

HERITAGE DESIGN AND ACCESS STATEMENT

ROOF WORKS, RE-RENDERING AND AMENDMENTS TO EXTENSION 23/00189/LBC

AT LITTLE JERICHO, CHURCH LANE, BLACKMORE

1. SUMMARY OF PROPOSAL

- 1.1 Approval was given under Householder Planning Permission 23/00188/HHA and Listed Building Consent 23/00189/LBC on 12th May 2023 for extensions and alterations to Little Jericho.
- 1.2 The following works are proposed within this submission for amendments to the listed building consent 23/00189/LBC. The changes are small scale and permitted development under HHA:
- Renewal of roof finish, box gutter and leadwork including clarification of tiles.
 - 1 rooflight on the rear extension.
 - Reduction and amendment of ground floor glazing of the rear extension.
 - Re-rendering in lime to replace cement including clarification of finish.
 - Clarification of junction of extension detail.
- 1.3 Associated minimal like for like repair is to be carried out to the brickwork and leadwork.

2. HERITAGE SIGNIFICANCE

Listed Building

- 2.1 Little Jericho is a Grade II Listed house. It was listed on 13 March 1972, with an amended description on 9 December 1994, as:

House. c1600, extended in early C17, early C19 and C20. Timber-framed, plastered, roofed with handmade red clay tiles. 3 bays facing approx W with central stack, forming a lobby-entrance plan, with stair tower to rear of middle bay. 2 storeys and originally occupied attics. C18 outshuts to each side of it, forming catslides with the main roof, and C18 external stack to right. C20 single-storey extension to rear left, with hipped roof of machine-made red clay tiles. 2-storey porch added early in C17. Ground floor, two C19 tripartite sashes of 4:16:4 lights. First floor, three C20 casements. Early C19 6-panel door with flat canopy on profiled brackets. A bay window has been added to each side of the porch in recent years. Simple parapet with moulded wooden cornice. The porch and stair tower have hipped roofs. Jowled posts, primary straight bracing, heavy studding, edge-halved and bridled scarf in rear wallplate. INTERIOR: the ground-floor rooms have axial beams with deep chamfers and large lamb's tongue stops, with plain joists of vertical section; the left end of the left beam is supported on a brick pier. The studding of the rear wall of the right lower room has been removed. The large wood-burning hearth to left has an inserted mantel beam with lamb's tongue stops, below the severed original mantel beam, both ends of which remain in situ; the 0.33m brick jambs have been re-faced. Right hearth much altered. C20 brick nogging is used internally as decor. Similar floors above. Butt-purlin roof with joggled purlins, in 3 bays above each room. The original newel stair is largely intact to the attics, altered near the bottom. HISTORICAL NOTE: the siting, near the church and on land connected with Jericho Priory (qv), the height and general character, suggest this house was built as a vicarage by John Smyth,

owner of Jericho Priory from 1594 to 1621. (Morant P: *The History and Antiquities of the County of Essex: 1768-: 57*).

Adjacent Listed Buildings

2.2 Little Jericho is within a group of listed buildings in Church Street, all within the Conservation Area. The exception is the house immediately to the north which was built in 2005/6 and of no heritage significance. This modern house provides separation between the proposed replacement rear extension and heritage assets to the north.

