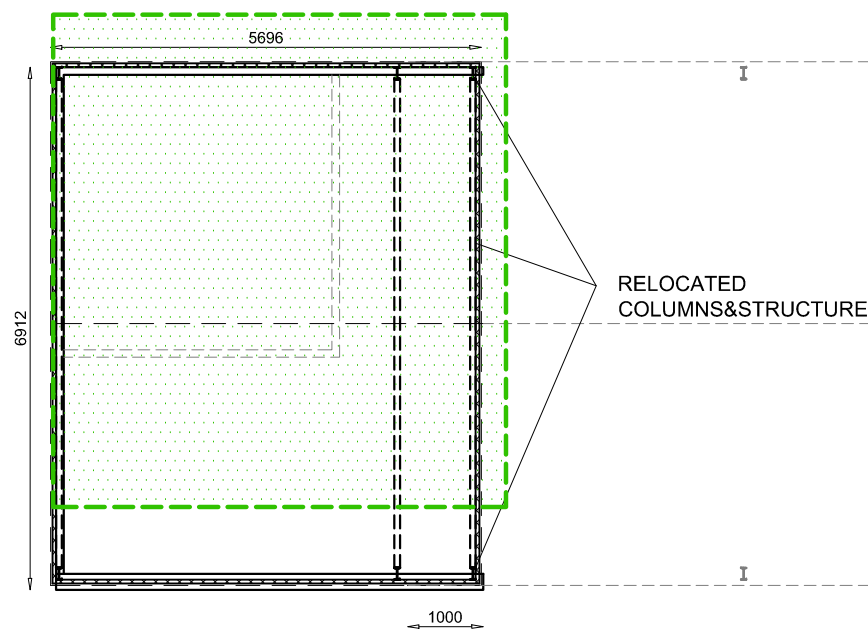


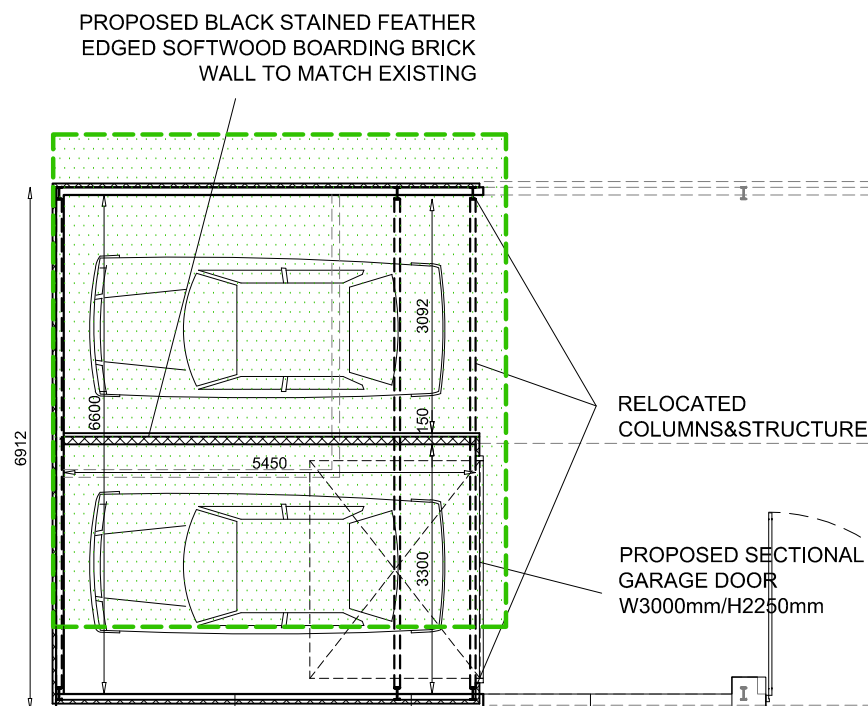
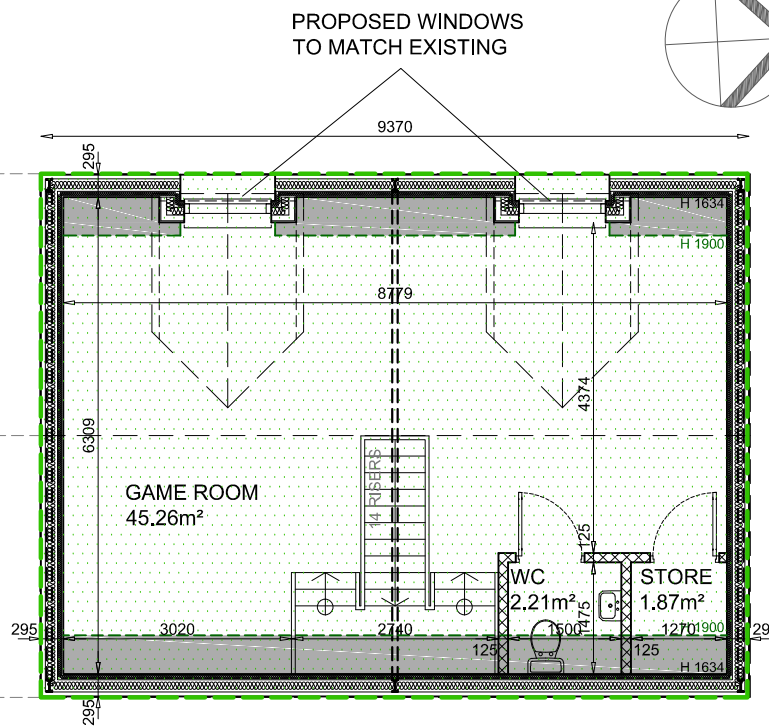
IF ANY CHANGES ARE MADE AFTER PLANNING APPROVAL, THEY MUST BE CONSULTED WITH STAAC

