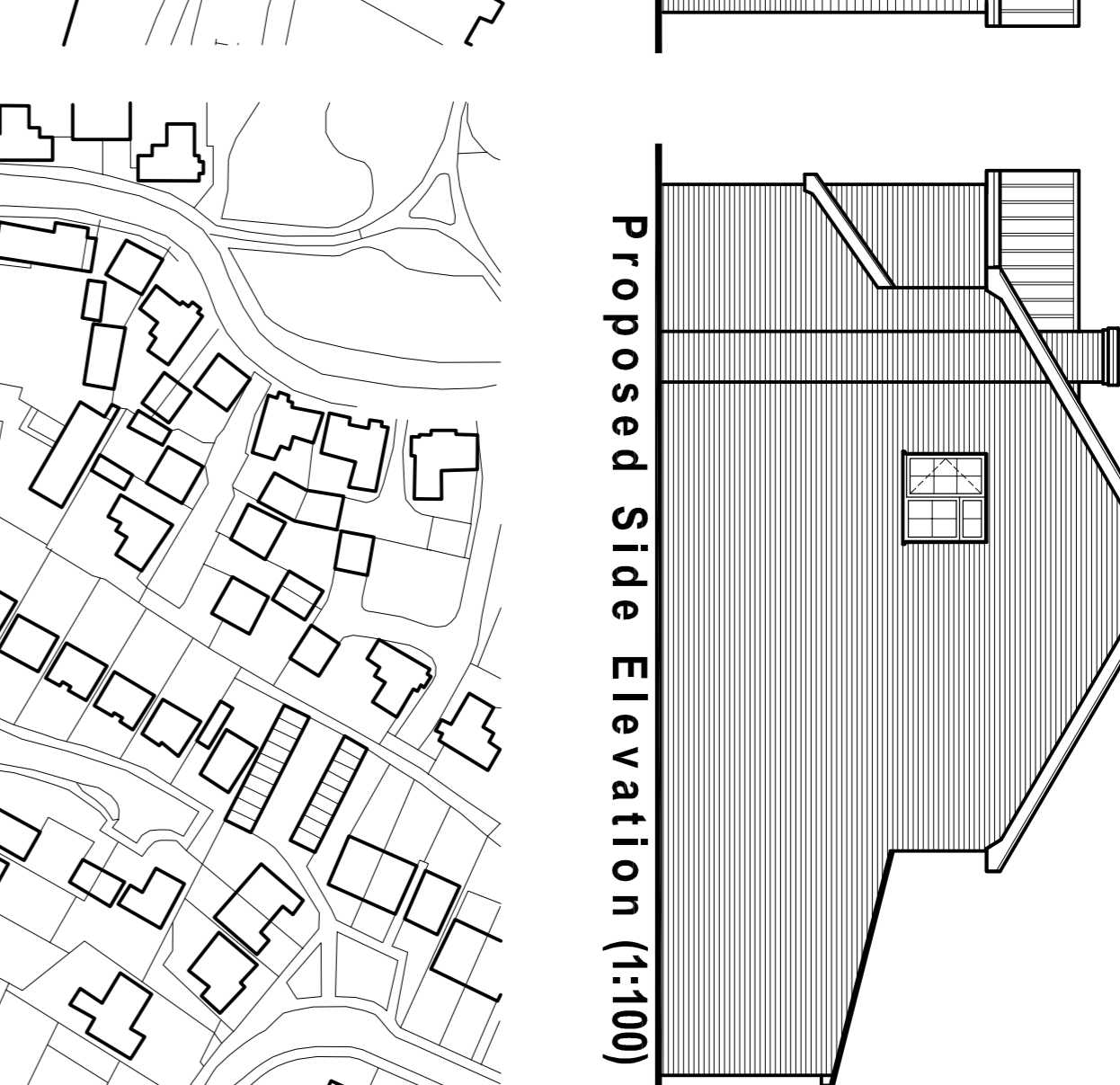
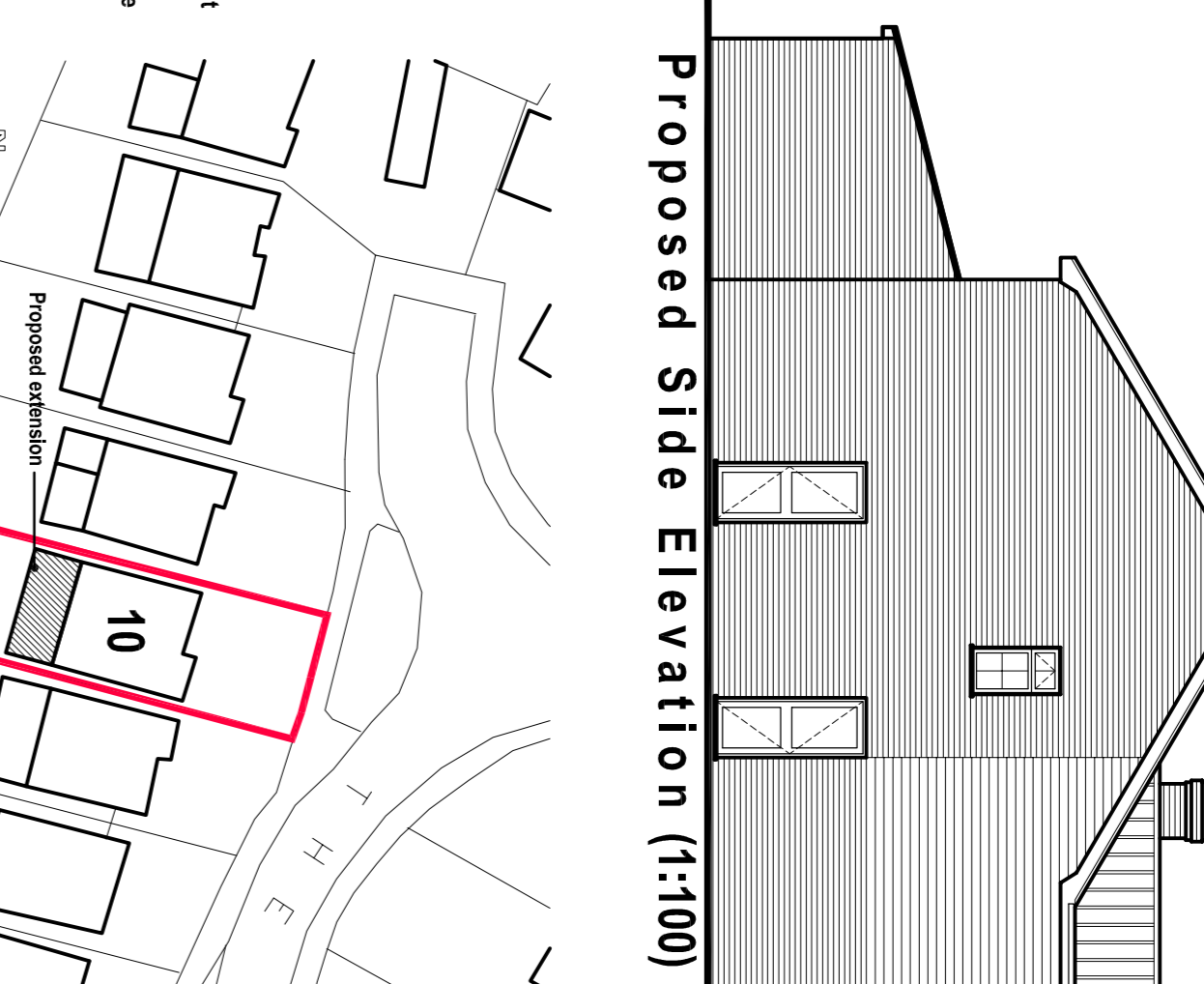
Merley Amazon rainwater gutters and downpipes. Colour black.