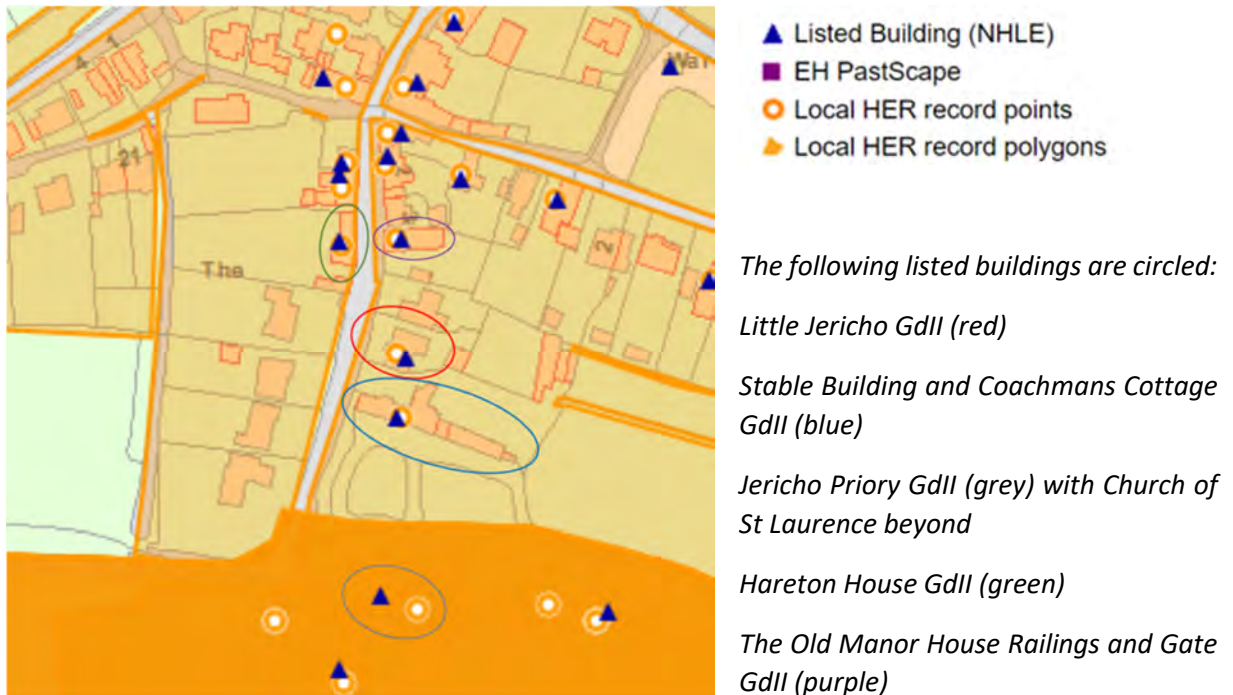


Figure 1. Heritage Gateway Map.

The settings of these listed buildings would not be affected by like-for-like replacement of the roof finish and the proposed rooflight will not be visible in conjunction with any of the neighbouring listed buildings.

Conservation Area

2.3 Blackmore Conservation Area (CA) was first designated on 12 December 1975 and has a Conservation Area Appraisal (CAA) dating from 2008. The Conservation Area contains the oldest parts of the medieval village of Blackmore, from just north of The Green to the moated site of the original Priory and is bounded by Blackmore Road and Ingatestone Road on the west and east respectively.

2.4 Little Jericho is within Zone 2, the central core of the Conservation Area including the main length of Church Street. This includes “*high quality historic buildings closely built up to the street edge. Traditional buildings are of two storeys, and are generally timber-framed and rendered, sometimes with weatherboard on secondary elevations, and clay tile roofs. Occasionally warm red brick adds interest and colour. Roof pitches are typically steep but varying pitches and ridge heights create a lively roofscape...*” (CAA Page 17)

The like-for-like replacement of the roof finish complies with the identified use of clay tile roofs and the proposed rooflight hidden at the rear would not affect the identified character.

2.5 Development of Little Jericho

- 2.6 In 1777, Little Jericho was within a good sized plot on the eastern side of Church Street, adjacent Jericho Priory.

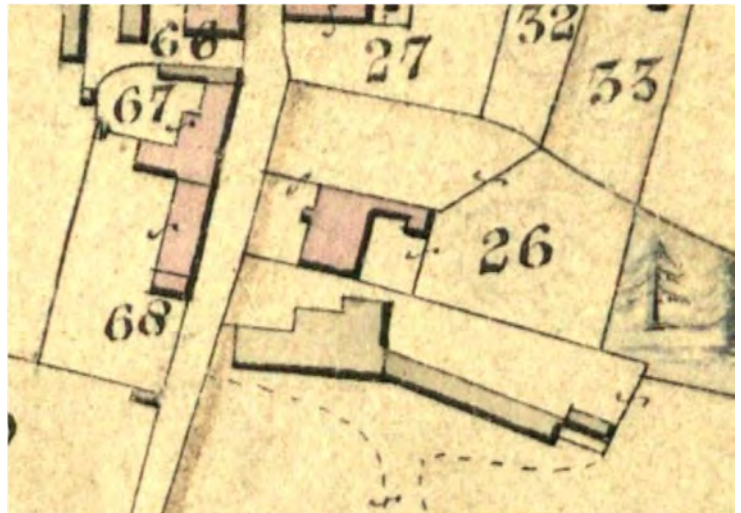
Figure 2. Chapman and André map of 1777. Digital reproduction Tim Fransen 2018.



- 2.7 The plot was reduced in size shortly afterwards, when a substantial building was constructed in the location of the current Coachmans Cottage, Stable and Coach House to the south of Little Jericho.

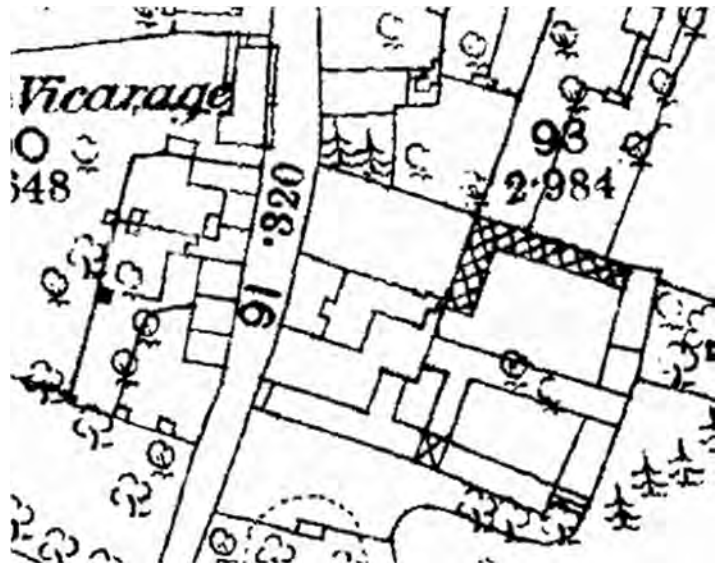
Figure 3. 1845 Tithe Map.

