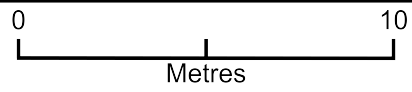
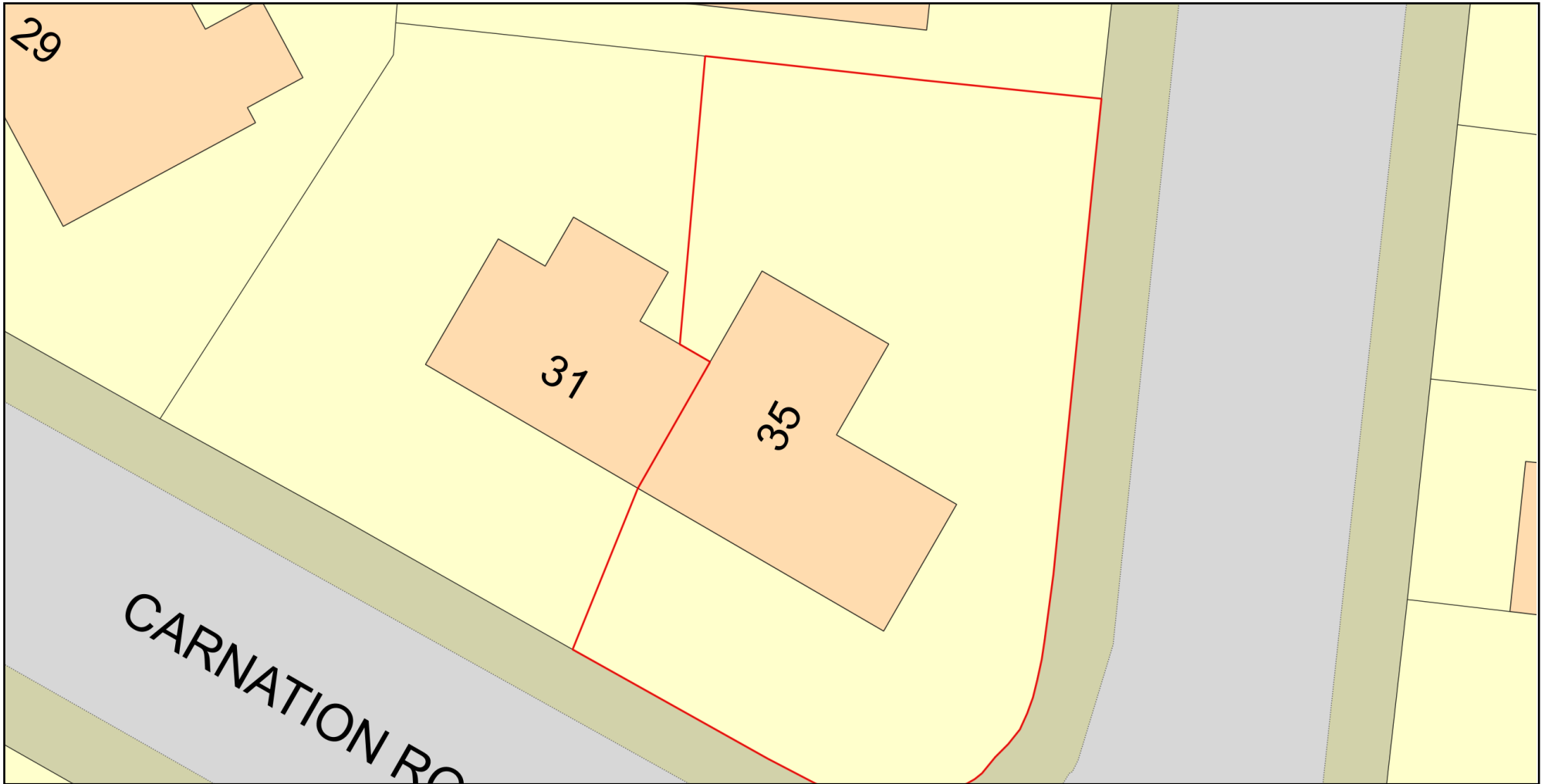


35. & 35a Lobeila road



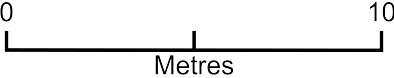
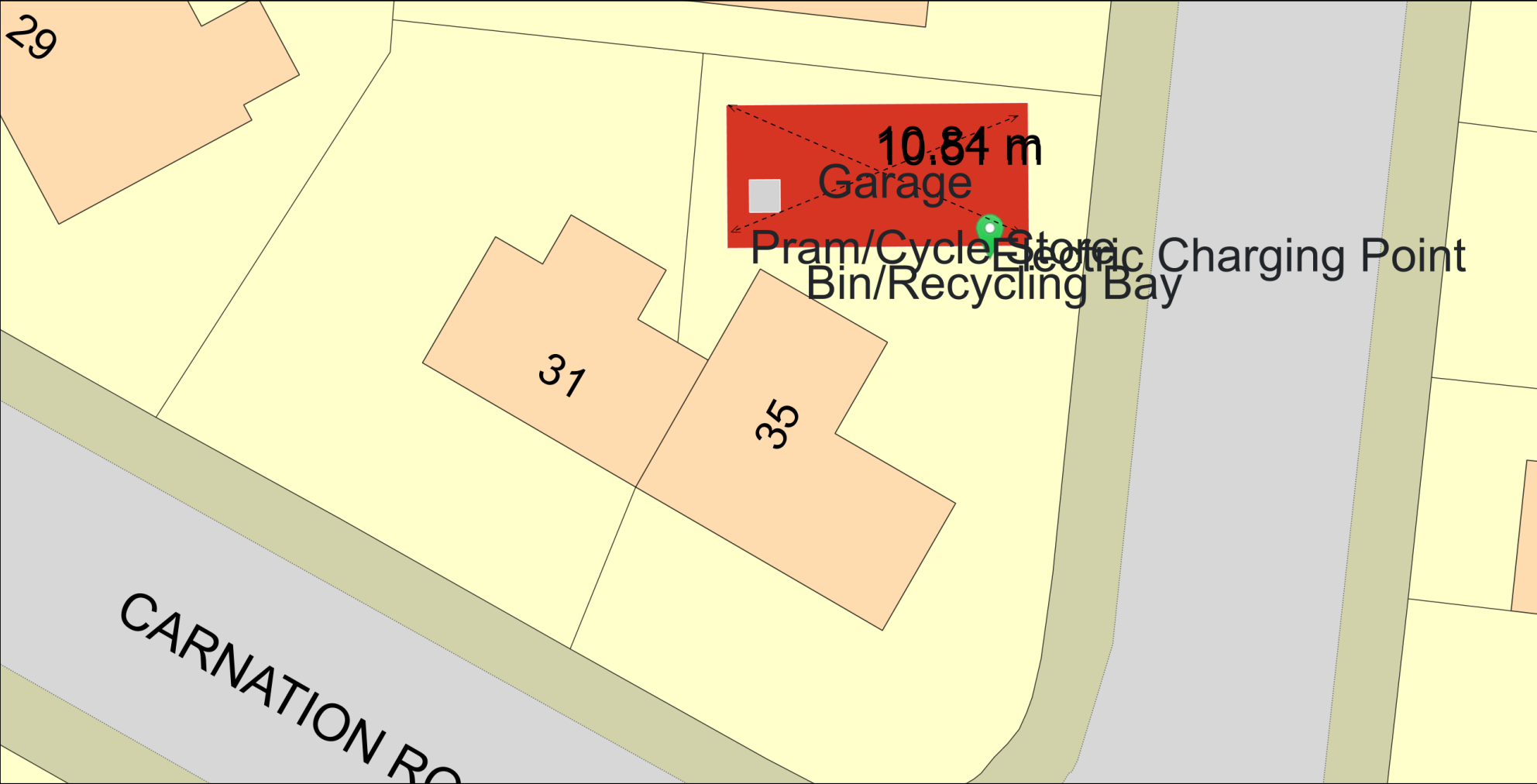
Plan Produced for: Lader