New rainwater downpipe.

Site boundary.

New in-hold doors to have a 'U' value of min 1.2mW/m<sup>2</sup>K and to comply with building regulations. (See notes).

All glazing below 800mm from F.F.L. to be in toughened glass. 150mm to doors. (See hatched area).



**Proposed Block Plan (1:500)**



Glazing to office areas as defined in the building regulations part N to comply to BS5206:1981 specification for impact performance requirements for the safety glass and safety plastics for use in buildings. (See notes). Glazing to all ground floor external windows to comprise double glazed units comprising Pilkington Optiguard Advantage system. See manufacturers literature for details. Windows frames to be supplied by an approved manufacturer. All windows glass will have a U-value of 0.5W/m<sup>2</sup>K. First floor windows to achieve a U-value of 1.0W/m<sup>2</sup>K.

Lintels/Beams  
Lintel references relate to ground floor plan. All lintels to be as Carston Calc Lintels. L2 - Timber frame above.

Internal Brick/block Walls  
All brickwork walls to be finished both sides with 75mm lightweight plaster.

Health & Safety  
It is advised that all work is carried out in accordance with the health & safety at work act 1974, construction (health, safety & welfare) regulations 1996, and the provisions of the Health and Safety Executive (HSE) Code of Practice for protection regulations 1988, lifting operations & fitting equipment, the management of health & safety at work regulations 1992 and all other health and safety legislation applicable to the project.

Pitched Roof to New Extension  
To consist of Plaster, Clay Interlocking Low Pitch Roof. This laid minimum 10 degree pitch or similar approved lead to 25x35mm softwood treated filling battens fixed on breather membrane fixed on 25x35mm softwood treated counter battens fixed on 75mm Gablex G4000 insulation. Fixed to 75x147mm C24 grade timber rafters at maximum 400mm centres with 75mm Gablex G4000 insulation laid between timber rafters, in strict accordance with manufacturers instructions. Board to be laid between rafters maintaining a minimum 50mm ventilated gap between rafters, in strict accordance with manufacturers instructions to ensure a minimum 50mm air gap. To be lined internally with 12.5mm vapour check plasterboard, finished with 3mm skim coat. Ridge and eaves ventilators to incorporate to manufacturers instructions. All to achieve a minimum U-Value of 0.15 W/m<sup>2</sup>K.

Flashing  
Wall/roof - Turn roofing material minimum 150mm up wall with tiling fillet. Dress concrete lead flashing the existing wall and turn into brick/block joint under cavity tray (if applicable) with lead wedge filings at 450mm centres. Lead to top over roofing felt minimum 150mm.

Rainwater Gutter  
150mm R. R. space gutter, with brackets at 1 meter centres fixed with 2x5 x25x5mm stainless/lead plated round head screws, laid to fall to 3mm RWOP.

Part Walls Etc Act 1996  
Party wall notice to be served on adjoining owners before commencement of works. Party wall agreement to be reached prior to commencement of works in accordance with the party walls act 1996.

Exposed Steelwork  
All exposed steelwork to be protected to achieve minimum half hour fire resistance. E.g. encased in two layers of 12.5mm plasterboard.

Mechanical Ventilation  
W. Chamber room and utility rooms to be fitted with extract fan capable of extracting minimum 30L/s. To be fitted with 'Simplify' over-run. Kitchen to be fitted with extract canopy capable of extracting 30L/s. All fans to terminate at an external wall or roof, and controls are to be situated within a zone of 450x1200mm from F.F.L. New electrical installation upon completion. All new light fittings to be fitted with energy efficient light bulbs.

Window/doors - Double glazed, draught proof windows (To clients specification). All windows to be fitted with 800mm trickle ventilation system, opening casements to be finished with 120mm enclosed room area. Window boards to be bullnose 20mm thick.

Power and Lighting  
Installation to comply with 'Regulation F' for Electrical Installations. 17th edition requirements of the local electricity company. All wallswitches, sockets and other controls are to be sited within a zone of 450x1200mm from F.F.L. New electrical installation upon completion. All new light fittings to be fitted with energy efficient light bulbs.

Fenestration  
Window/doors - Double glazed, draught proof windows (To clients specification). All windows to be fitted with 800mm trickle ventilation system, opening casements to be finished with 120mm enclosed room area. Window boards to be bullnose 20mm thick.

Cavity wall insulation and roof insulation to meet at top of wall.  
75x100mm C24 grade timber walljoists. To be secured to wall with 12.5mm plasterboard ceiling finished with 3mm skim coat.  
75x147mm galvanised steel struts at maximum 1200mm centres.  
Rafter and timbers to be doubled up around roof lights.

Rooflight to be fitted with a conversion kit to ensure that the rooflight is angled to a minimum 10 degrees. To be fitted in accordance with manufacturers instructions.

Roof to be constructed at minimum 10 degree pitch in order to avoid existing windows at first floor level

Rooflight opening to be internally lined with 10 layer of 12.5mm plasterboard finished with 3mm skim coat.  
12.5mm plasterboard ceiling finished with 3mm skim coat.  
75x147mm C24 grade timber ceiling joists at maximum 400mm centres.  
Rafter and timbers to be doubled up around roof lights.

New D.P.W.'s to be tapped into existing D.P.C.  
New floor level to match existing.  
See notes for details of new floor construction.  
Finished Ground Floor Level

New floor level to match existing.  
See notes for details of new floor construction.  
Finished Ground Floor Level

Existing ground floor level.

Line of existing foundations.