- 2.8 In 1845 Little Jericho comprised a rectangular block with front porch, and a now lost wing which extended from the rear of the cat-slide, along its northern boundary and part of the eastern boundary. The plot was reduced and rectangular in form. Both northern and southern boundaries were in line with the gable walls of the house.



- 2.9 By 1873, the rear extension had been reconstructed. It was much deeper in form, similar in span to the existing extension, but larger in footprint.

Figure 4. 1880 Ordnance Survey Map. Surveyed 1873.



2.10 The rear extension was reconstructed and an extension is shown behind the Stair Tower by 1896. This corresponds with the alterations to the staircase at ground floor level.

Figure 5. 1897 Ordnance Survey Map. Surveyed 1896.

The 1920 Ordnance Survey Map shows the same footprint.

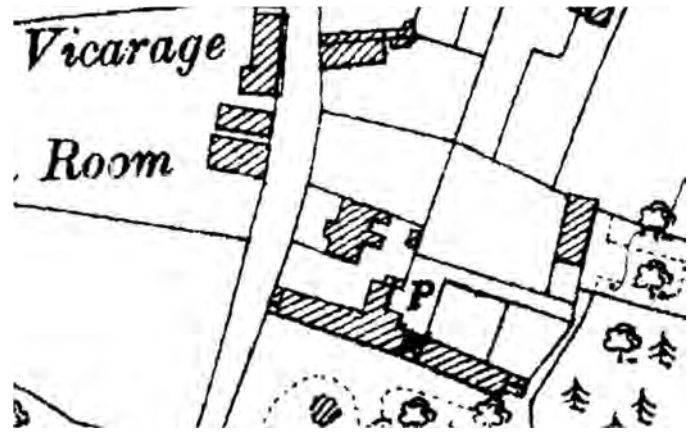


Figure 6. 1975 Ordnance Survey Map. Surveyed 1972

2.11 This map shows that the footprint remained the same and that the current Kitchen is later. The outbuilding attached to the rear garden wall dates from between 1920 and 1972.



2.12 The map sequence shows that the rear elevation is the most altered and that the building had a large rear extension in the position of the current Kitchen at a relatively early date.



Figure 7. Photograph of Little Jericho looking south along Church Street in circa 1910. This shows that the eaves detail on the frontage was a traditional open eaves to a downpipe of the front elevation and that the render was not divided into panels. Photo: Andrew Smith.

Current photographs:



Figure 8. Front from Church Street, for comparison with the above, showing that the eaves box gutter detail is not historic.



Figure 9. Front Elevation looking northwards from Church Street.



Figure 10. Front Elevation.



Figure 11. Front roof pitch showing lead box gutter/capping detail and typical tile mix.



Figure 12. Rear Elevation with C20 Kitchen in the foreground. This kitchen is to be replaced by the authorised extension. There is an existing rooflight with light tube on the C20 kitchen roof.