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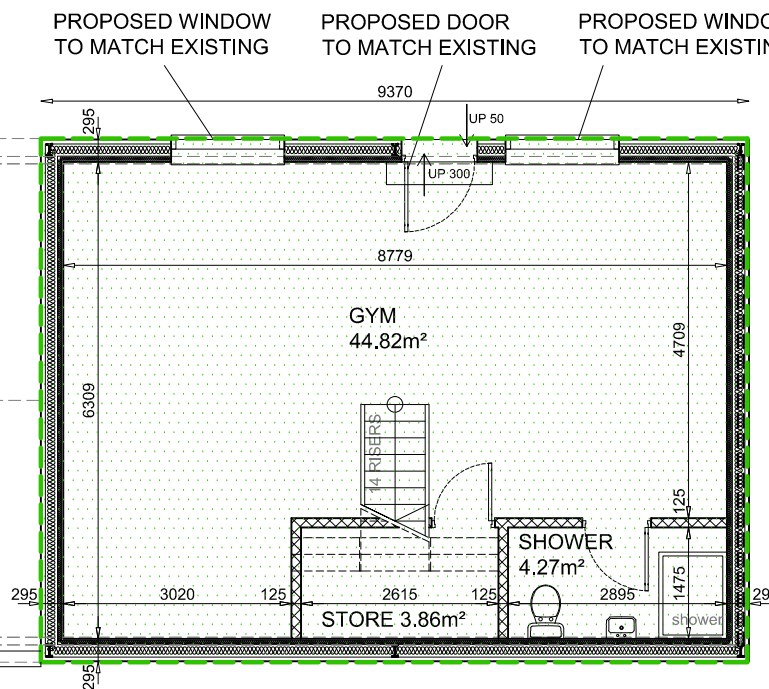
--- REMOVED PART OF BUILDING



PROPOSED FIRST FLOOR PLAN



PROPOSED GROUND FLOOR PLAN



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3 Drove Road
Newhaven, East Sussex, BN9 0AD

