

# Existing Floor Plans scale 1:50 @ A1

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## Notes:

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New casement window sizes to be confirmed with client on site.

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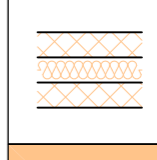

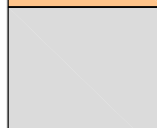
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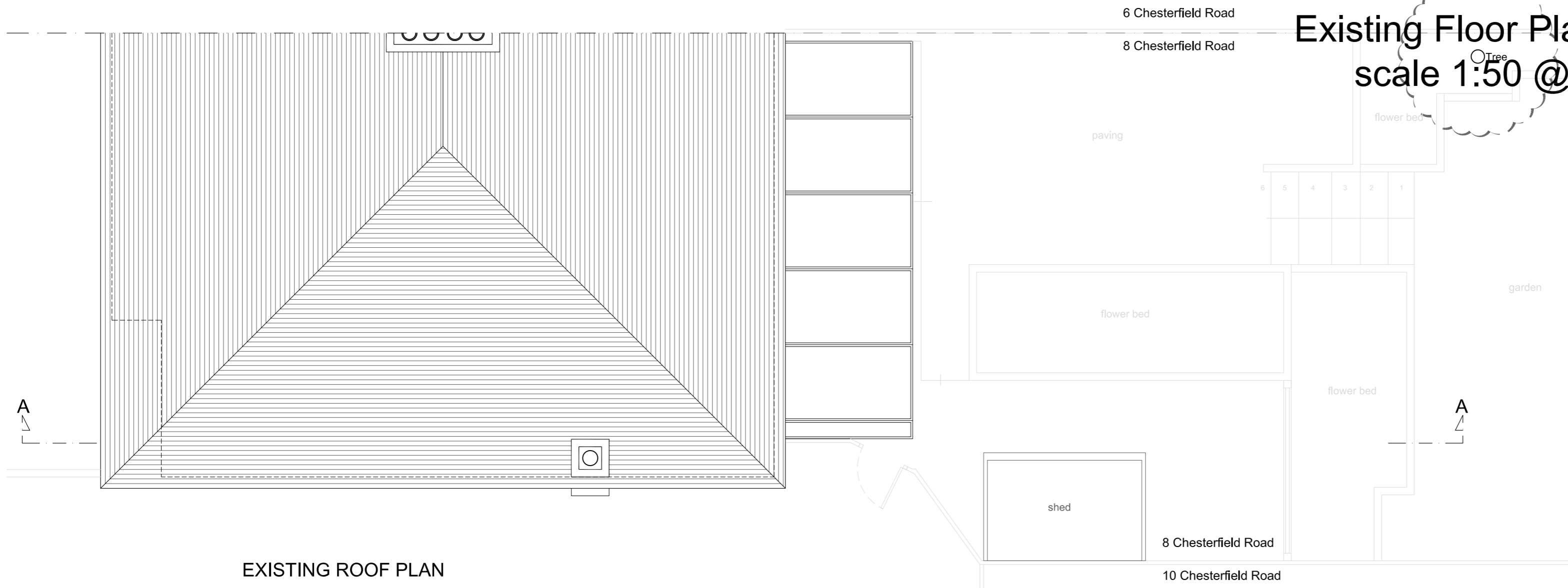
Exact position and size of all chimney stacks/breasts to be confirmed on site prior to ordering materials. In case the proposed structure is affected, the Contractor should seek report back to the Engineer or Architect.