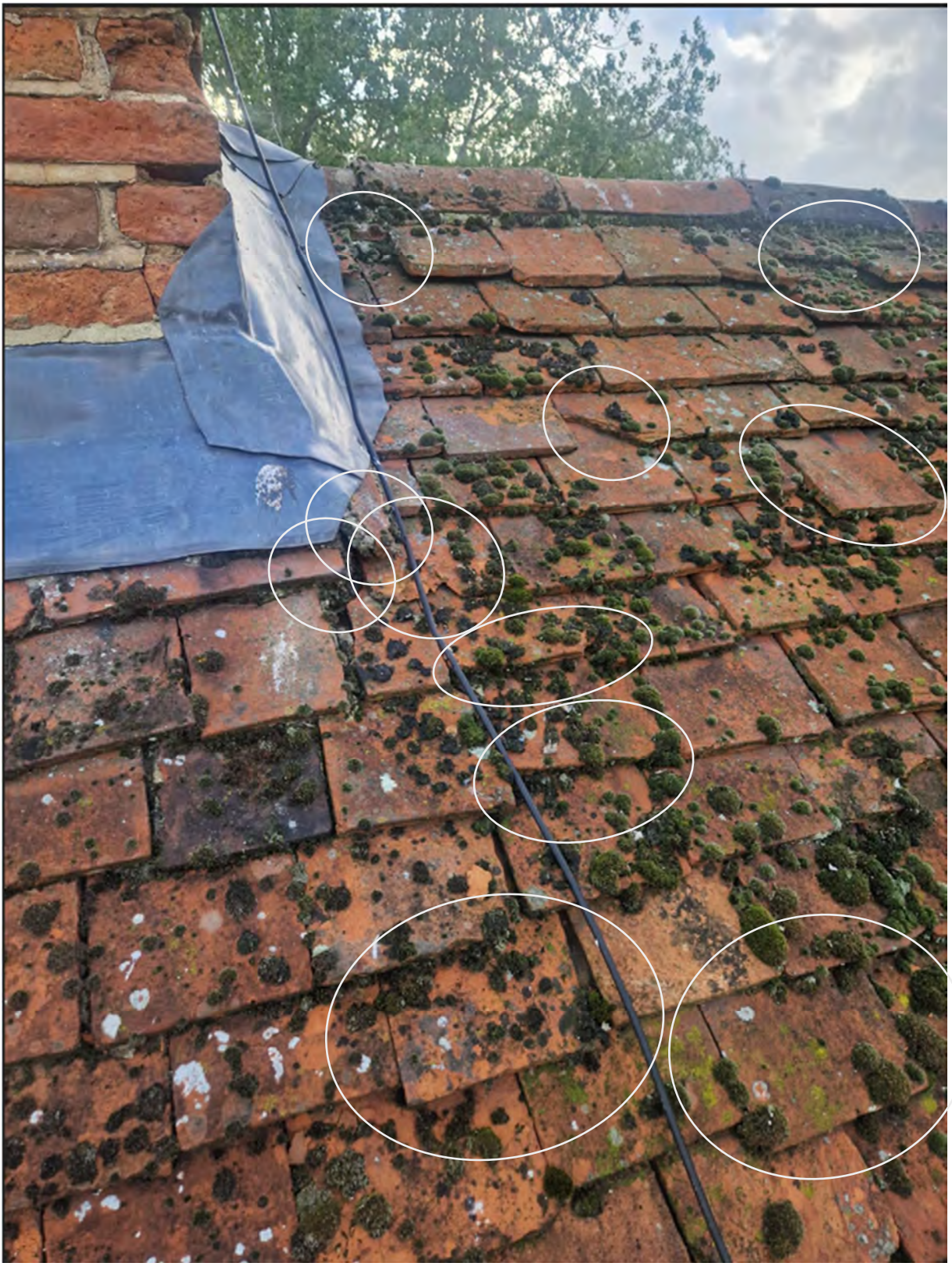


Figures 13a-e. Above and next page- Typical tile deterioration of the main roof, cracked and missing tiles and slippage.



Typical tile defects continued





Typical broken and deteriorated tiles around chimney, slipped tiles in foreground and RHS, missing and broken tiles.



Figure 14. Porch roof with typical unsympathetic machine tile replacement, broken and disintegrated tiles.