t: 01323 325354
t: 0808 1699964 /free/
e: support@staac.co.uk

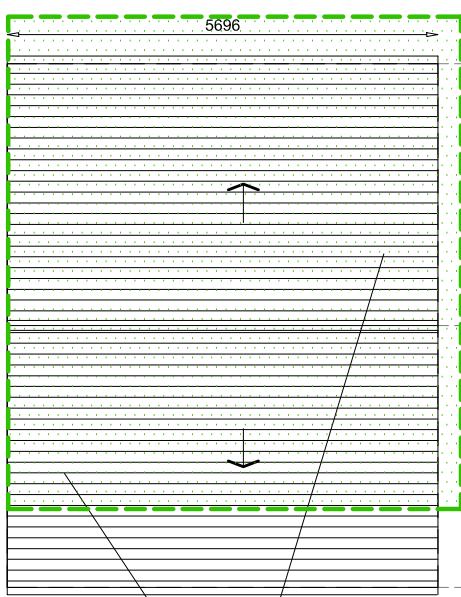
This drawing is to be read in conjunction with all relevant Architects and Engineers drawings. Only figured dimensions are to be used for construction. All dimensions are to be verified on site prior to work commencing. The boundary positions shown on this plan are believed to be correct, but STAAC accept no responsibility in the event of inaccuracy. The actual boundary position is to be agreed by the landowners. A party wall surveyor can help with if any disputes. Party Wall matters: It is the responsibility of the building owner to enter into any necessary party wall agreements with adjoining owners as required by the Party Wall etc Act. Advice and guidance can be found by visiting: <http://www.partywalls.org.uk/>

No.	Description	Date
Client:	Gareth & Bela Morris	
Address:	1 Wickhurst Manor Farm Cottages, Wickhurst Road, Sevenoaks TN14 6LY	
Project:	Proposed Amendment to Approved Plans	
Drawing title:	Proposed Plans	
Project No		22134
Date		15-01-24
Drawn by		IA
Drawing No		P01
Scale		1:100@A3

IF ANY CHANGES ARE MADE AFTER PLANNING APPROVAL, THEY MUST BE CONSULTED WITH STAAC

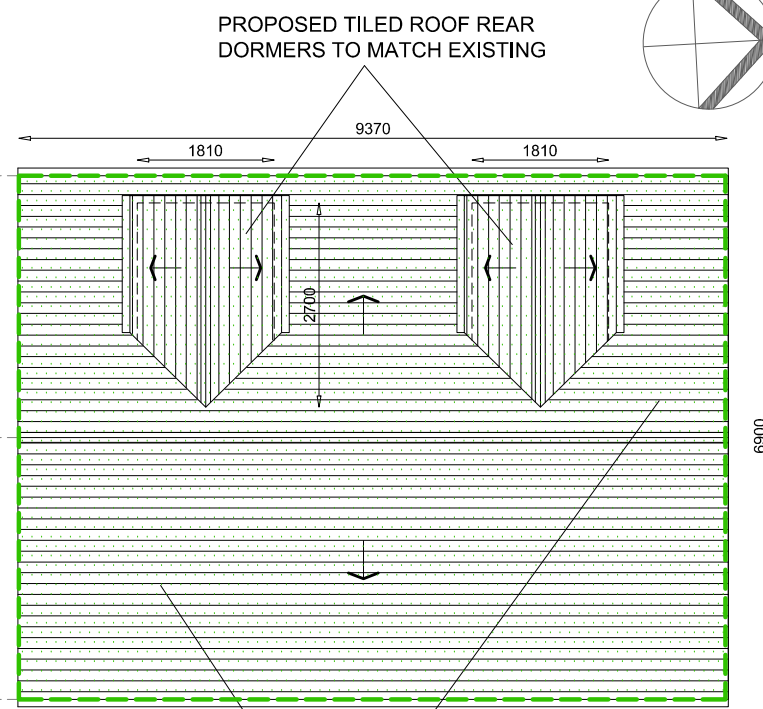
APPROVED APP.NO:21/01833/FUL

----- REMOVED PART OF BUILDING



UPGRADED TILED ROOF

PROPOSED ROOF PLAN



UPGRADED TILED ROOF WITH THERMAL INSULATION



1:100 SCALE in METRES



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No.	Description	Date
Client:	Gareth & Bela Morris	
Address:	1 Wickhurst Manor Farm Cottages, Wickhurst Road, Sevenoaks TN14 6LY	
Project:	Proposed Amendment to Approved Plans	
Drawing title:	Proposed Plans	
Project No		22134
Date		15-01-24
Drawn by		IA
Drawing No		P02
Scale 1:100@A3		