## General Notes on Layout and Furniture:

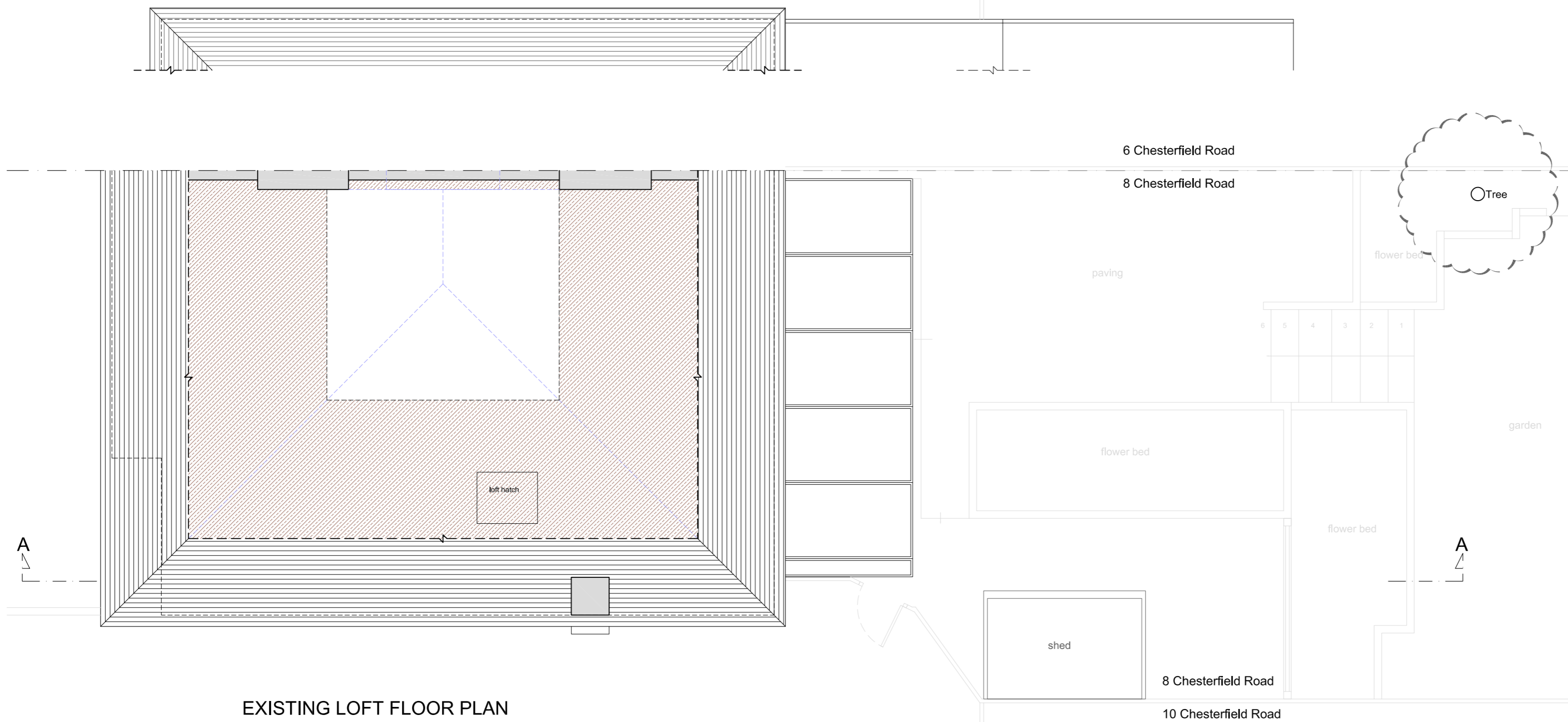
Please note furniture, beds, kitchens and cupboard shown are for illustration purposes only and are Not Included in the Contract UNLESS PREVIOUSLY AGREED and/or OTHERWISE SPECIFIED on plans.

## KEYS

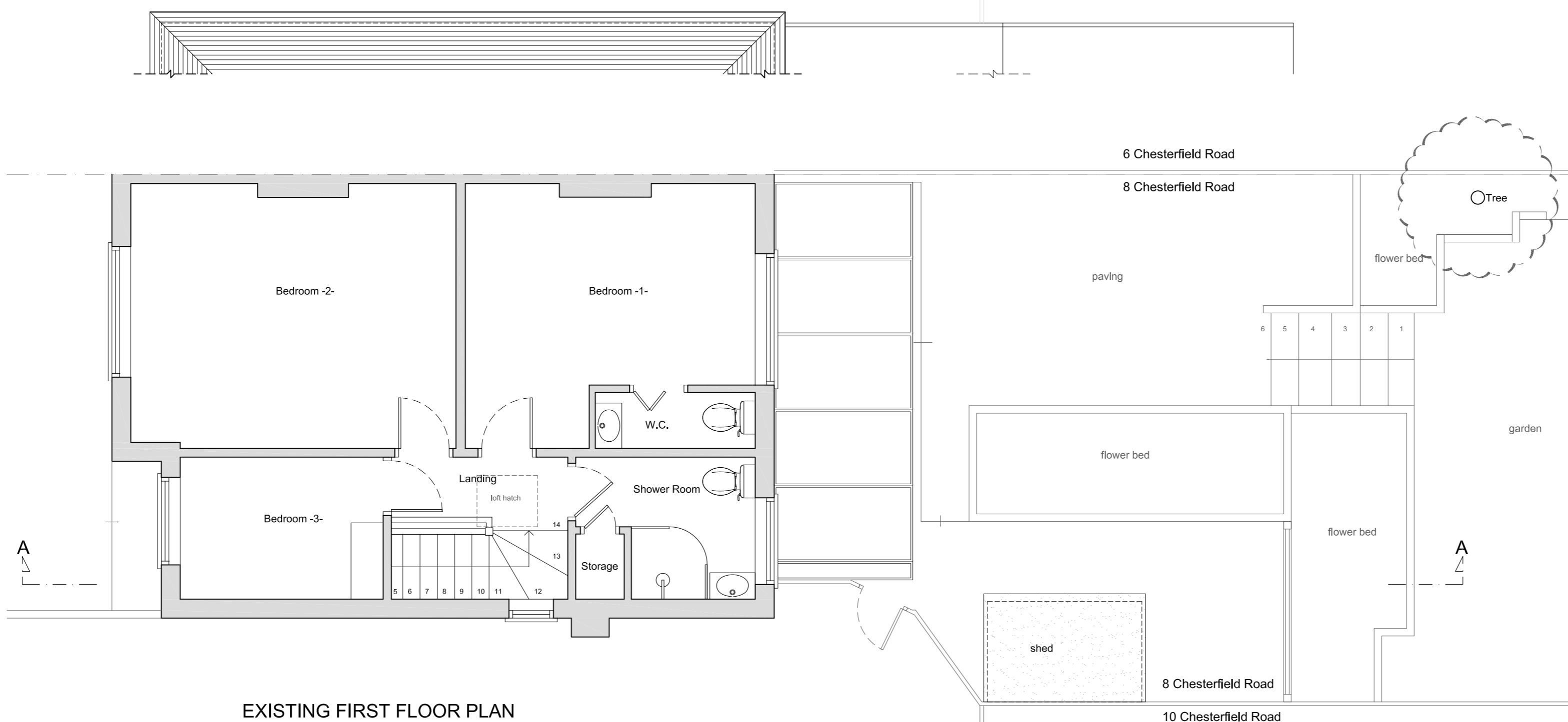
	Head height < 1.8m
	demolition
	Cavity Walls
	Proposed
	Original



