

DESIGN AND ACCESS STATEMENT

Old Kingsham Farm, Milland



Contents

1.0	Introduction
2.0	Listing Description
3.0	The Property as Existing
4.0	Planning History
5.0	Proposals Sought & Justification
6.0	Relevant planning policies
7.0	Schedule of Areas
8.0	Pre-Application Feedback
9.0	Heritage Impact Assessment
10.0	Landscape and Visual Impact Assessment
11.0	Flood Risk Assessment
12.0	Parking and Accessibility
13.0	Conclusion
Appendix A – Room Data Sheets	
Appendix B – Genesis Planning Appraisal	
Appendix C – Phase 1 Bat roost Survey	
Appendix D – Flood Map for Planning	

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**Design and Access Statement
for Replacement Extension and Internal Alterations at
Old Kingsham Farm, Milland, GU30 7JY**

1.0 Introduction

- 1.1 This document together with the accompanying drawings sets out proposals for a replacement, extension, and minor internal alterations to Old Kingsham Farm. This design and access statement aims to explain the methodology for the proposals, whilst working within the constraints of the Listed Building and its setting within the South Downs National Park.
- 1.2 Old Kingsham Farm is located to the east of Cooks Pond Road, Milland, nr. Liphook in West Sussex. The house is situated to the south of the village of Milland, equidistant between the villages of Borden and Robins. It is located to the north of Kingsham Farm, a replacement dwelling built in 2008/09. The house is also located within the South Downs National Park. The house has a substantial lawned garden, garage/outbuilding and gravel driveway to the front of the house. The property is very typical of the area, built from Wealden Sussex Sandstone with flint galletting, brick quoin detailing and plain clay tiled pitched roof.
- 1.3 The proposals for the house include replacement of the existing extension to the north of the original Grade II listed dwelling. The former extension, completed in the 1960s/70s, is overbearing and dominating the existing original house with a higher ridgeline. The proposed replacement extension proposes to reduce the extension ridge height to reduce impact on the original house. Alongside these alterations there will be general refurbishment and restoration works to the house, including the removal of the later arched screen (completed 2001) to the ground floor to create a family dining space and improvements to the existing first floor jack and jill ensuite bathroom and landing area. The aim is to improve the usability of the house for a modern family. These proposals have been considered in relation to the appearance of the property and the national and local heritage policies, along with a detailed historical research report by ADAM Architecture.

2.0 Listing Description

2.1 OLD KINGSHAM FARMHOUSE, COOK'S POND ROAD

Heritage Category: Listed Building

List entry Number: 1216752

District: Chichester (District Authority)

Parish: Milland County: West Sussex

National Park: SOUTH DOWNS

Grade: II Date first listed: 26-Nov-1987

Statutory Address: OLD KINGSHAM FARMHOUSE, COOK'S POND ROAD

Details: MILLAND COOK'S POND ROAD SU 82 NW 5/19 Old Kingsham Farmhouse II Early C19 exterior, with possibly some older work inside. Stone with red brick dressings, quoins and stringcourse. Hipped tiled roof. Casement windows. Doorway with rectangular fanlight and door of six fielded panels, set in modern wooden porch. Two storeys. Three windows.

- 2.2 Given the Grade II status of the dwelling, before any design work was undertaken, an historical report on the house was undertaken by Dr Helen Lawrence-Beaton (see accompanying Historical Appraisal document). The document provides a background of the architectural evolution of Old Kingsham Farm and identifies the relative importance of each building phase, so providing an informed framework within which design proposals could be evolved.

3.0 The Property as Existing

- 3.1 The property is in a good state of repair and is well presented both internally and externally, having been subject to a sustained period of refurbishment and proactive maintenance over recent years.



Fig. 1 – West Elevation – Main Façade dating from the early 19th Century (circa 1819-1825) with later extensions to the north with higher ridgeline. This is the principal entrance façade.



Fig. 2 – North Elevation. Showing the later 1960s/1970s extension and side entrance.



Fig. 3 – East Elevation. Clearly demonstrating the higher ridgeline to the 1960s/1970s extension to the north and original house to the left-hand side.



Fig. 4 – South Elevation. With later bow window on the site of former fireplace. Assumed to have been completed in the 1960s/1970s.

4.0 Planning History

4.1 A list of the previous listed building applications and planning applications are attached in the Genesis Planning Consultant appraisal document which is attached as an appendix.

5.0 Proposals Sought & Justification

5.1 The principal details and works requiring Listed Building Consent and Planning Approval, which are sought and outlined in this document and the accompanying drawings, relate to the construction of a replacement extension to the north side of the existing house.