IF ANY CHANGES ARE MADE AFTER PLANNING APPROVAL, THEY MUST BE CONSULTED WITH STAAC

APPROVED APP.NO:21/01833/FUL

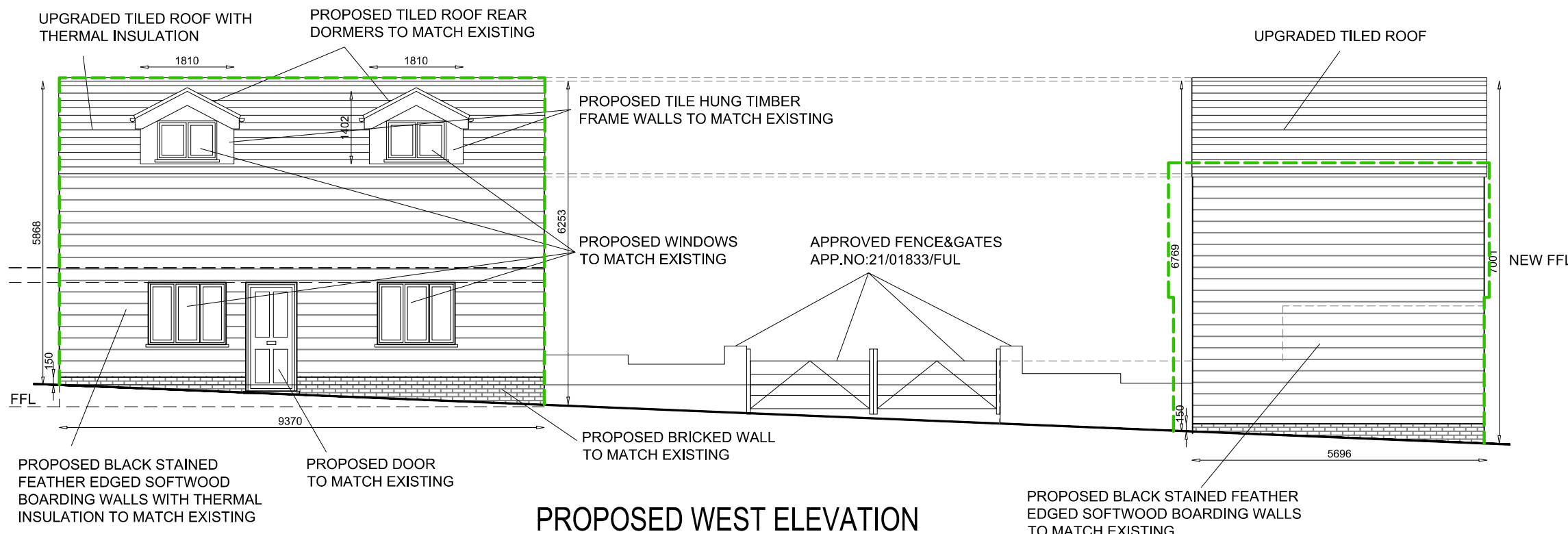
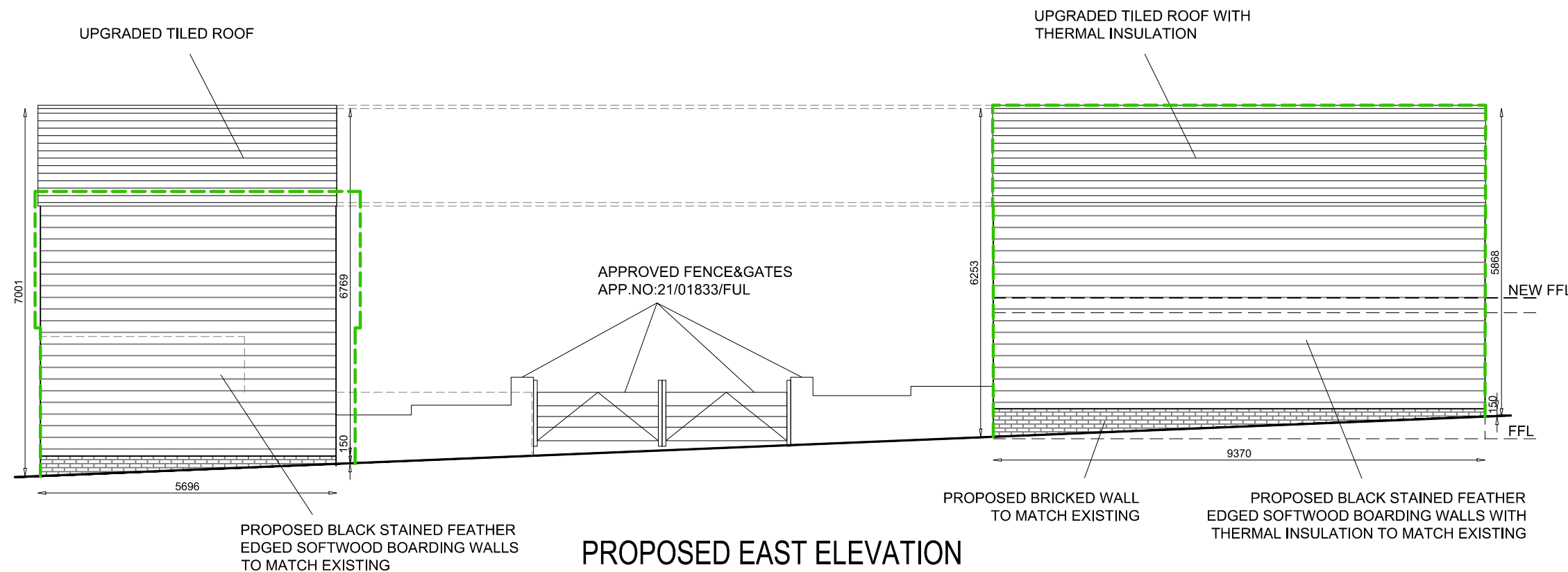