Date Produced: 08 Apr 2024

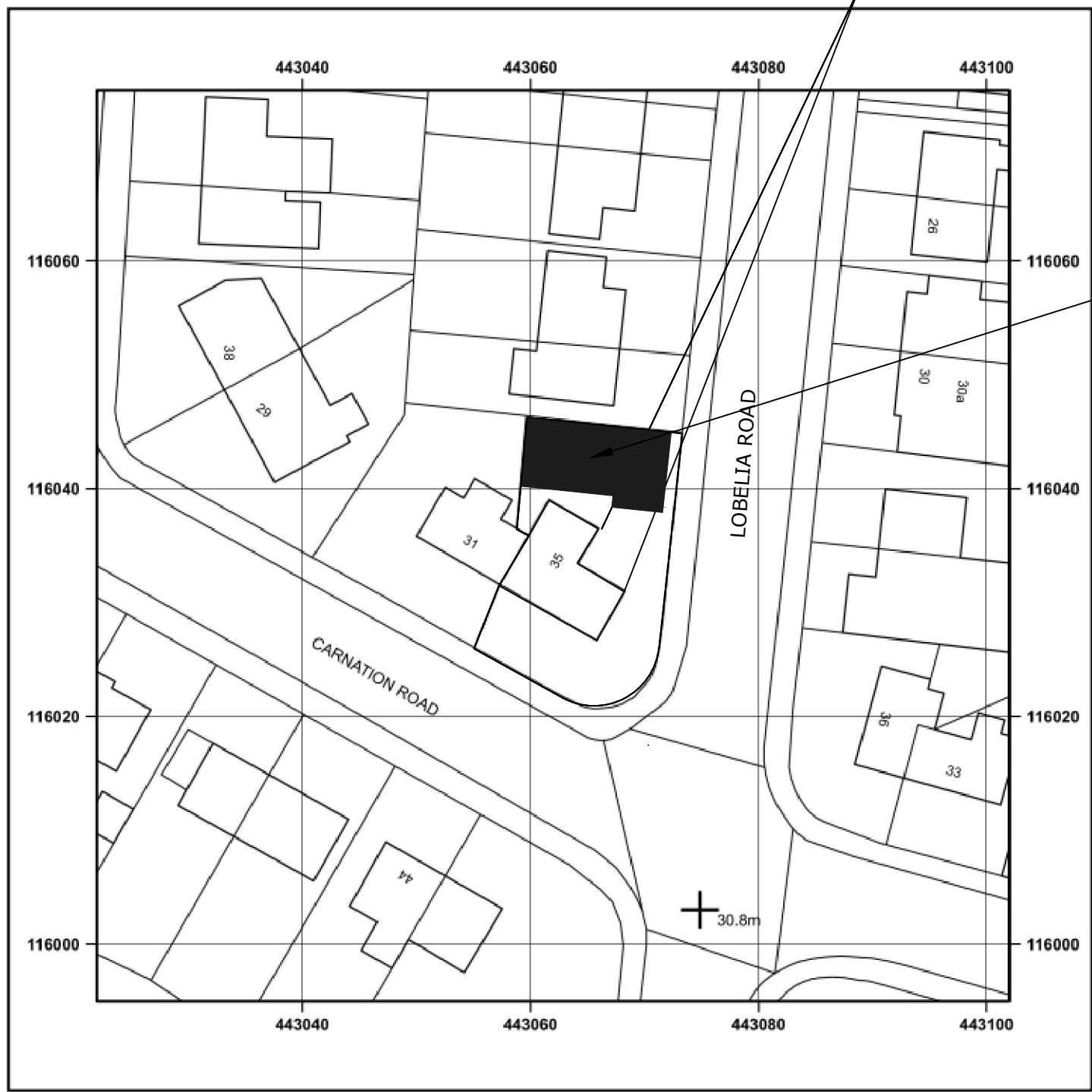
Plan Reference Number: TQRQM24099134241573

Scale: 1:200 @ A4

35 Lobelia Road

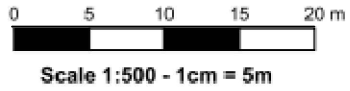


Plan Produced for: Lader
Date Produced: 05 Apr 2024
Plan Reference Number: TQRQM24096222552654
Scale: 1:200 @ A4




New Garage
80m²

© Crown copyright and database rights 2024 OS AC0000848283. Public rights of way shown on this map have been taken from Local Authority definitive maps. The representation on this map of any other road, track or path is no evidence of the existence of a right of way.



BLOCK PLAN SCALE 1:500

PROJECT	3 PARKING SPACES	TITLE	Block Plan	JOB NUMBER	20240327	 ARCHIPROJECT LTD Brendon House Park Road Winchester SO23 7BE email: jbarrera@archiproject.uk
CLIENT	BNKK ESTATES LTD	SCALE	1:500 @ DIN-A3 DO NOT SCALE	DRAWING NUMBER	20240327-1	
ADDRESS	35 LOBELIA ROAD SO16 3JT	DATE	March 2024	CAD FILE NUMBER	20240327	

NOTES

The Works may be subject to the Party Wall Act 1996. It is the responsibility of the owner to ensure all necessary steps are taken to comply with the Act if required.

Construction Notes

The builder is to visit the site and is to verify all dimensions, levels and locations of services and drains prior to commencing any of the works. All work carried out is to comply with the statutory requirements and British Standards current at the time of construction. Boundary positions shown on drawing are to be confirmed as being accurate. Designer takes no responsibility for checking work on site.

Design Information

The details shown on this drawing are to be read and followed in accordance with the drawings, specification, specific engineers calculations and structural designs, specialist manufacturers designs and any working details provided by the designer.

Designer takes no responsibility for checking any Building Works on site. All necessary local authority inspections must be requested at the appropriate stages of construction.

Plan prepared for submission to Local Authority only, responsibility for its unsupervised use there after rests with the client.

All details and dimensions are to be confirmed on site prior to works commencing or any ordering of materials.

All dimensions in millimeters and to structural faces.