5.2 As described within Dr Helen Lawrence-Beaton's historical appraisal document, the northern side of Old Kingsham Farm has been extended in the 1960s or 70s with some alterations to the northern side of the original dwelling. This extension has a higher ridgeline than the existing original dwelling as shown in the

- photographs above and the accompanying existing drawings of the property. This higher ridgeline appears to distract from and dominate the original dwelling.
- 5.3 Further alterations appear to have been made in the 1960s, 1970s and around 2001, including the arched screen between the ground floor stair hall and dining space, the removal and relocation of the staircase position, removal of several original fireplaces and additional first floor bathroom which have impacted the listed building.
 - 5.4 It is proposed to construct a new two-storey extension to the north elevation replacing the existing 1960s extension which currently dominates the existing historic core. The replacement extension will reduce the overall roof height and is set back from the main house on the west and east elevations thereby significantly reducing any impact on the original dwelling.
 - 5.5 The design of the proposed extension continues to be set back from the principal elevation of the original dwelling, with lower eaves and ridgeline to allow it to be subservient to the original dwelling and reducing the impact of the existing north extension.
 - 5.6 The extension will have smaller casement windows which will help bring some hierarchy to the main house and subservient extension.
 - 5.7 The timber porch (*fig.7*) over the front door is proposed to be replaced with a stone alternative which will be more in keeping with the Wealden Sussex sandstone brick building.
 - 5.8 The materiality and design language of the proposals match that of the original extension and original dwelling. The proposal is to build the extension using Wealden Sussex sandstone with brick quoins and fenestration surrounds. We also propose to continue the ashlar coursing to the eastern (entrance) elevation of the main house, with flint galletting. Other elevations will be simpler, rubble stone walls matching the existing house.
 - 5.9 The lead flat roof of the bow window (*fig.8*) is proposed to be replaced with a new lead pitched and scalloped roof, to balance the eastern (entrance) elevation with the roof to the proposed replacement entrance porch to the north.
 - 5.10 The extension has been designed to sensitively represent one more phase of the house's evolution, designed in a traditional style to complement the existing building.



Figure 5 – Existing flint galletting in the Wealden Sussex sandstone wall



Figure 6 – Existing extension has a higher roof than the main house



Figure 7 – Existing timber porch proposed to be replaced



Figure 8 – Existing lead flat bow window to have a new lead pitched and scalloped roof.

6.0 Relevant planning policies

Paragraph 126 states the creation of high quality, beautiful and sustainable buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities. Being clear about design expectations, and how these will be tested, is essential for achieving this. In addition, the paragraph encourages effective engagement between applicants, communities, local planning authorities and other interested parties throughout the process.

Paragraph 130 states that planning policies and decisions should ensure that developments:

- a) will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development.*
- b) are visually attractive as a result of good architecture, layout and appropriate and effective landscaping.*

The proposed works will enhance the appearance of the building and re-balance the hierarchy, so the extension is subservient to the main house.

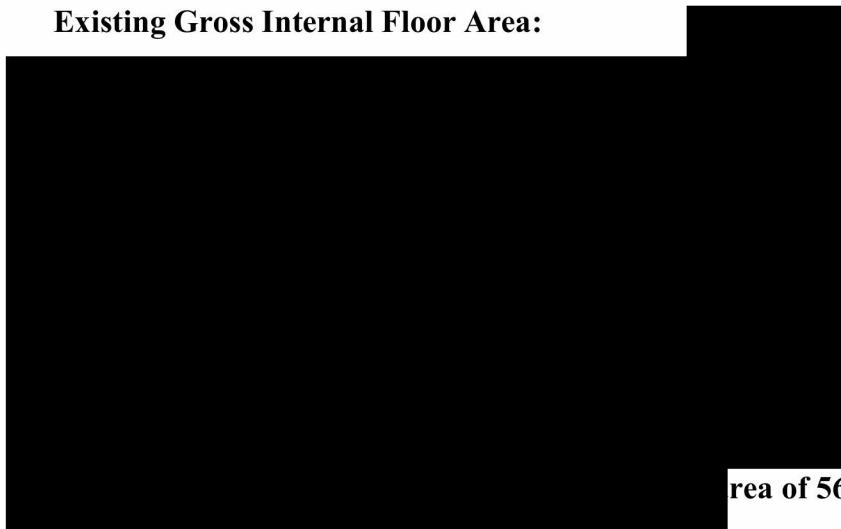
Only high-quality materials which match the existing main house will be used. This will ensure that the extension functions well and is visually in keeping both now and in the future.

- c) *are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities);*
- d) *establish or maintain a strong sense of place, using the arrangement of streets, spaces, building types and materials to create attractive, welcoming and distinctive places to live, work and visit;*

Matching the existing materials and style of the existing building with details such as the brick quoins around the windows will ensure the extension is sympathetic to the style of the house and character of the area.

7.0 Schedule of Areas

Existing Gross Internal Floor Area:



area of 56.5m² or 25%.