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--- REMOVED PART OF BUILDING



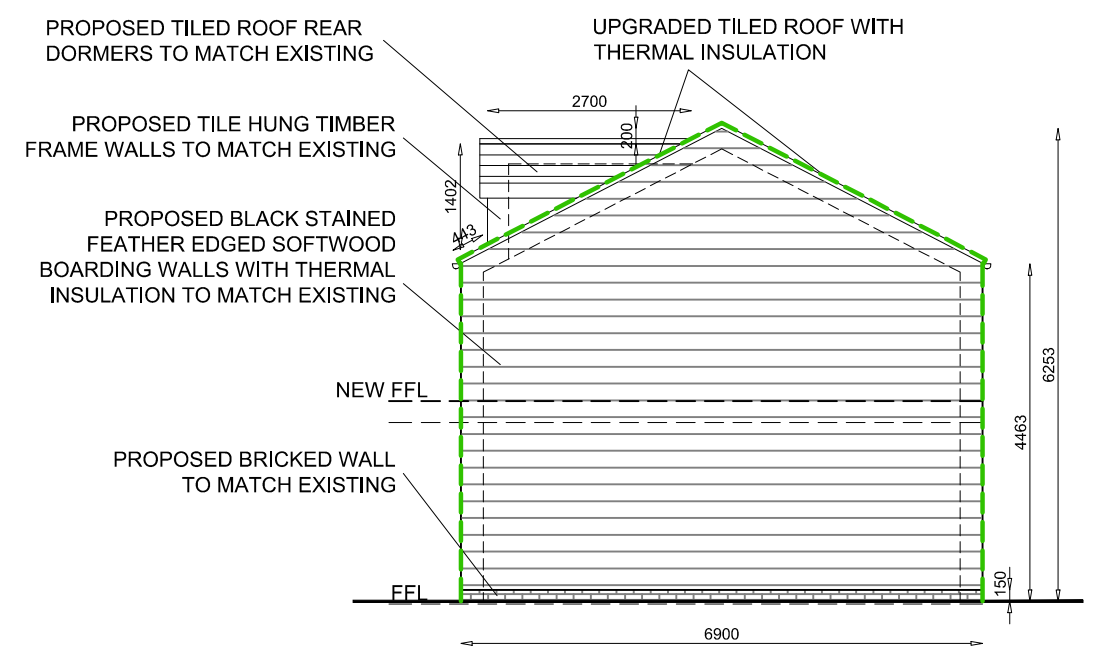
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No.	Description	Date
Client:	Gareth & Bela Morris	
Address:	1 Wickhurst Manor Farm Cottages, Wickhurst Road, Sevenoaks TN14 6LY	
Project:	Proposed Amendment to Approved Plans	
Drawing title:	Proposed Elevations	
Project No		22134
Date		15-01-24
Drawn by		IA
Drawing No		P03
Scale 1:100@A3		