All dimensions must be checked on site and not scaled from this drawing.

Specified Materials

Where manufacturers of products are referred to, this is to be taken as indicative only of the type of product being referred to. Similar equivalent products may be acceptable but builder must verify the suitability of such alternatives in terms of application and technical data. Builder to agree all products with building inspector.

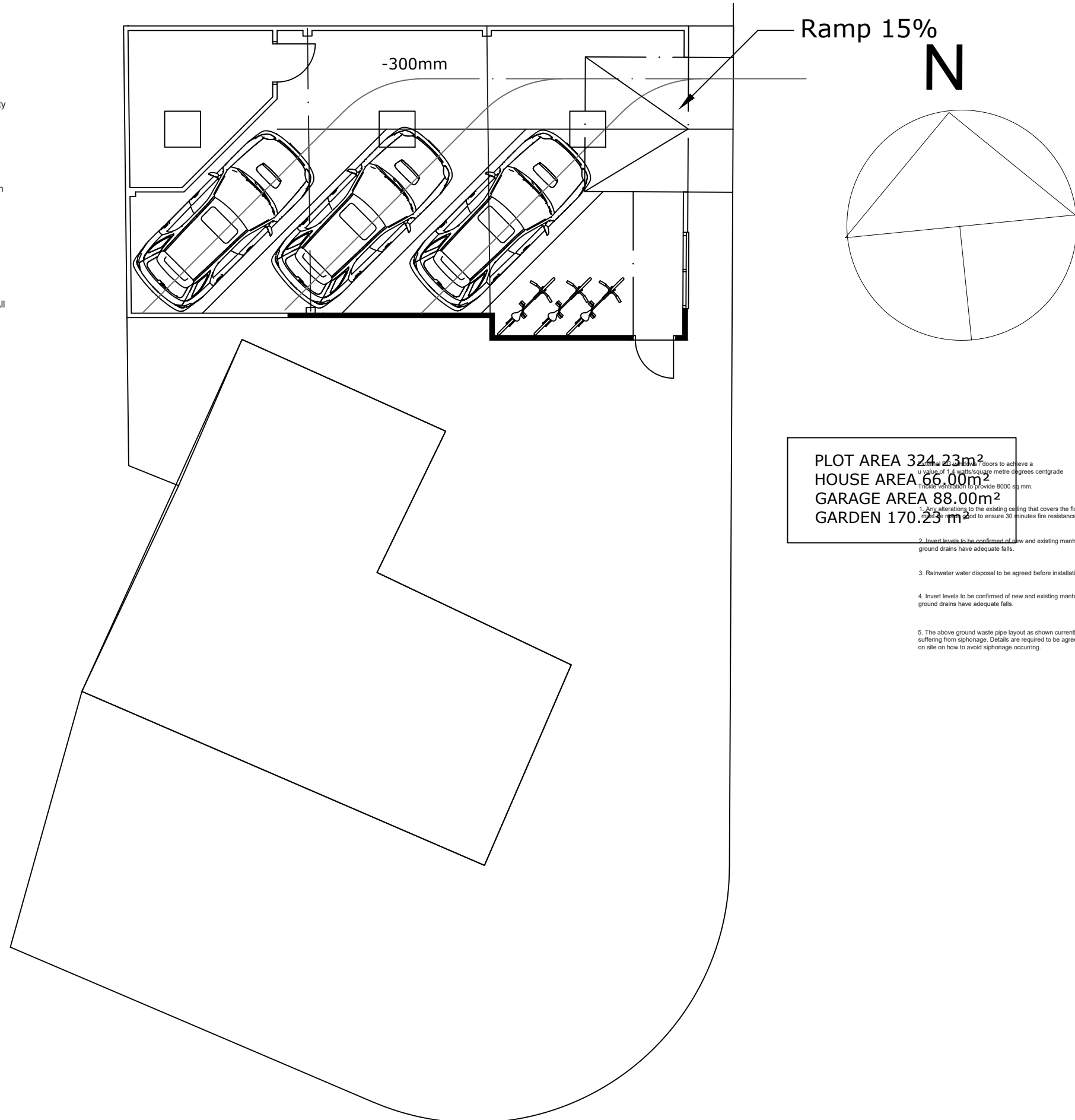
This drawing and associated details and the works shown are the copyright of the designer and may not be reproduced except with written permission.

Electrical alterations are to be installed and tested in accordance with BS7671 and, on completion, a copy of the installation and test certificate to be submitted to Building Control; signed by a suitability qualified electrician registered on a competent person scheme.(P1)

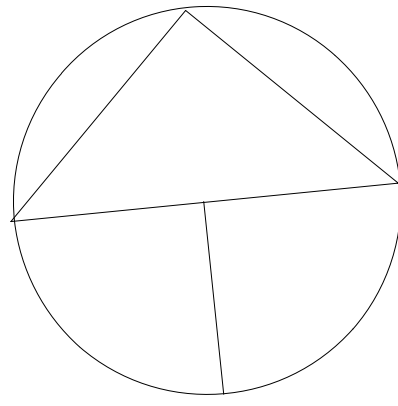
Doors and full height glazing panels to have safety glass to BS6206.

Energy efficient lighting required as AD L1B

All sockets outlets will be located between the height of 450mm and all switches at 1100mm above the fl and must contrast with the background colour