8.0 Pre-Application Feedback

8.1 A pre-application enquiry was made to the local authority in June 2023 reference no. SDNP/23/02514/PRE. The feedback stated that the new proposal extension was too large and made several suggestions to help achieve a successful planning application. ADAM Architecture has reviewed these comments and significantly altered the design proposal in response to the feedback.

8.2 The critical pre-application feedback and responses are detailed below:

'The extension, it will need to abide by SD31 and does not increase the floorspace of the existing dwelling by more than approximately 30%. The current proposed increase is 44% therefore not SD31 compliant. I note that in your calculations the outbuilding is included under the existing floor plans but as the outbuilding was converted to ancillary accommodation after 2002, it cannot be included in the calculation of existing floor space.'

The revised proposal is significantly smaller than the proposal submitted for pre-application. The GIA will be increased by 56.5m² which equates to 25%. This meets the SDNP guideline SD31.

'The current 1960's extension to the Farm is considered to be an overbearing offset to the existing dwelling, albeit it forms part of the designated heritage asset as listed in 1987. If the existing extension is to be removed, the proposed extension would need to be subservient to the main dwelling.'

The replacement extension has been designed with a lower ridge height than the main house and existing extension. This is to ensure it is subservient to the main dwelling. The differentiation between the larger casement windows on the main house and the smaller windows on the extension will also help create a hierarchy between the old and the new parts of the building.

'West elevation: Currently, the proposed fenestration on the west elevation is quite busy, and without an opening, this frontage appears somewhat contrived. To improve this the Conservation and Design officer's recommendation would be to consider the use of more generously proportioned 2 over 2 sashes, rather than directly mimicking that on the existing building.'

The size of the first-floor windows on the proposed extension have been made smaller to make the façade less busy and appear subservient to the main house. Whilst researching and touring the local area, we concluded that sash windows would not be appropriate for the property style or local typology.

'North elevation: The total depth of the extension almost completely obscures the core part of the designated heritage asset from this aspect. This dominance is compounded by the very ordered appearance to the fenestration and therefore should be subservient to that of the main front elevation;

The updated proposal has been significantly reduced in depth so it is narrower than the main house. The façade is set back from the main house on both the east and west elevations, so it is subservient.

'the inclusion of the large ornate porch and remodelled steps results in a further confusion as to the importance and historic legibility of the core part of the listed building.'

The ornate porch has been removed from the design proposal and an understated canopy has been proposed over the side door. This helps reinstate the dominance to the main house.

'Reordering fenestration to mimic a more appropriate side elevation. This could be done with different proportioned windows and a more varied fenestration.'

As the size of the extension has been reduced significantly, the north elevation is significantly smaller, and the number of windows has been reduced from seven to one. The window and blind windows (which are included to provide balance to the elevation) are smaller than those on the main house, and more typical of a side elevation.

‘Proposed east elevation: as above, the rear elevation would benefit from an overall reduction in width to make the proportions less assertive in conjunction with the main listed building.’

Although the east elevation has not reduced in width, the proposed extension appears far less assertive than the previous proposal. The simplified façade is set back from the main house. The projecting gable and bay window have been removed and replaced with a symmetrical and uncomplicated façade of casement windows centred around set of double doors.

‘The gabled treatment of the projecting wing is at odds with the character of the existing roof. This should be fully hipped as a minimum. Also, unlike the 2001 scheme, the two-storey form of this proposed extension extends rearwards as far as this gabled projection, resulting in a visually assertive addition relative to the C19th core.’

The gable roof and extension it covered has been removed. The new proposal is set back from the main house to remain subservient to the C19th core.

‘It is noted that the south elevation of the gabled projection overlaps what would have originally been the corner and roof of the original C19th building. This appears visually uncomfortable and if this projection is to form part of any future submission, there would be some advantage from it being eased northward from where shown at present and reinstating the brick quoining so that the core element of the listed building is better expressed.’

The proposal is significantly smaller than that submitted at pre-application stage. The new proposal is set back from the main house on both the west and east elevations. The ridge height is also lower than the existing extension and therefore the new proposal does not overlap the original C19th roof corner.

- 8.3 It should be noted that the pre-application feedback suggested that changes to the internal works would not be opposed;

‘The proposed internal works will have little impact on the historic fabric of the internal structure of the dwelling due to this having been removed during the 1960's extension.’

9.0 Heritage Impact Assessment

- 9.1 A detailed historical development report has been undertaken by ADAM Architecture for Old Kingsham Farm. This document includes an assessment of the building's significance and summarises that Old Kingsham Farm's primary significance is the main front elevation and its architectural use of stone and brick and the simple farmhouse plan form.

- 9.2 Externally, the core of the existing farmhouse represents a good example of a robust, early-nineteenth century farmhouse, which was designed with a certain amount of architectural ambition; the brick detailing and galletting to the

stonework mortar to the front elevation only gives it added interest. The principal architectural significance of the building today derives from the relatively unaltered south-western facade, its proportions and some of the detailing.