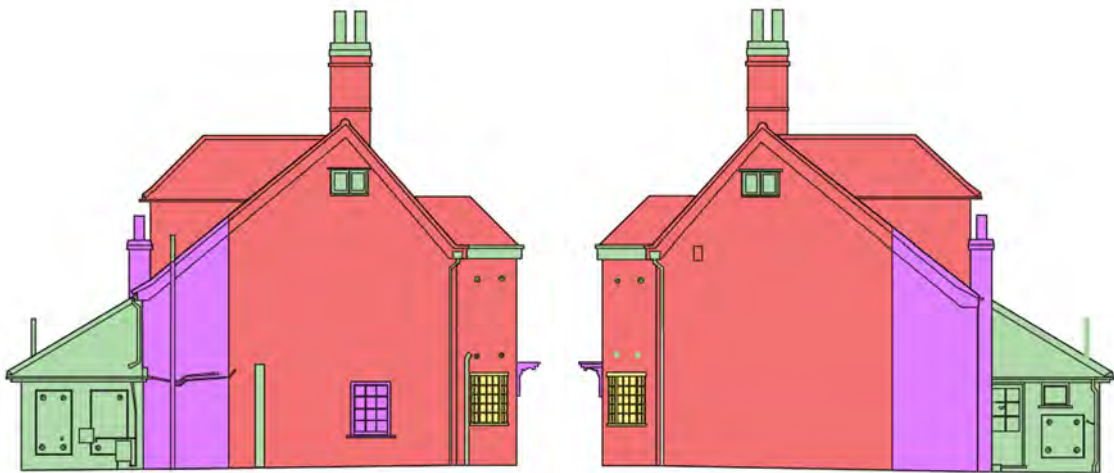
2.13 Significance of the Building



Front (West) Elevation



Rear (East) Elevation



Side (North) Elevation

Side (South) Elevation

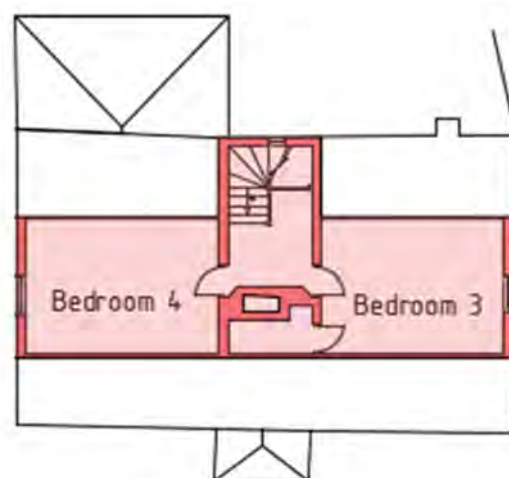
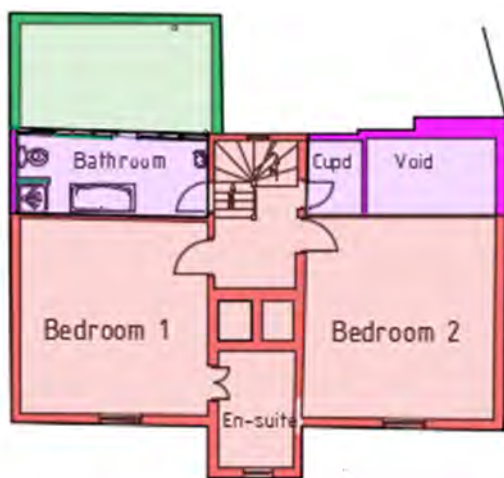
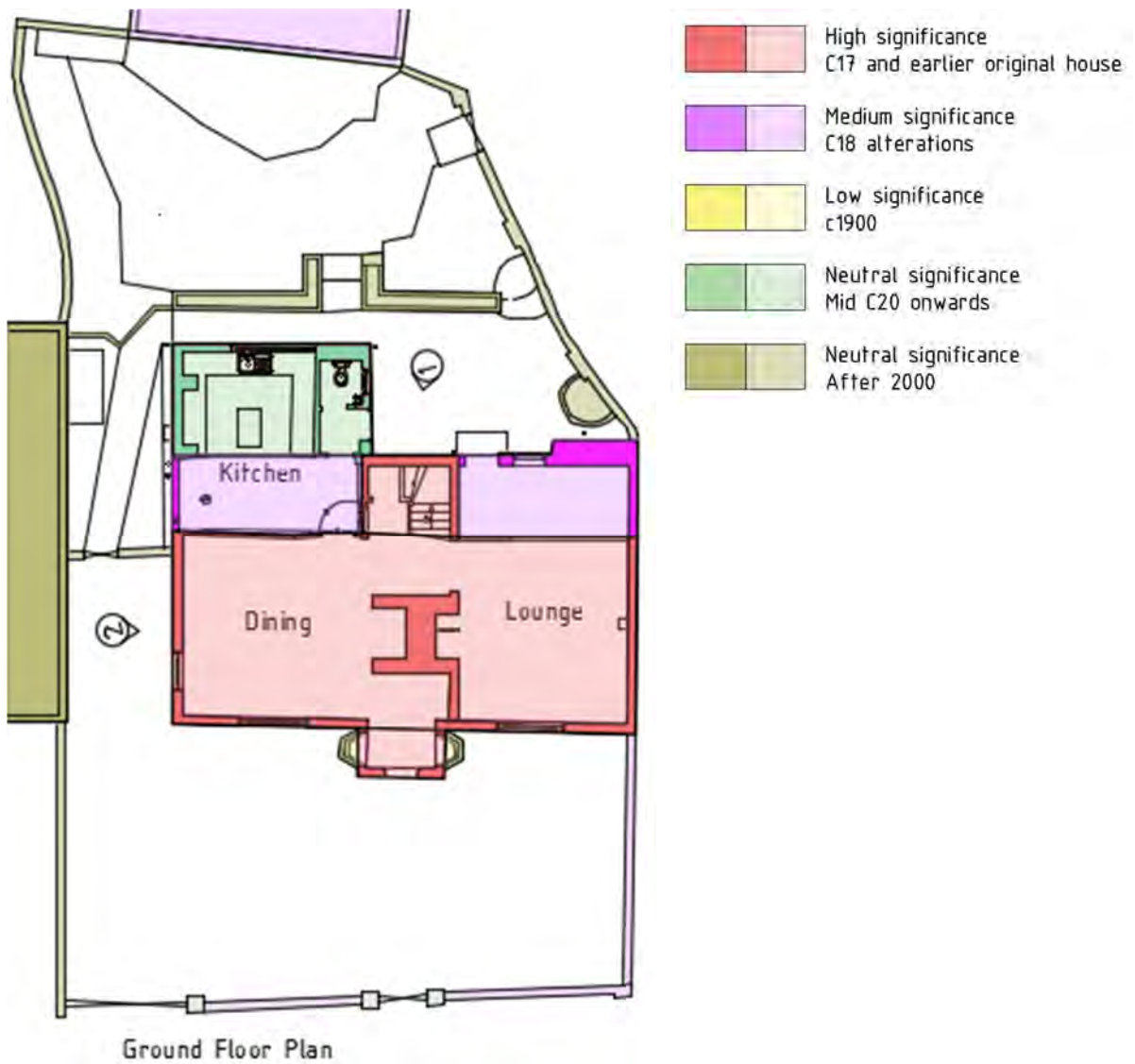


Figure 14. Little Jericho Significance Plans

3. STATEMENT OF SIGNIFICANCE

Level of significance and contribution of features affected by proposals

3.1 As set out in NPPG Historic Interest paragraph 006, significance derives from archaeological interest, architectural and artistic interest, and historic interest:

Archaeological interest

- Little Jericho comprises a two-storey 3 bay lobby entry house of circa 1600 with rear stair tower and an early C17 two-storey front porch. These are the key elements of archaeological interest.
- The timber frame, lobby entry form, layout and evolution of the house is of high archaeological interest.
- The scale, massing, form and materials reflect the vernacular character of good quality historic rural dwellings in the locality.
- The house was extended to the rear with two catslide lean-tos in the C18. These can still be identified and are of lesser archaeological interest because of their later date and greater alteration.
- The northern catslide lean-to was altered and extended in the late C19 and again in the C20 to form the current kitchen. The rear wall was removed at ground floor to open up the volume and the studwork was altered above this to provide a door and window openings at first floor. The C20 studwork and kitchen are of no archaeological interest.
- There is a low level of survival of the alterations of the C19, due to post 1970 reconstructions and changes, which are of neutral interest.
- The roof finish has been periodically replaced and the current roof finish and front box gutter detail dates from the late C20. At each renewal, it is likely that typically sound tiles have been retained and defective tiles replaced with similar tiles to match the remainder.
- The render is from the late C20 and the circa 1910 photograph shows the pargetting pattern is subsequent and of no historic interest.

Architectural and artistic interest

- Little Jericho is one of the key historic buildings along Church Street, and although set back, contributes to the high quality views and streetscape of this part of the Conservation Area.
- The vernacular form, massing, timber framed construction, proportions, symmetry, design, details and materials provide a high level of architectural interest.
- The C18 sash windows, door surround and pediment of the front door contribute to the symmetry of the house and its visual interest.
- The frontage wall retains some C18 brickwork which adds to the streetscape, although both openings are from the C20 and are of lesser quality.
- The fenestration from the late C20 is of poor quality and incorporates unsympathetic elements such as top-hung casements.

Historic interest

- The quality of the earliest framing indicates that it had a high status owner. The list entry identifies that it may have been built as a Vicarage and other sources indicate it may have been an Inn, both of which contribute historic interest.
- The map evidence and local sources indicate that Little Jericho has been connected with the landholding of Jericho Priory and potentially with the Royal Court.

4. PROPOSALS

4.1 The proposals comprise:

- Clarification of re-roofing area and tiles to match the existing tiles. The proposed re-roofing comprises the replacement of the main roof, porch and stair tower tile finishes and the lead front gutter as investigation has established these are all in poor condition.
- Addition of 1 rooflight on the rear extension. This is a small single rooflight above eye level.
- Amendments to ground floor glazing of the rear extension. These reduce the amount of glazing.
- Re-rendering in lime to replace cement. Historic photograph evidence found after the previous consent has established that the parget detail is modern.
- Additional detail regarding roof junction of extension. The roof structure is to be supported off studwork bearing on the substantial beam at former eaves level and avoids change to the appearance of studwork within the existing Bathroom.

Local Plan Policy

4.2 Policy BE16 states that great weight will be given to the preservation of a designated heritage asset and its setting. Development proposals affecting a designated asset, including a listed building, will be required to sustain and wherever possible enhance the significance of the assets and its settings.

A Heritage Statement has been provided as required, to provide sufficient information on the significance of the heritage asset (according to its importance), the potential impacts of the proposal on the character and significance of the asset and its setting, and how the proposal has been designed to take these factors into account. The Statement makes an assessment of the impact of the development on the asset and its setting and the level of harm that is likely to result, if any, from the proposed development.

Development proposals that would be likely to cause either less than substantial or substantial harm to, or loss or partial loss of, a designated asset or its setting will be assessed in accordance with the statutory framework and national planning policy.

This includes assessment to weigh any identified harm against public benefits.

The proposed extension was considered to provide a neutral impact, balancing the improved quality of design and improved relationship to the stair tower, against the bulk of an extension.

The proposed changes are minor and do not change the principles established in the previous consent. This application clarifies junctions of the extension with the existing building and side boundary and the extent of repair to the roof and render following further investigation.

Design and Justification

Main roof

- 4.3 The proposed cyclical roof repairs ensure that the building is preserved in good condition. These were discussed in principle at pre-app stage alongside proposals already given consent. They were omitted awaiting access and closer inspection of the condition of the roof. This investigation has now been carried out and defects identified as shown by the photographs above. They show that there is widespread slippage and many of the tiles are broken or friable. The roof finish has therefore reached the end of its useful life. There are leaks from the perimeter lead gutter which are being dealt with at the same time.
- 4.4 The proposal is to reuse all sound handmade tiles and make good the shortfall using new tiles to match. The methodology is as follows:

Replacement clay tile roof

- Strip existing roof back to rafters
- Lay breather felt membrane, batten and eave ventilation system
- Fit code 5 450mm lead valleys to hipped roof
- Tile roof area using heritage Handmade clay tiles
- Fit new lead flashing to chimney
- Finish with mortar ridge and tiled mortar verge

Existing roof tile finish and colour for context:



Proposed handmade tiles to make up shortfall:

Keymer Shire Priory

<https://www.keymer.co.uk/products/shire/>



Backup tiles if required:



Traditional Tiles Pembury
Developer Medium Antique
<http://traditionalclayrooftiles.co.uk/products/clay-roof-tile/developer-range/>



Manor Danbury Medium Antique.

https://7a82c530-585b-42b1-955c-57db0e192804.usrfiles.com/ugd/7a82c5_0a37ae340c2a462f924106a165866873.pdf