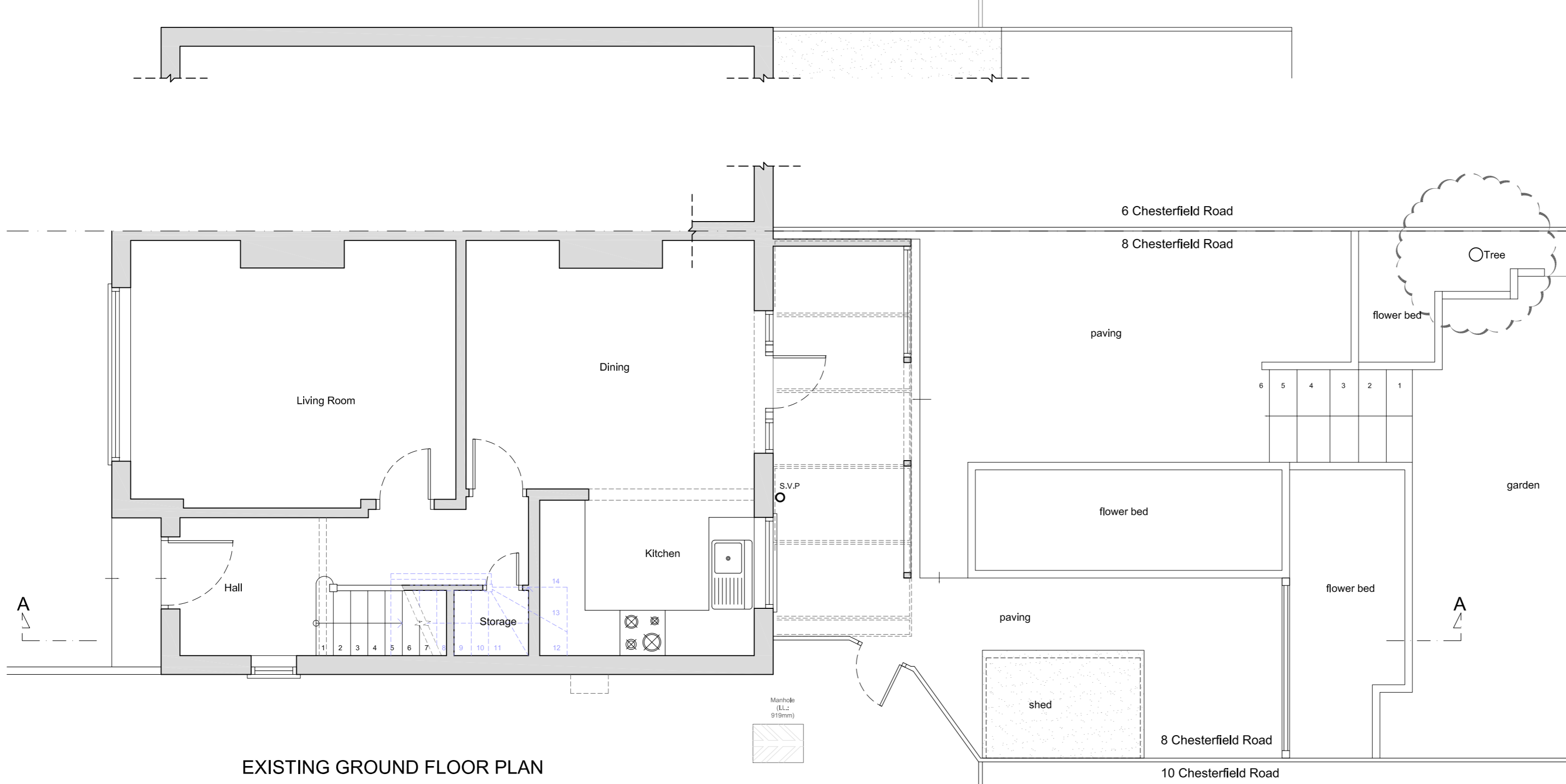
EXISTING ROOF PLAN



EXISTING LOFT FLOOR PLAN



EXISTING FIRST FLOOR PLAN



EXISTING GROUND FLOOR PLAN

0 1m 2m 3m 4m 5m

Scale Bar @1:100

0 1m 2m 3m

Scale Bar @1:50



Tel/Fax: 020 8907 7131 e-mail: info@studio136.co.uk

Project

LOFT CONVERSION & GROUND FLOOR EXTENSION AT  
8 CHESTERFIELD ROAD  
LONDON  
N3 1PR

Client  
Ms Tamar Marsh  
18 Bigwood court  
London  
NW11 6SS

Drawing Title  
EXISTING FLOOR PLANS

Scale	Drawn	Checked	Authorised
1:50@A1	—	—	—
	4th April 2024	—	—

Drawing Number	Rev
ST_24_8CHESTERFIELD_01	A

Existing Front & Side Elevation -A- \_ scale 1:50 @ A1



EXISTING FRONT ELEVATION



EXISTING SIDE ELEVATION -A-

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	Cavity Walls
	Proposed
	Original