Ramp 15%
N

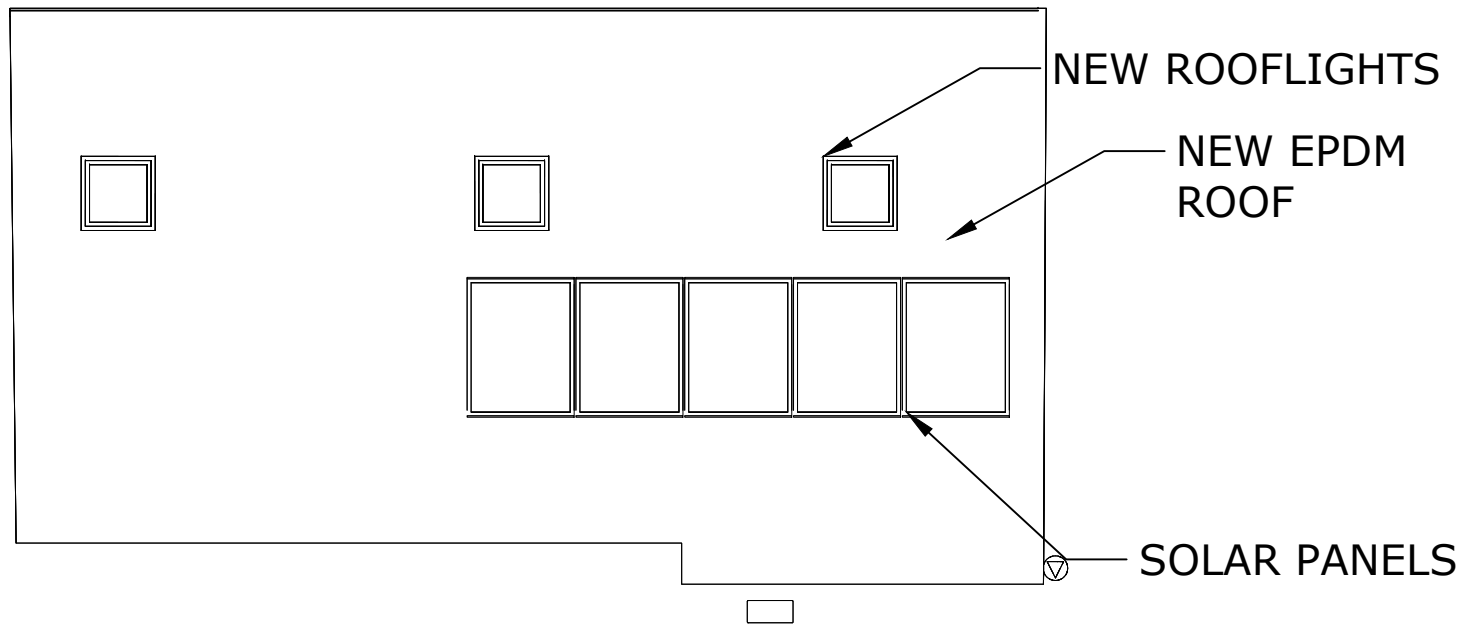


PLOT AREA 324.23m²
 HOUSE AREA 66.00m²
 GARAGE AREA 88.00m²
 GARDEN 170.23m²

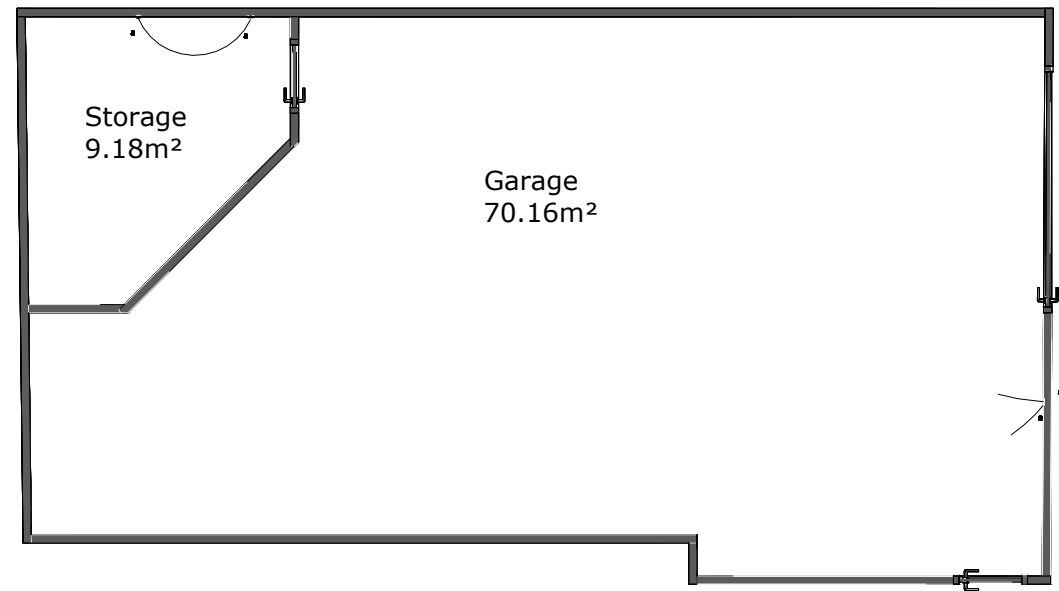
1. Any alterations to the existing ceiling that covers the floor beams must be removed to ensure 30 minutes fire resistance is maintained.
2. Invert levels to be confirmed of new and existing manholes to ensure below ground drains have adequate falls.
3. Rainwater water disposal to be agreed before installation on site
4. Invert levels to be confirmed of new and existing manholes to ensure below ground drains have adequate falls.
5. The above ground waste pipe layout as shown currently will be at risk of suffering from siphonage. Details are required to be agreed before installation on site on how to avoid siphonage occurring.

PROPOSED GF
SCALE 1:100

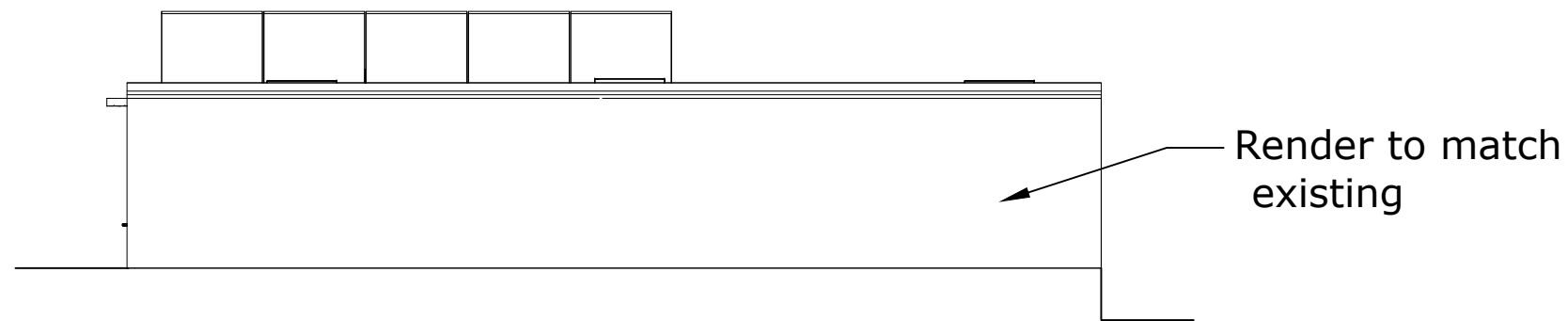
PROJECT	3 PARKING SPACES	TITLE	GF Layout	JOB NUMBER	20240327		ARCHIPROJECT LTD Brendon House Park Road Winchester SO23 7BE email: jbarrera@archiproject.uk
CLIENT	BNKK ESTATES LTD	SCALE	1:100 @ DIN-A3 DO NOT SCALE	DRAWING NUMBER	20240327-2		
ADDRESS	35 LOBELIA ROAD SO16 3JT	DATE	March 2024	CAD FILE NUMBER	20240327		