Notes  
Do not scale from this drawing. All dimensions to be checked on site by contractor prior to commencement of proposed works.  
Before commencement of any work full building control and planning approval must be obtained. This drawing is to be read in conjunction with structural engineers drawings. No responsibility for building works can be taken by the agent since no drawings will be placed during construction. All dimensions to be checked by contractor prior to commencement of works. All drawings shall be in accordance with the Building Regulations of the work. All drawings shall be in accordance with the Building Regulations of the work. All drawings shall be in accordance with the Building Regulations of the work. All drawings shall be in accordance with the Building Regulations of the work.

General  
All new windows and doors to achieve a 'U' value of 1.2mW/m<sup>2</sup>K and to comply with the current building regulations. All glazing below 150mm from F.F.L. to be in toughened glass to BS5206. General glazing to consist of double glazed units with a 16mm air gap, argon filled and a soft low-E coating, or similar approved. Windows to be fitted with trickle ventilators where appropriate and lockable casements.

External walls to be finished in facing brickwork. (See notes for details).

Blockwork walls to be finished with 13mm plaster with 3mm skim coat.  
Movement joints to be provided to all brickwork/blockwork walls. Maximum 3m from corners and maximum 6m on straight wall sections.

Internal Wall Type A - Single layer of plasterboard each side, fixed to metal or timber studwork providing minimum 75mm air gap between external skins, min 25mm unfaced wool bats or quilt insulation laid between studs (min density 10kg/m<sup>3</sup>) suspended in cavity. All joints to be well sealed and finished with 3mm skim coat.

Internal Wall Type B - Single layer of plasterboard each side, fixed to metal or timber studwork providing minimum 75mm air gap between external skins. All joints to be well sealed and finished with 3mm skim coat.

Door to be to minimum half hour fire resistant.  
Existing door stops to be upgraded to 25x25mm timbers.  
Single Alarm connected to alarm and detection system in accordance with BS5824:1999, Type 2 Stroke detectors at each level to be installed.

Party wall notice to be served on adjoining owners before commencement of works. Party wall agreement to be in place prior to commencement of works in accordance with the party walls act 1996.  
Exact position of site boundary to be determined by contractor prior to commencement of works.

Where drains pass through foundations, pipe to be infilled over with pre-cast concrete lintels. New lintel to be constructed in brickwork above level of new foundations. To be minimum 300mm above invert level of drain. Drain to be surrounded in minimum 150mm pea shingle to all sides, backfilled with selected fill, free from stones greater than 40mm dia, clay, timber, frozen or vegetation. New foundations to be below level of existing drain and to have approximately 600mm clearance either side of drain.

Site boundary.

Site boundary.

Ground level to be reduced to form new patio area with steps up to existing garden level.

New Aco drain to connect into soakaway. See notes for details.

New R.M.V. to connect into soakaway. See notes for details.

New rear roof light to have a 'U' value of min 1.2mW/m<sup>2</sup>K and to comply with current building regulations. (See notes).

Existing walls and foundations to be exposed and checked by contractor for suitability prior to commencement of building works.

Line of steel beam above. See engineers calculations for details.

New foul water inspection chamber. Invert level 500mm below existing ground level.

New foul water inspection chamber. Invert level 500mm below existing ground level.

New stud wall (see notes for details).

Existing wall to be removed. To be checked by contractor to confirm non-loadbearing prior to removal.

Existing foul water inspection chamber. Invert level 520mm below existing ground level.

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100mm Thermaline Turbo blockwork or similar approved.  
Blockwork walls to be finished with 13mm plaster with 3mm skim coat.

Walls to be finished externally with facing brickwork to match existing. Type to be agreed with planning authority prior to commencement of works.

Stainless steel wall tie to be spaced maximum 750mm horizontally and 450mm vertical centres, reducing down to 225-300mm around window openings.

Extension to be bonded to existing walls with Ceramic stainless steel proprietary wall starters of appropriate size to suit blockwork and cavity wall construction. 12.5mm plasterboard with 3mm skim coat to provide minimum half hour fire resistance.

Contractor to ensure that water utility company are consulted prior to the commencement of works in order to ensure that water mains and sewers are in place and that the proposed drainage system are fully compliant with their requirements.

Existing wall and foundation to be checked by contractor prior to commencement of works.

See structural engineers calculations for details of new beam over opening.

Minimum 75mm lead upstand dressed into existing brickwork. (Contractor to check pitch line of new roof under existing window prior to commencement of works).