0 1m 2m 3m 4m 5m

Scale Bar @1:100

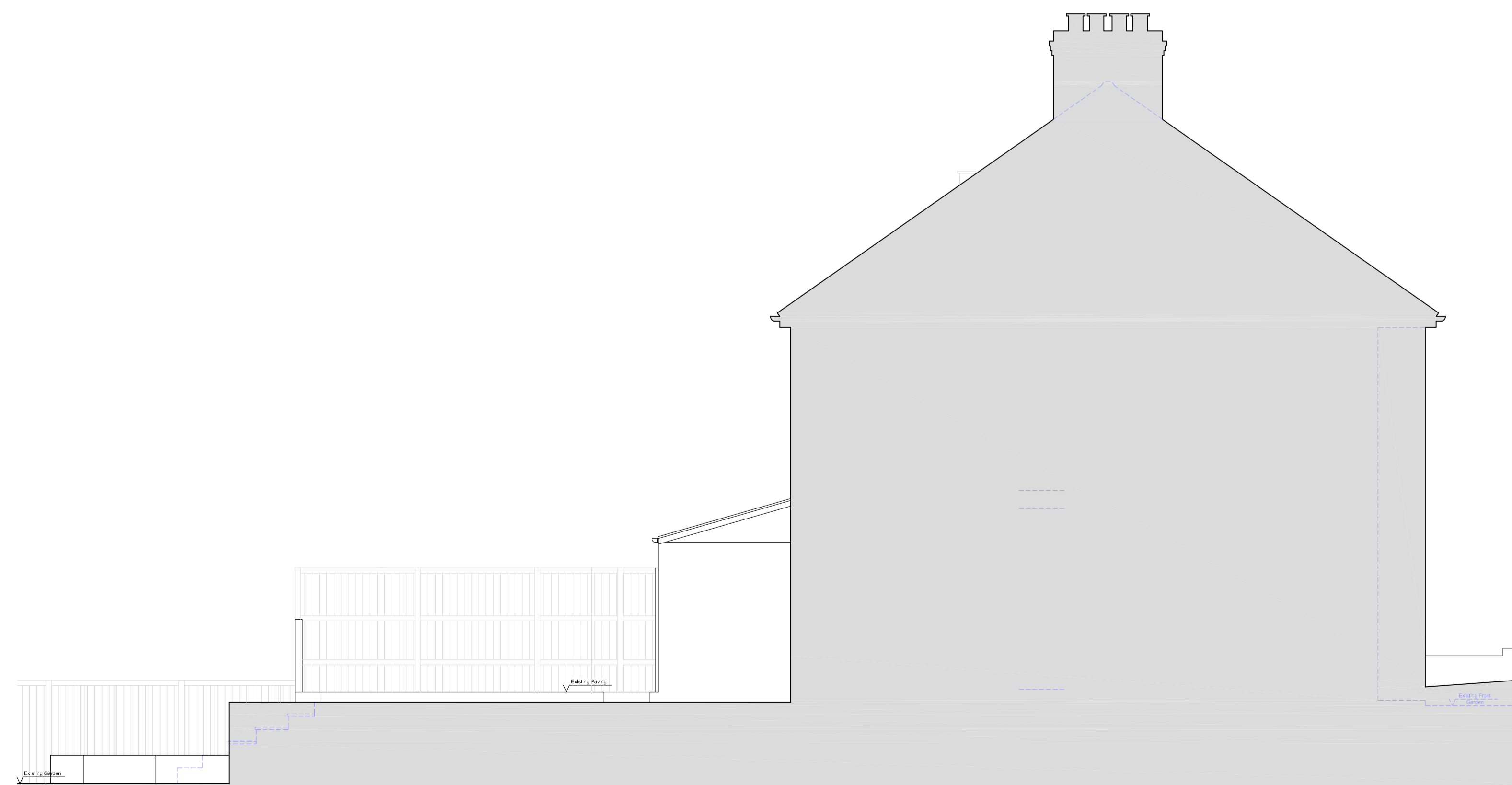
0 1m 2m 3m

Scale Bar @1:50

Existing Rear & Side Elevation -B- \_ scale 1:50 @ A1



EXISTING REAR ELEVATION



EXISTING SIDE ELEVATION -B-



Project

LOFT CONVERSION & GROUND FLOOR EXTENSION AT  
8 CHESTERFIELD ROAD  
LONDON  
N3 1PR

Client  
Ms Tamar Marash  
18 Bigwood court  
London  
NW11 6SS

Drawing Title  
EXISTING ELEVATIONS

Scale	Drawn	Checked	Authorised
1:50@A1			
	4th April 2024		

Drawing Number	Rev