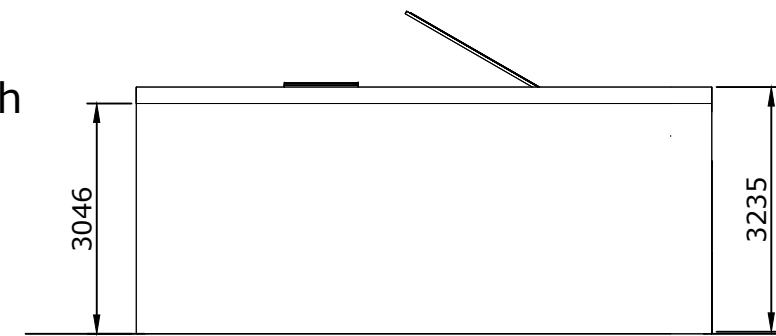
PROPOSED ROOF
SCALE 1:100



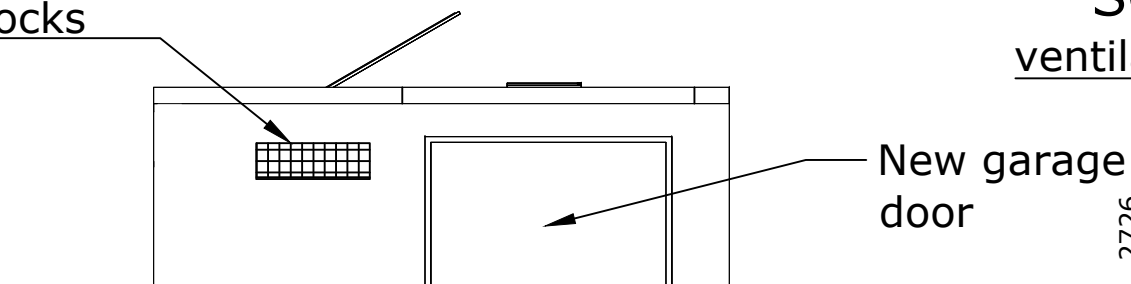
PROPOSED GF
SCALE 1:100



SIDE 2 ELEVATION
SCALE 1:100



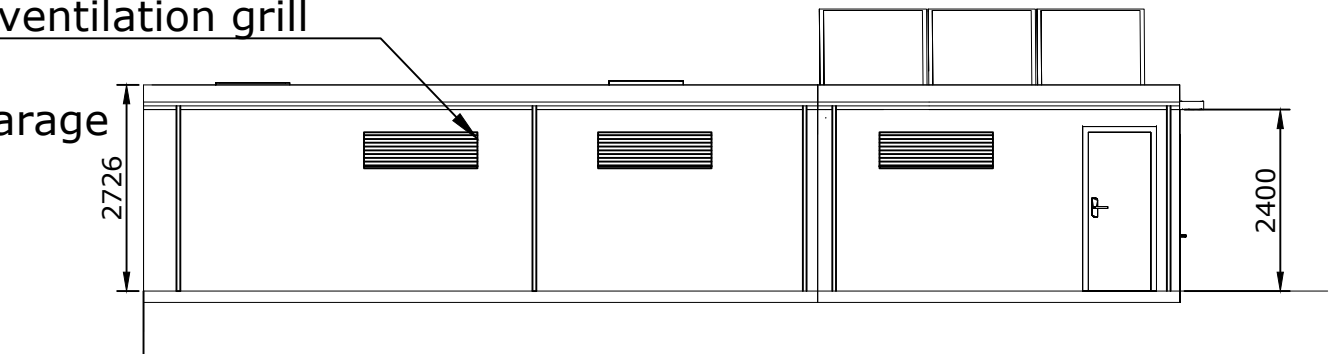
Glazed blocks



Front Elevation
SCALE 1:100

Back Elevation
SCALE 1:100

ventilation grill



SIDE ELEVATION
SCALE 1:100

PROJECT 3 PARKING SPACES
CLIENT BNKK ESTATES LTD
ADDRESS 35 LOBELIA ROAD
SO16 3JT

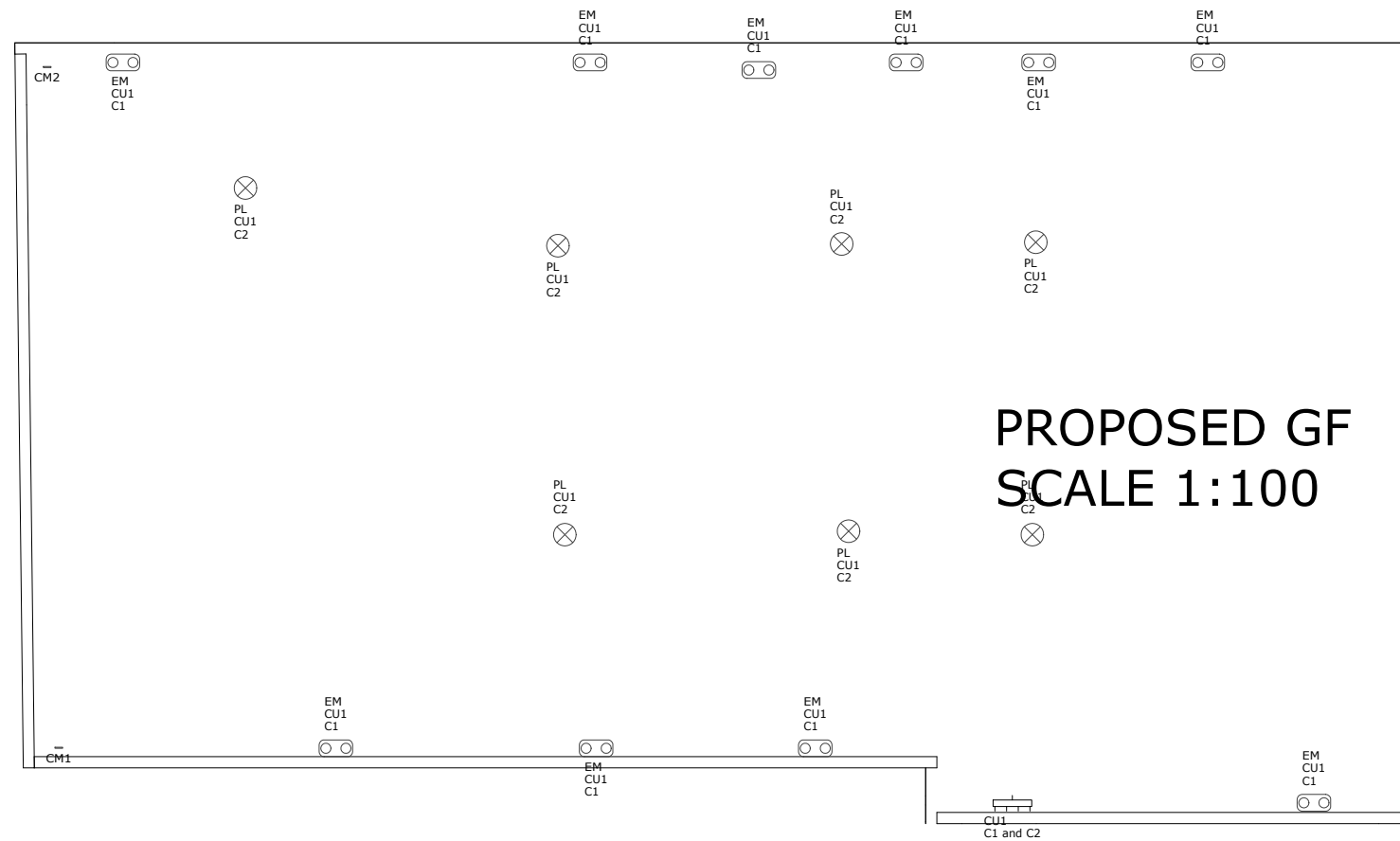
TITLE Floor Plans, elevations
SCALE 1:100 @ DIN-A3 DO NOT SCALE
DATE March 2024