Front roof:

Replacement box Gutter

- 4.5 This box gutter is a C20 detail as shown by the historic photograph above, done in order to improve eaves height for the first floor.
- 4.6 The methodology of repair follows the C20 design of the existing box gutter and is as follows:
- Strip existing box gutter back to joists
 - Fit 18mm osb boarding to box gutter with
 - Lay classic bond fleeceback epdm to box gutter
 - Fit code 5 welted lead capping to finish

Existing modern milled lead and capping detail for context:



Minor amendments to the permitted extension

Rooflight on rear extension

4.7 The permitted extension includes a bath alcove as the original bathroom had to be reduced to provide access to the first floor. The alcove is not well lit and we considered how this could be improved naturally without enlarging the small permitted window which faces towards the neighbour. The proposed single Neo rooflight would improve natural light of the space without overlooking, and would reflect the slim framed character of the extension.

The proposal is the Rooflight Company's Neo 06. This is one of the smallest of the range, at 842mm high x 531mm wide. This is installed flush with the roof finish and is located so that there is sufficient gap between the rooflight and the valley gutter so the roof finish continues around it.



[https://therooflightco.com/products/neo-rooflight/.](https://therooflightco.com/products/neo-rooflight/)

Amendments to ground floor glazing of the permitted rear extension

4.8 The permitted glazing extends across two-thirds of the gable. It is proposed to reduce this which ensures greater privacy following comment from the neighbour. The drawings are amended to show sliding doors which can be detailed with slimmer surrounds than side opening doors.

External rendering in lime to replace cement

4.9 The external render is C20 cement with a parget pattern of panels with circular detailing which appears to have been created by pressing the render with the base of glass bottles. Although the principle of replacing cement render with lime was supported at Pre-Application stage, further clarity was required in order to show that it was practical and to identify what the original finish or patterning was.

4.10 The historic evidence shows that there was no pargeting and this proposal is provided with sufficient clarity having established that the current render is a complete replacement.

4.11 The scope of works allows for further agreement with the Conservation Officer in the unlikely event that change is required once the modern render is removed.

The Proposed methodology is as follows:

Allow to replace late C20 cement render in lime subject to agreement of render sample. Omit late C20 bottle parget panel detail to reinstate appearance to the flush appearance of the historic photograph of circa 1910.

Unless otherwise agreed with the Conservation Officer / LPA:

1. Allow to retain any sound historic lathes that survive and to carefully remove metal mesh.
2. In principle any areas retaining historic lathes are to be repaired in matching timber lathe and the metal mesh substrate is to be replaced with 15mm external quality woodwool or similar agreed breathable substrate. Allow to insulate in Steico woodfibre or similar breathable insulation batts if practical to do to a whole wall without disturbance of historic fabric and without cold bridging.
3. Allow to finish in Anglia Lime external lime render mix. Allow scratch coat of Warmcote and finish coat of Limecote.
<https://www.anglialime.com/> or <https://bestoflime.co.uk/product/warmcote/>

Clarity regarding the bathroom partition

- 4.12 The First Floor Bathroom partition forms the junction between the existing house and the reconstructed rear extension. The rear extension as shown by the historic maps, was narrower than the existing rear wing and the framing visible from the bathroom shows the two largest surviving studs. Within the roof space of the extension the partition is a mix of C20 and earlier studs. These have been plotted so that the historic studs are retained, apart from one given consent for slight relocation in the previous listed building consent in order to provide access.
- 4.13 It is proposed to reuse the partition as the junction between the main house and the extension so not to disturb the Bathroom and historic range. The proposed roof structure will therefore bear on new infill studs within the partition, down to the large horizontal beam just above floor level.

Figure 15. Existing Bathroom with substantial horizontal beam just above floor level and the two main studs.

These visible timbers will remain visible.



Figure 16. Junction of extension roof with the partition seen from the roofspace.

The beam is at the bottom of the picture and a mix of historic and C20 studs can be seen in the partition (left).

The proposed support for the new eaves beam and purlins will follow the same approach as the current roof of the extension using infill studs to bear onto the large beam. This is to be infilled from the roofspace side.




Figure 17. Detail of the historic studs showing they were originally covered with plaster.