ST_24_8CHESTERFIELD_02	A

# Existing Section A-A \_ Scale 1:50 @ A2

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EXISTING SECTION A-A

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	Cavity Walls
	Proposed
	Original

0 1m 2m 3m 4m 5m

Scale Bar @1:100

0 1m 2m 3m

Scale Bar @1:50

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**136 architects**  
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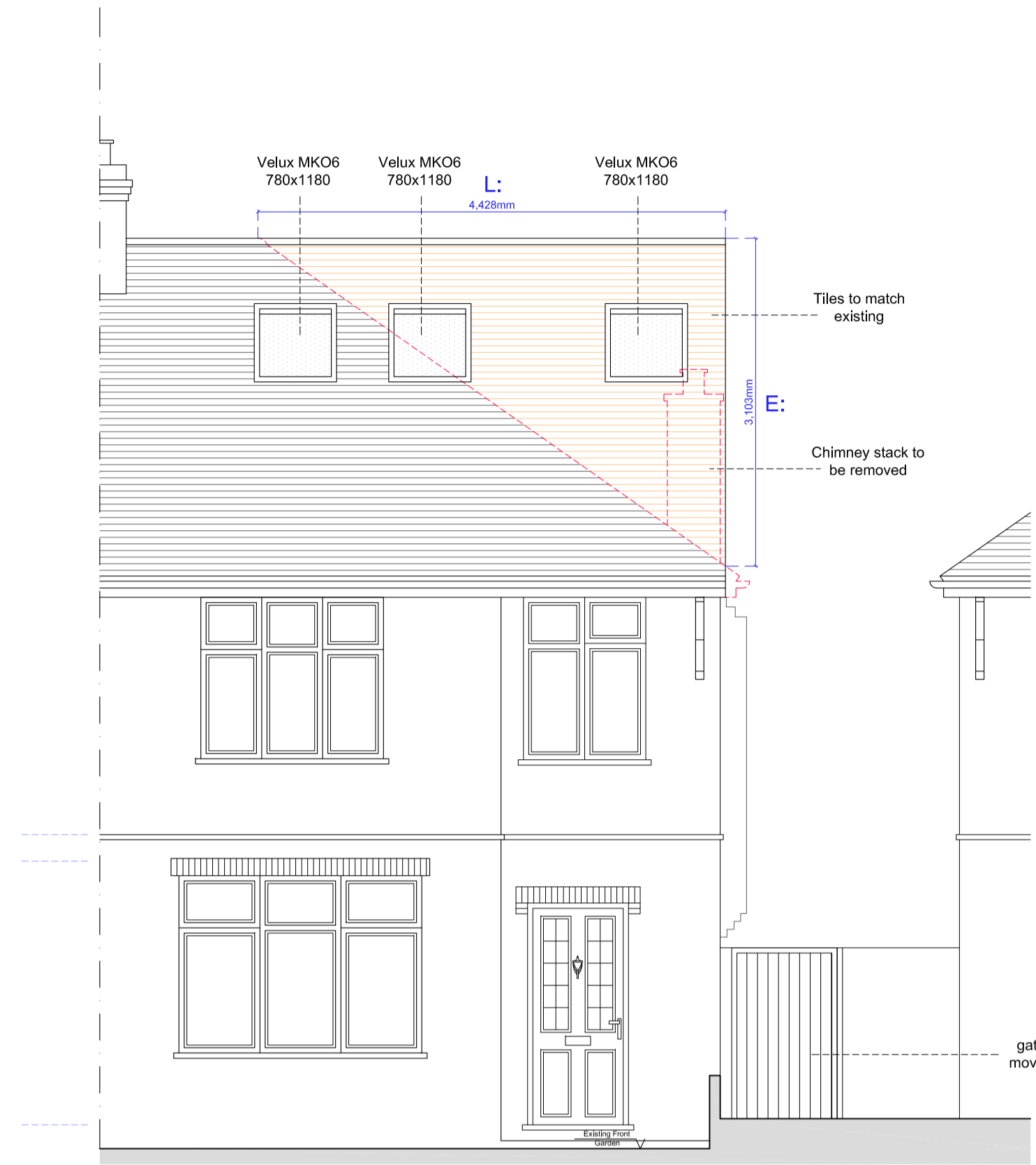
Drawing Title  
EXISTING SECTION A-A