JOB NUMBER 20230619
DRAWING NUMBER 20230619-3
CAD FILE NUMBER 20230619



ARCHIPROJECT LTD
Brendon House
Park Road
Winchester SO23 7BE
email: jbarrera@archiproject.uk

Roof



Symbols	
	Switchboard
-	Pattern box
	EM
	PL

ELECTRICAL MECHANISMS SCALE 1:100

Lobelia Road
Scale: 1:100

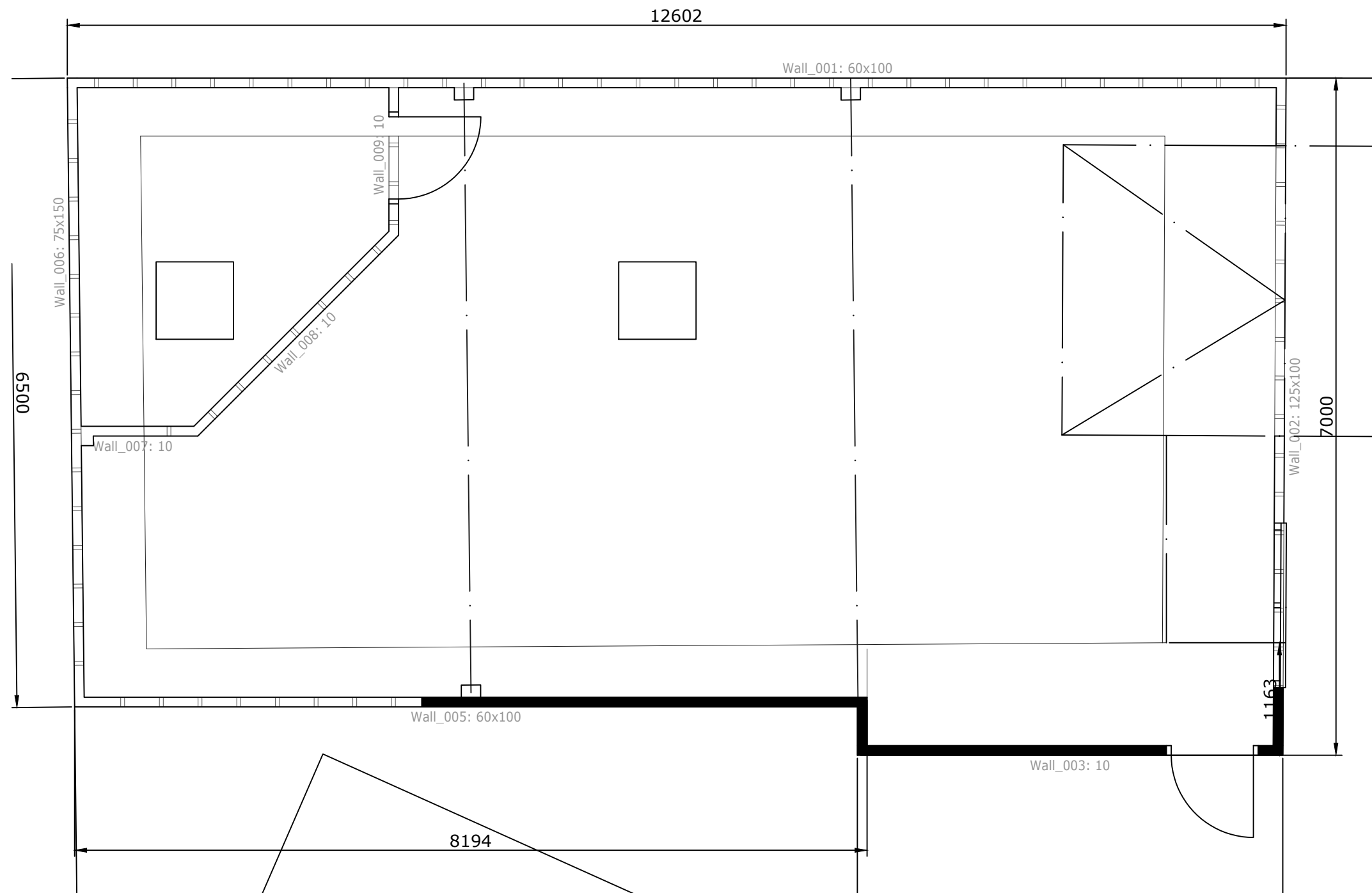
PROJECT 3 PARKING SPACES
CLIENT BNKK ESTATES LTD
ADDRESS 35 LOBELIA ROAD
SO16 3JT

TITLE Electrical Mechanisms
SCALE 1:100 @ DIN-A3 DO NOT SCALE
DATE March 2024

JOB NUMBER 20240327
DRAWING NUMBER 20240327-4
CAD FILE NUMBER 20240327



ARCHIPROJECT LTD
Brendon House
Park Road
Winchester SO23 7BE
email: jbarrera@archiproject.uk