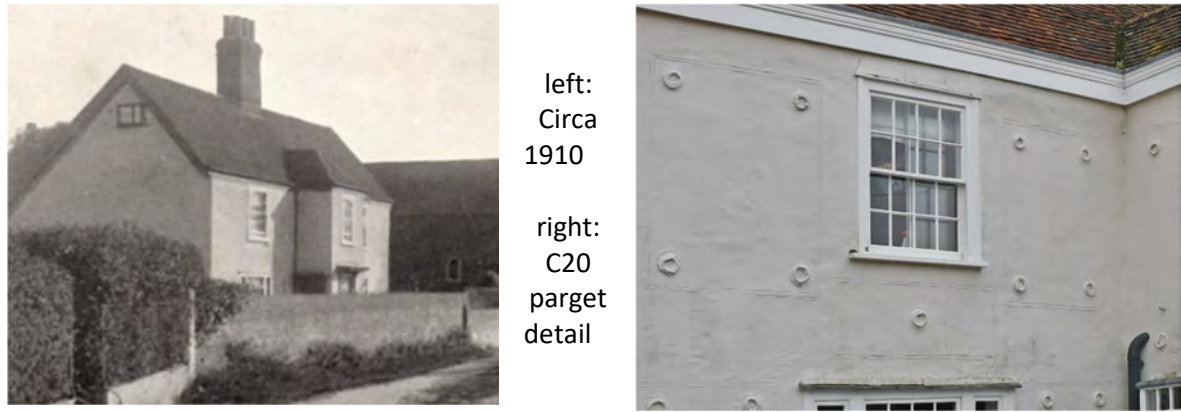



4.14 As before, it is proposed that the partition will be covered with a plaster finish from the extension side.

5.0 IMPACT TABLE

REF	PROPOSAL	SIGNIFICANCE	IMPACT	JUSTIFICATION
EXTERNAL WORKS				
Re-Roofing With Tiles And Leadwork				
				
1	<p>Re-roof tiling of main roof, porch and stair tower. Replace leadwork of front box gutter and defective flashings and valleys.</p> <p>Supported at PreApp subject to investigation and clarification.</p>	<p>Neutral - low C20 finishes with proportion of reused tiles.</p>	<p>Preservation and enhancement.</p>	<p>The roof has been inspected by the roofer and the extent of defects confirmed by attached photographs.</p> <p>The existing finishes have reached the end of their useful life and the proposal is a cyclical repair required for the longevity of the building.</p> <p>Details of the proposed quality hand finished clay tiles are provided for making good where tiles have reached the end of their viable life and where inappropriate machine made tiles have been inserted in the past.</p> <p>The loss of machine-made tiles will provide a small visual improvement.</p>

REF	PROPOSAL	SIGNIFICANCE	IMPACT	JUSTIFICATION	
	<p>Existing C26 top floor window. Replace with painted timber side opening casements with rebated meeting stop detail for seal in emergency. See drawing 242.20</p> <p>Bath window with frosted glass and restrictor</p> <p>Utility</p> <p>Can like new fire</p> <p>Elevation 2 North</p> <p>Approved elevation</p> <p>Rooflight (Composite Area 06 53760942)</p> <p>Extent of re-laying main roof finish shown dotted red</p> <p>Existing C26 top floor window. Replace with painted timber side opening casements with rebated meeting stop detail for seal in emergency. See drawing 242.20</p> <p>Utility</p> <p>Bath window with frosted glass and restrictor</p> <p>Proposal</p>				
2	Addition of single rooflight on consented rear extension.	Neutral unbuilt extension	–	Low	The proposed rooflight is well screened behind the main roof and has minimal visual effect. It is similar in character to the glazed light on the existing rear extension roof and to the minimally framed glazed appearance of the rest of the extension. It reduces the use of artificial lighting.
	<p>Extent of re-laying main roof finish shown dotted red</p> <p>Cement render removed and replaced with lime render as historic practice. Extent shown on plan</p> <p>Carefully remove boiler and pipework. Carry out minimal like-for-like timber scarf repairs to window</p> <p>Replace rotted timber door to existing design or as agreed by Conservation Officer</p> <p>Elevation 1 East</p> <p>Approved elevation</p> <p>1.5 Storey replacement Extension</p> <p>1 storey behind garden wall</p> <p>Dotted panel reduced, amended to sliding door</p> <p>Proposal</p> <p>1.5 Storey replacement Extension</p> <p>1 storey behind garden wall</p>				
3.	Amendments to ground floor glazing of the extension	Neutral unbuilt extension	–	Low	The ground floor glazing is reduced which directs any views southwards away from the neighbour. The fixed panel on the gable and the side opening doors are amended so both sides have matching minimal framing.

REF	PROPOSAL	SIGNIFICANCE	IMPACT	JUSTIFICATION
				 <p>left: Circa 1910</p> <p>right: C20 target detail</p>
4.	Re-rendering	Neutral finish High framing	Enhance	The existing render is cement with cracks which trap water in the highly significant frame. The proposed finish is more authentic for the building.
				 <p>left: existing detail showing support off additional studwork. Both studs in this photo are nailed insertions and the far stud supports the existing purlin (right).</p>
5.	Clarification of junction with existing building	High (C16 rear wall) Medium (C18/C19 reused studs) Neutral (C20 extension)	Preserve	The detail follows the principle of the existing extension which preserves the existing Bathroom partition and supports off the substantial horizontal beam.

6.0 ACCESS

6.1 The proposed works do not affect any existing access.

7.0 IMPACT

- 7.1 The proposed roof works and re-rendering will preserve the longevity of the listed building and enhance the character of the listed building and the conservation area.
- 7.2 The proposed rooflight and glazing changes are designed to improve amenity and the use of the building. They continue the use of high quality minimally framed glazing which was an important principle for the design of the approved scheme.
- 7.3 This application provides additional clarity about the junction of reconstructed extension with the existing frame, which is designed to preserve the interest of the listed building.