Scale	Drawn	Checked	Authorised
1:50@A2	-	-	-
	4th April 2024	-	-

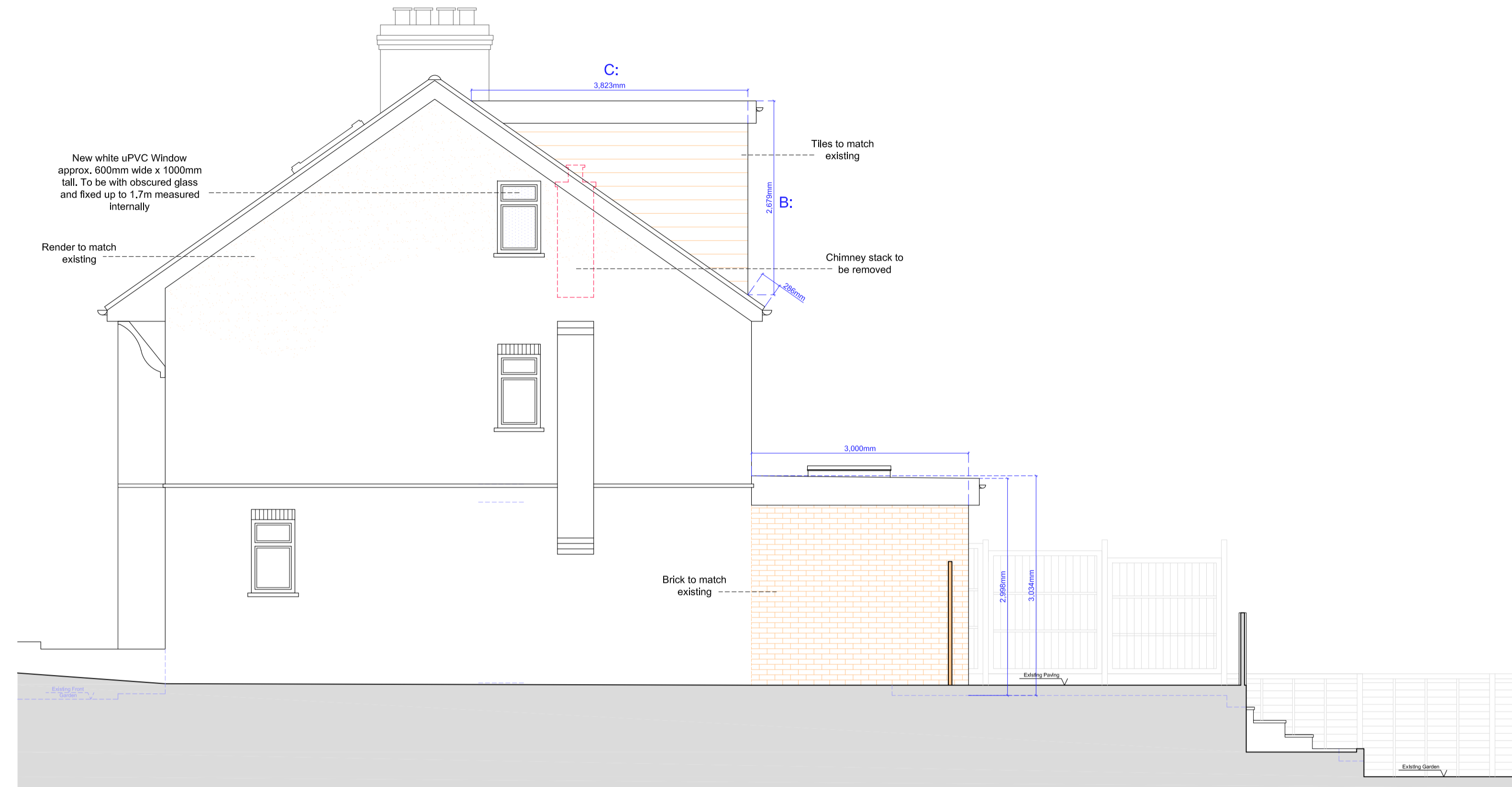
Drawing Number	Rev
ST_24_8CHESTERFIELD_03	A