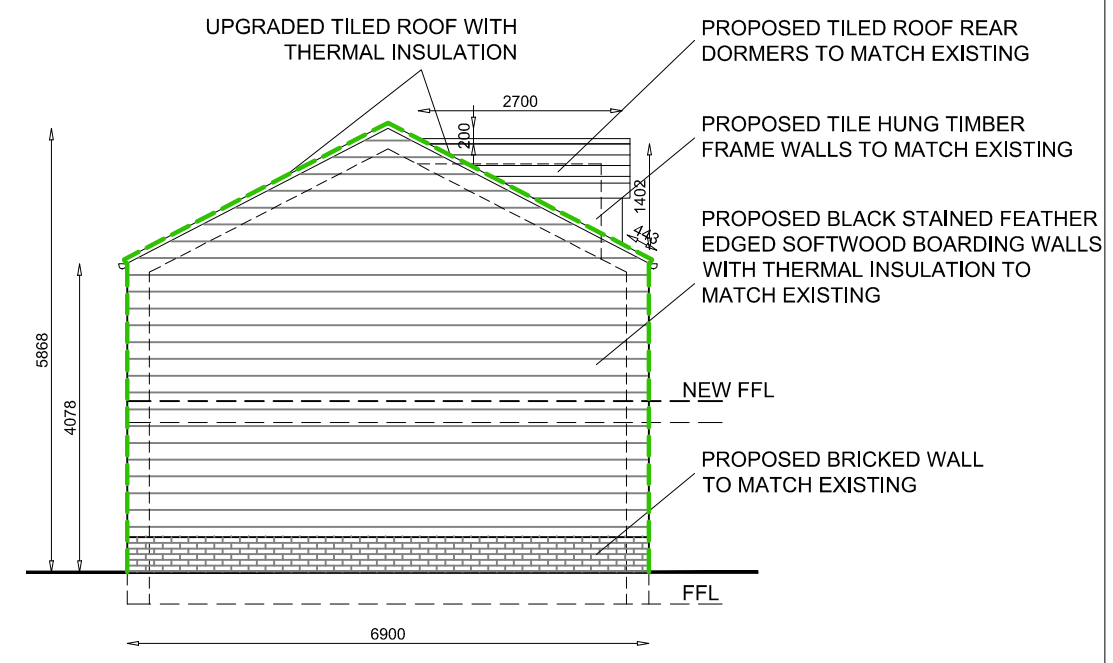
IF ANY CHANGES ARE MADE AFTER PLANNING APPROVAL, THEY MUST BE CONSULTED WITH STAAC