Walls Layout
SCALE 1:50

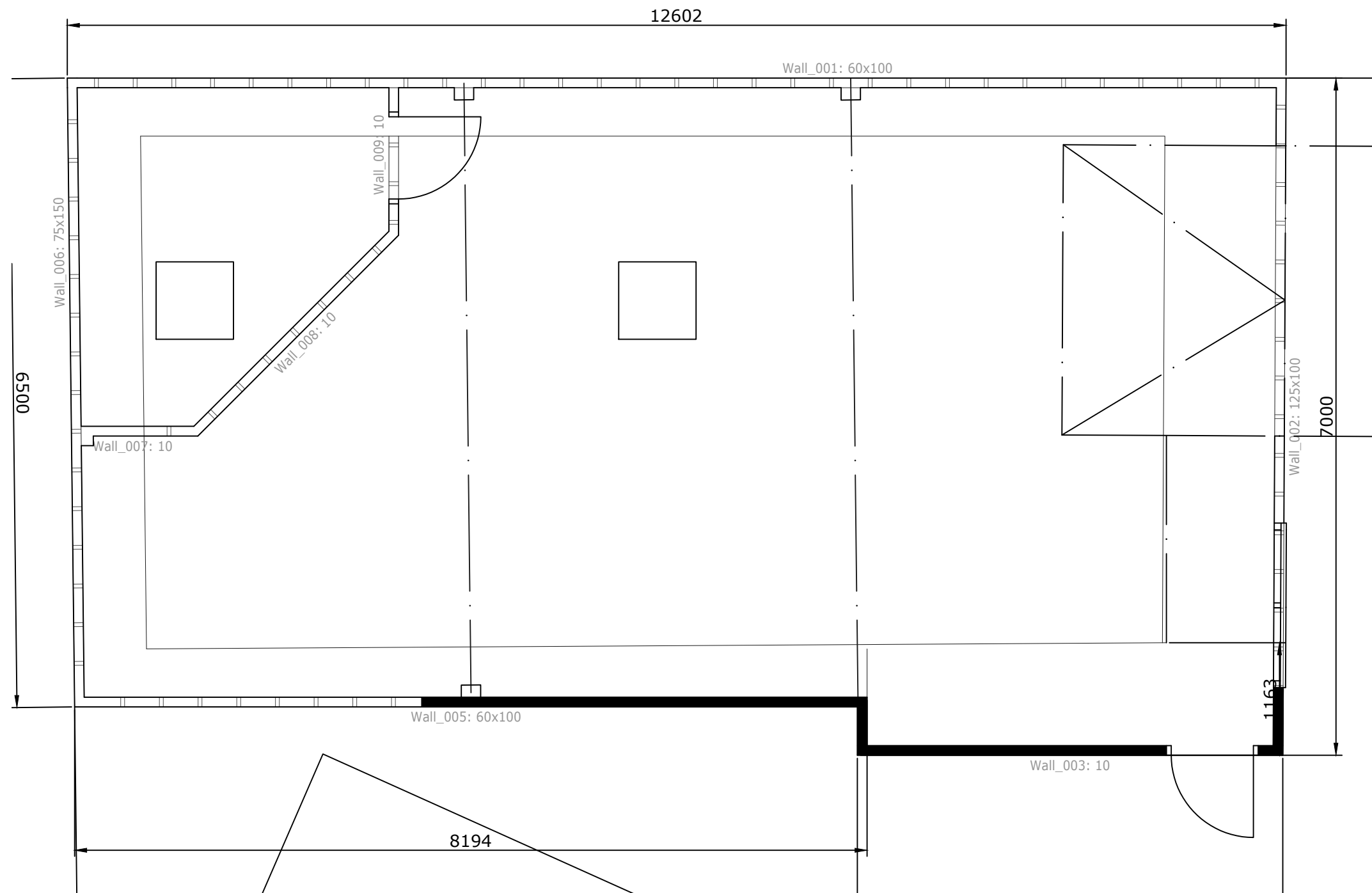
PROJECT 3 PARKING SPACES
CLIENT BNKK ESTATES LTD
ADDRESS 35 LOBELIA ROAD
SO16 3JT

TITLE Block Plan
SCALE 1:50 @ DIN-A3 DO NOT SCALE
DATE March 2024


JOB NUMBER 20240327
DRAWING NUMBER 20240327-5
CAD FILE NUMBER 20240327

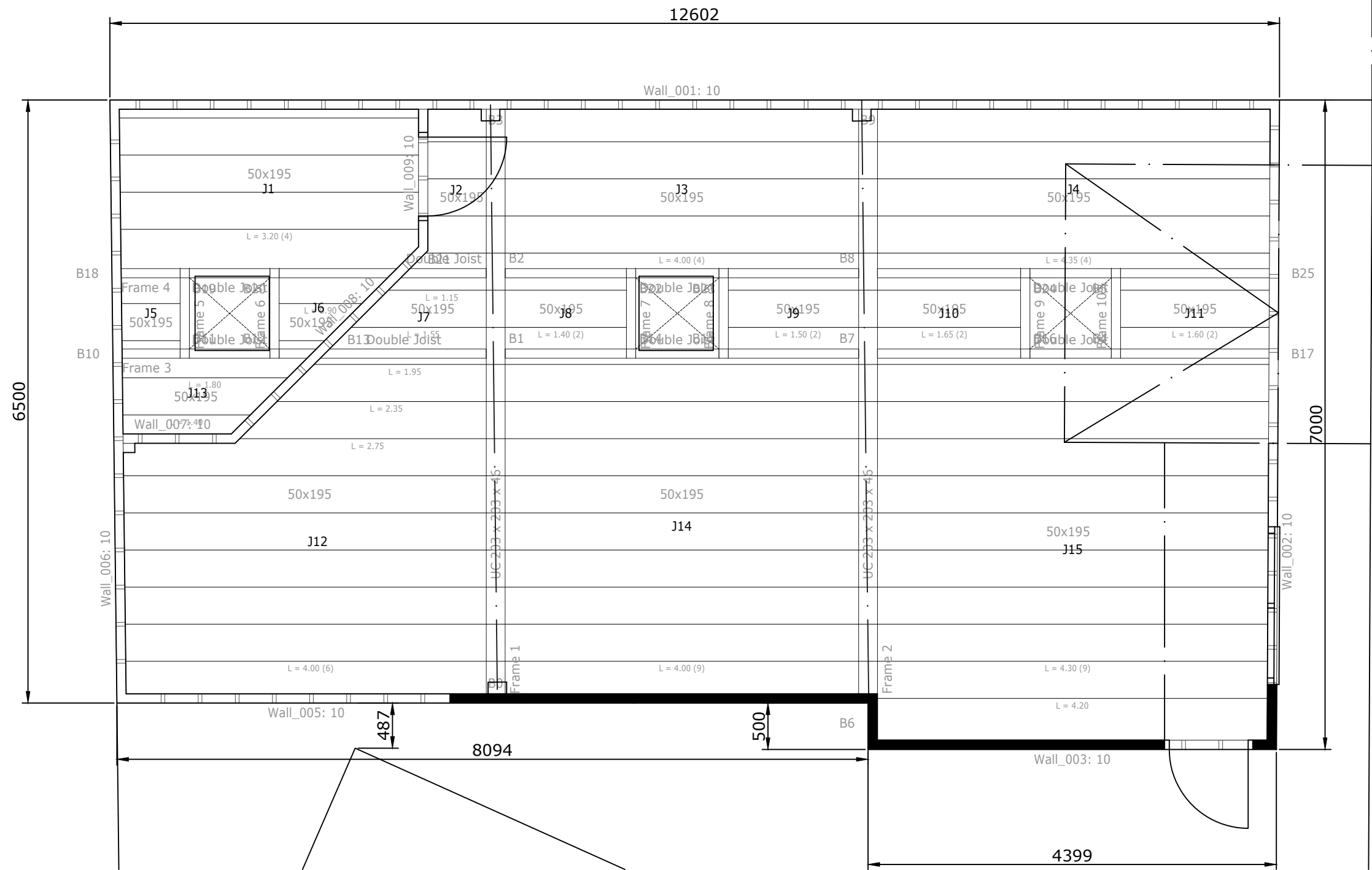


ARCHIPROJECT LTD
Brendon House
Park Road
Winchester SO23 7BE
email: jbarrera@archiproject.uk



FOUNDATIONS
SCALE 1:50

PROJECT	3 PARKING SPACES	TITLE	Foundations	JOB NUMBER	20240327	 ARCHIPROJECT LTD Brendon House Park Road Winchester SO23 7BE email: jbarrera@archiproject.uk
CLIENT	BNKK ESTATES LTD	SCALE	1:50 @ DIN-A3 DO NOT SCALE	DRAWING NUMBER	20240327-6	
ADDRESS	35 LOBELIA ROAD SO16 3JT	DATE	March 2024	CAD FILE NUMBER	20240327	