# Proposed Front & Side Elevation -A- \_ scale 1:50 @ A1



PROPOSED FRONT ELEVATION



PROPOSED SIDE ELEVATION -A-

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Scale Bar @1:50



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Drawing Title  
PROPOSED ELEVATIONS

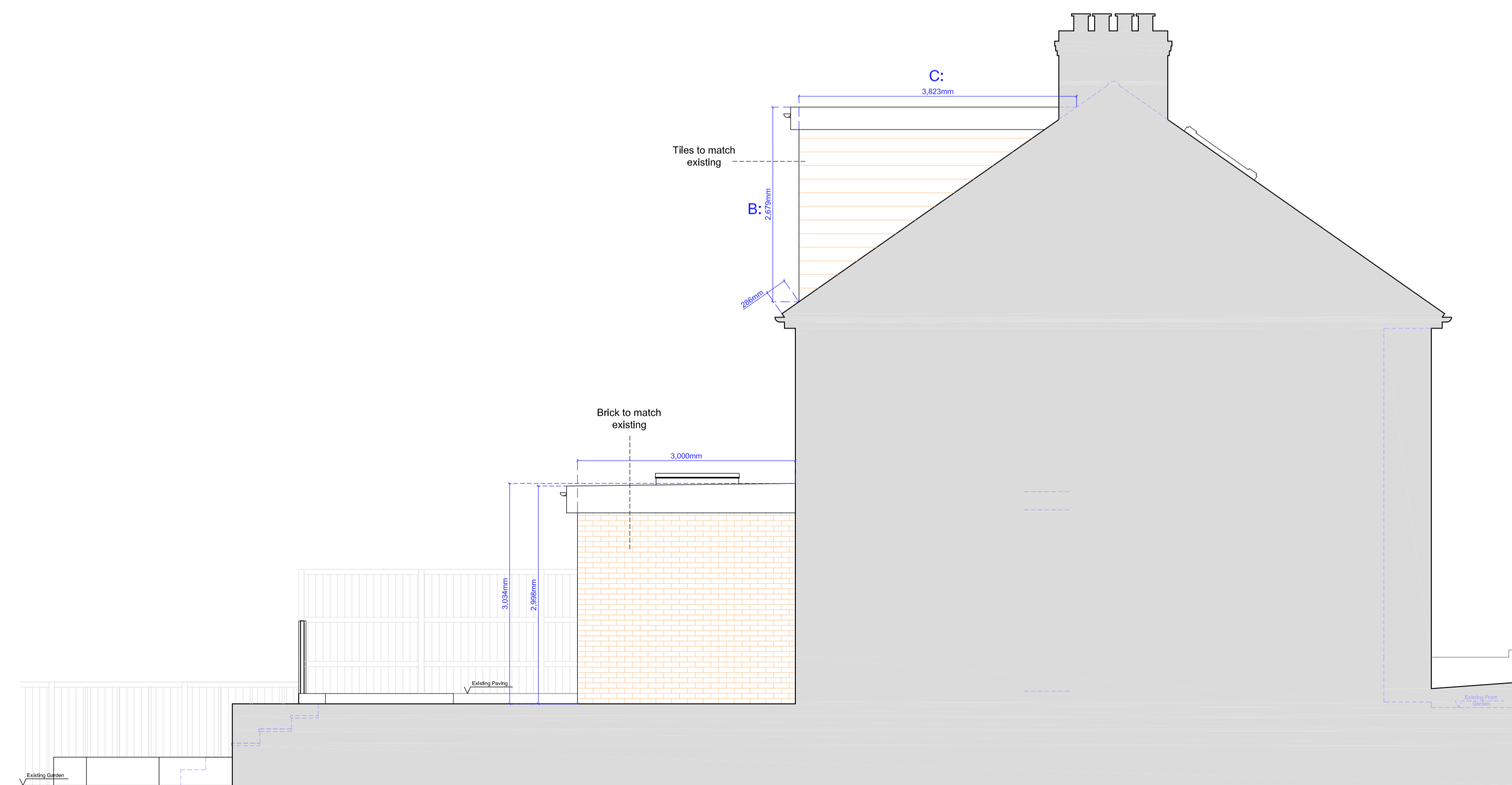
Scale	Drawn	Checked	Authorised
1:50@A1			
	4th April 2024		