APPROVED APP.NO:21/01833/FUL

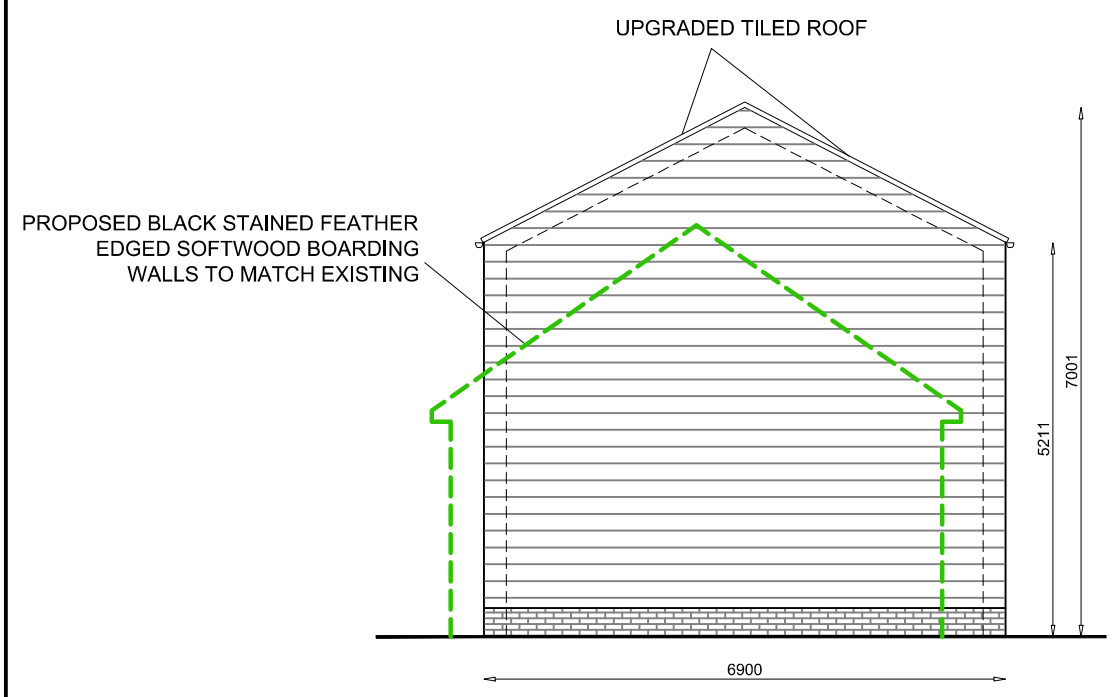
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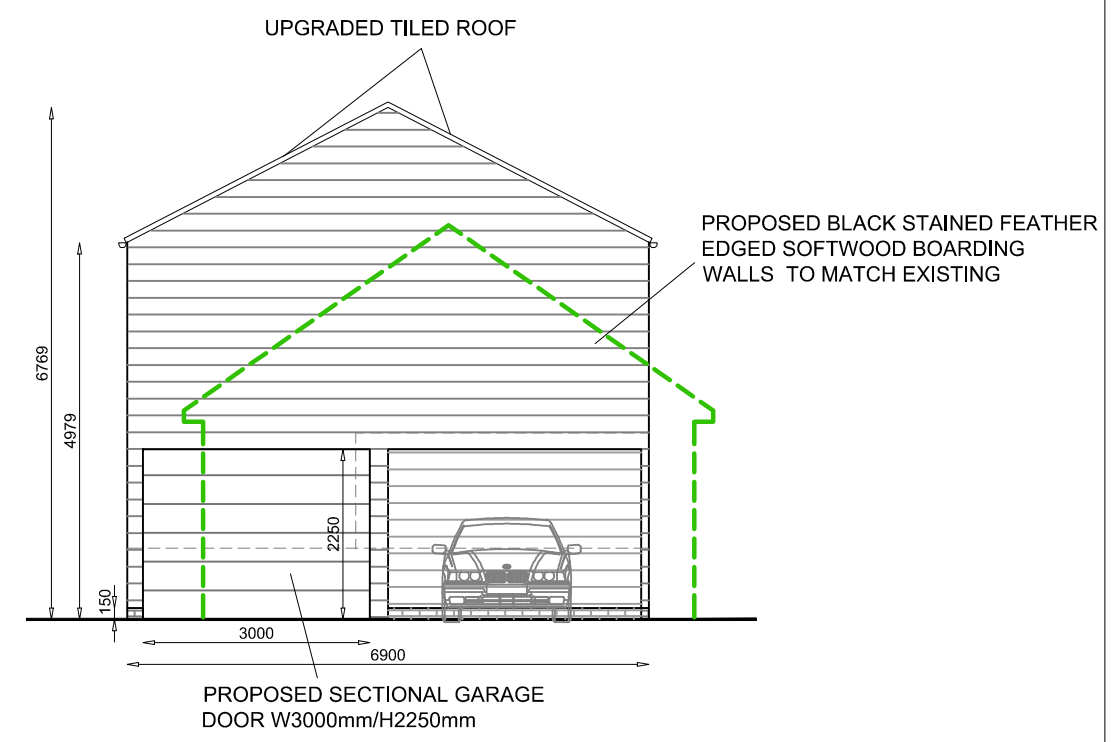
PROPOSED SOUTH ELEVATION OF ANCILLARY ACCOMMODATION



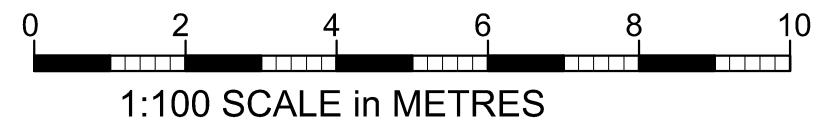
PROPOSED NORTH ELEVATION OF ANCILLARY ACCOMMODATION



PROPOSED SOUTH ELEVATION OF GARAGE



PROPOSED NORTH ELEVATION OF GARAGE



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Newhaven, East Sussex, BN9 0AD

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No.	Description	Date
Client:	Gareth & Bela Morris	
Address:	1 Wickhurst Manor Farm Cottages, Wickhurst Road, Sevenoaks TN14 6LY	
Project:	Proposed Amendment to Approved Plans	
Drawing title:	Proposed Elevations	
Project No		22134
Date		15-01-24
Drawn by		IA
Drawing No		P04
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