75x147mm C24 grade timber fixed to existing wall with M16 expanding bolts at maximum 600mm centres.

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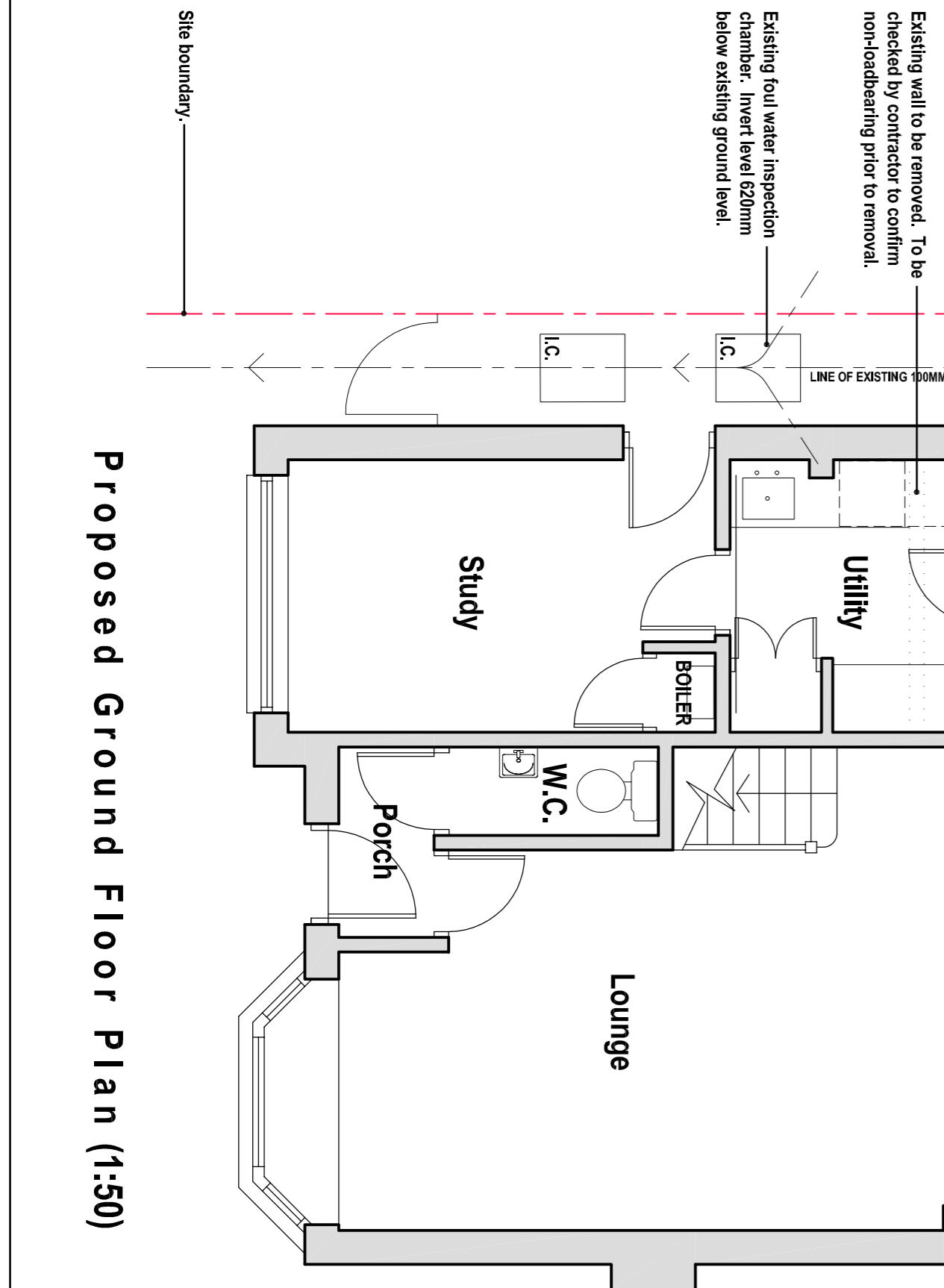
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<b>Job</b> Proposed Extension 10 The Dell Bentwood Essex, CM13 3AL	<b>Client</b> Mr & Mrs Hunt
<b>Drawing</b> Proposed Plans, Elevations & Site Location Plan	
<b>Scale</b> 1:20 1:50 1:500 1:1250	<b>Date</b> March 2024
<b>Job no</b> 10-TD	<b>Drawing no</b> 02a