ROOF
SCALE 1:50

PROJECT 3 PARKING SPACES
 CLIENT BNKK ESTATES LTD
 ADDRESS 35 LOBELIA ROAD
 SO16 3JT

TITLE Roof structure
 SCALE 1:50 @ DIN-A3 DO NOT SCALE
 DATE March 2024

JOB NUMBER 20240327
 DRAWING NUMBER 20240327-7
 CAD FILE NUMBER 20240327

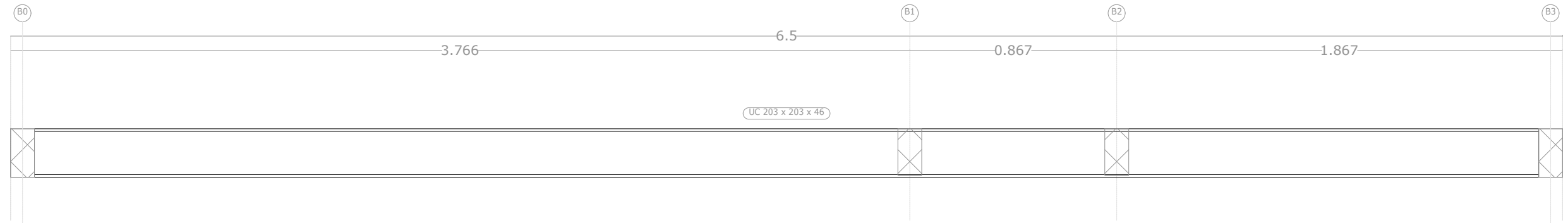


ARCHIPROJECT LTD
 Brendon House
 Park Road
 Winchester SO23 7BE
 email: jbarrera@archiproject.uk

Frame 1



UC 203 x 203 x 46

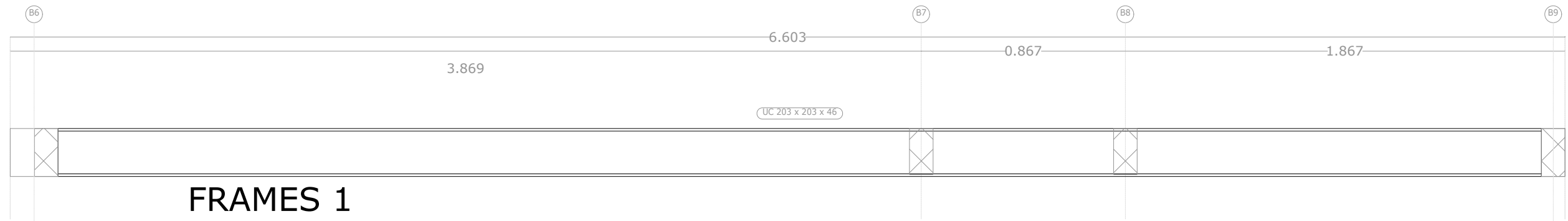


Roof
 Beam detailing
 Rolled steel sections: S 355M (EN 10025-4)
 Timber in sections: C24
 Frames scale 1:20
 Sections scale 1:20
 Scale of openings 1:20

Frame 2



UC 203 x 203 x 46



FRAMES 1
SCALE 1:20

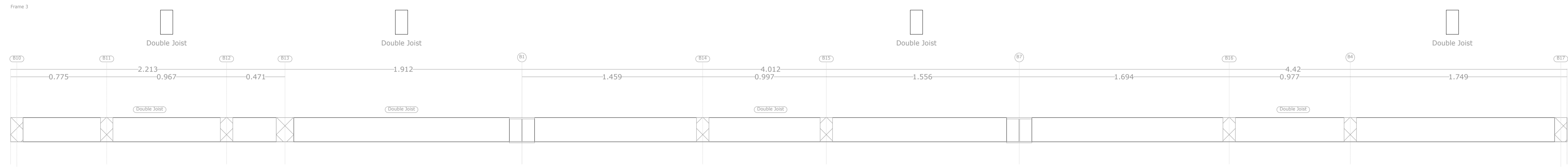
PROJECT 3 PARKING SPACES
 CLIENT BNKK ESTATES LTD
 ADDRESS 35 LOBELIA ROAD
 SO16 3JT

TITLE Frames 1
 SCALE 1:20 @ DIN-A3 DO NOT SCALE
 DATE March 2024

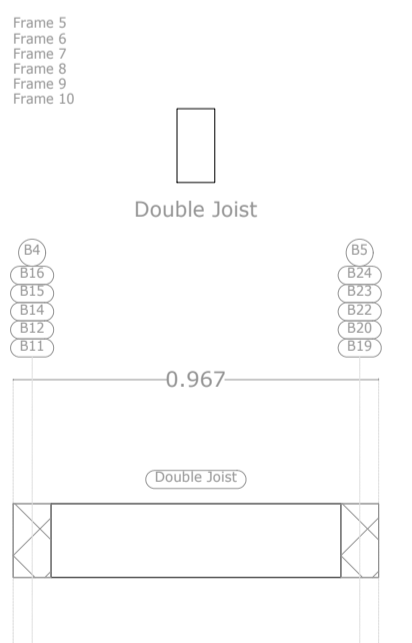
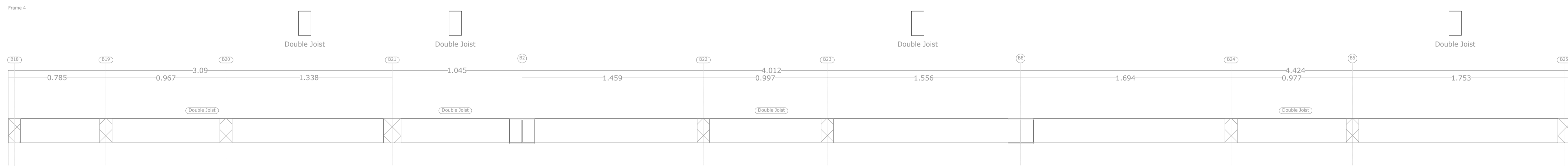
JOB NUMBER 20240327
 DRAWING NUMBER 20240327-8
 CAD FILE NUMBER 20240327



ARCHIPROJECT LTD
 Brendon House
 Park Road
 Winchester SO23 7BE
 email: jbarrera@archiproject.uk



Roof
 Beam detailing
 Rolled steel sections: S 355M (EN 10025-4)
 Timber in sections: C24
 Frames scale 1:20
 Sections scale 1:20
 Scale of openings 1:20



**FRAMES 2
 SCALE 1:50**

PROJECT 3 PARKING SPACES
 CLIENT BNKK ESTATES LTD
 ADDRESS 35 LOBELIA ROAD
 SO16 3JT

TITLE Frames 2
 SCALE 1:20 @ DIN-A3 DO NOT SCALE
 DATE March 2024

JOB NUMBER 20240327
 DRAWING NUMBER 20240327-9
 CAD FILE NUMBER 20240327



ARCHIPROJECT LTD
 Brendon House
 Park Road
 Winchester SO23 7BE
 email: jbarraera@archiproject.uk