- 9.3 The following assessment breaks the proposals down into individual elements to allow them to be assessed independently for their merits and impact on the listed building.

Impact of the Proposals

Replacement extension to the north of the main house

- 9.4 The replacement extension proposed to the north of the main house aims to be subservient to the main farmhouse given its significance as outlined above. The proposed extension is set back from both the east and west elevations and a simple hipped roof with lower ridgeline and eaves is adopted to reinforce the appearance of being subservient to the main farmhouse. The proposal also replaces an existing north extension with a higher ridgeline and level eaves, which could be considered overbearing to the main farmhouse.
- 9.5 The proposed extension encapsulates an existing chimney to the northern elevation of the main farmhouse and obscures the brick quoins to the chimney. However, it is considered that this has been altered at some point in the past (possibly when the roof was recovered) and poorly repointed in what appears to be a cement mortar. In addition, the brickwork to the existing chimneys to the south has been laid slightly deeper into the stonework, with irregular quoins. It is therefore suspected that some brickwork has been removed and/or re-laid on the north facing elevation under the chimney.



Figure 9 – Existing north facing chimney and detail photo of poor pointing in suspected cement mortar

The above alterations detract from the historical value of the chimney detailing and it is considered that this loss is outweighed by the positives gained through replacement of a harmful overbearing extension.

- 9.6 It is deduced that the proposal does not make it harder to appreciate how the building has been used and the chimney is retained above the roofline so its position can be read. In addition, the original brickwork detail can be understood from the existing chimneys to the south elevation.
- 9.7 It is assessed that there is no loss of historical detail, craftsmanship or original design principles caused by the proposed extension. With the above assessment in mind, it is considered that the proposed extension will have a positive or neutral impact on the building.

Impact of the Proposals

Internal alterations to main house

- 9.10 Some minor internal alterations are proposed to the main house, but where these occur they aim to return some of the original internal plan form where possible.
- 9.11 As has already been established by the local authority in the pre-application feedback that changes to the internal fabric would not be opposed due to most of the historical fabric being removed during the 1960s extension.
- 9.12 With the above assessment in mind, it is considered that the proposed internal alterations will have a positive impact on the historical significance of the building.

Overall Impact of the Proposals

- 9.13 The proposals are designed to be installed without damage to the historical fabric of the building.
- 9.14 The design is sensitive, in terms of scale, materials, location and form.
- 9.15 The proposed methods for carrying out the proposed works are sensitive, including the retention, protection and restoration of significant features.
- 9.16 The proposals are based on understanding all aspects of the site and its context as well as the significance of the historical asset. It is considered that the proposals outlined above have a positive or neutral impact on the historical asset.

10.0 Landscape and Visual Impact Assessment

10.1 General

- 10.1.1 The site is relatively flat with the property being enclosed by masonry walling and established hedging. The site drops away further north down to an ornamental duck pond with mature trees and the Hammer stream beyond.

10.1.2 The main house is set approximately 2.3 metres back from the highway behind mature garden and boundary vegetation. This remains unchanged if the proposals are granted.

10.2 Landscaping

10.2.1 The existing wider landscape setting would not be affected.

10.3 Impact Upon Trees and Hedgerows

10.3 There are no trees or hedgerows in proximity of the proposal.

10.4 Views of the Site

10.4.1 No impact is considered likely as the proposal is located to the north of the house (furthest from the highway) and would be lower in height than the current extension. The proposals are largely masked by the original house.

10.5 Impact Upon the Landscape

10.5.1 No impact.

10.6 Archaeological Potential

10.6.1 No impact is considered likely.

10.7 Protected Species, Known Habitats and Important Geology

- 10.7.1 A phase 1 and phase II protected species survey has been undertaken on the site. The resulting report from these surveys accompanies this planning and listed building consent application.

11.0 Flood Risk Assessment

- 11.1 The dwelling and domestic ancillary buildings at Old Kingsham Farm are not located within any flood risk area as can be confirmed from the flood risk summary online.

12.0 Parking & Accessibility

- 12.1 Parking provision will not be altered and will remain as existing.
- 12.2 The proposed works do not alter the level of accessibility to and from the property.

13.0 Conclusions

- 13.1 The proposals have been developed in a careful and sensitive manner, which embraces the spirit of NPPF, whilst considering relevant local policy to achieve an agreeable and positive proposal.
- 13.2 These proposals are not considered to be detrimental to Old Kingsham Farm and its listed curtilage and will be of a positive nature to the immediate contextual setting of the historic building.

Appendices:

- Appendix A – Room Data Sheets
Appendix B – Genesis Planning Appraisal
Appendix C – Bat Roost Survey Report
Appendix D – Flood Map for Planning