Drawing Number	Rev
ST_24_8CHESTERFIELD_05	A

# Proposed Rear & Side Elevation -B- \_ scale 1:50 @ A1



PROPOSED REAR ELEVATION



PROPOSED SIDE ELEVATION -B-

# Proposed Section A-A \_ Scale 1:50 @ A2

# VOLUME CALCULATIONS

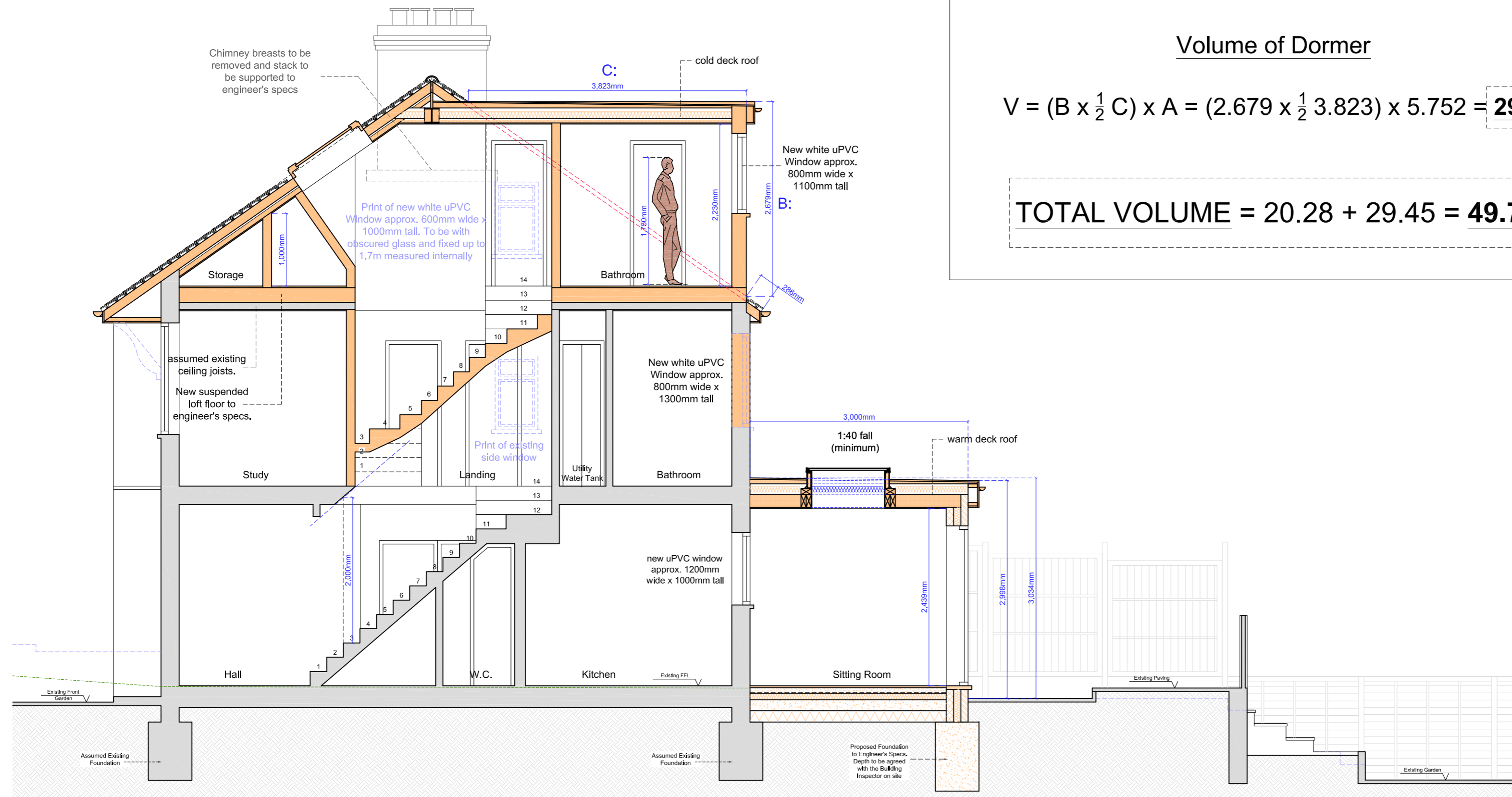
## Volume of Hip to Gable Conversion

$$V = (D \times \frac{1}{2} L) \times \frac{1}{3} E = (8.857 \times \frac{1}{2} 4.428) \times \frac{1}{3} 3.103 = \mathbf{20.28m^3}$$

## Volume of Dormer

$$V = (B \times \frac{1}{2} C) \times A = (2.679 \times \frac{1}{2} 3.823) \times 5.752 = \mathbf{29.45m^3}$$

$$\mathbf{TOTAL VOLUME = 20.28 + 29.45 = 49.73m^3}$$



PROPOSED SECTION A-A

0 1m 2m 3m 4m 5m

Scale Bar @1:100

0 1m 2m 3m

Scale Bar @1:50

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Scale	Drawn	Checked	Authorised
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	4th April 2024	-	-

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