



Fanshaws
Brickendon Green,
SG13 8PB

Heritage Assessment

PRECIS

This report comments on the scope for making changes to Fanshaws, including alterations to the internal spaces of this early 17th century farmhouse. As a listed building, an assessment of its historic and architectural significance is prepared, helping to describe the proposals to East Herts District Council. The report demonstrates how the proposals are formed in relation to the listed building and will preserve and enhance the character of the heritage asset. The development and design is in harmony with the significance of the building and does not impact on the visual quality and character of this heritage asset. The Heritage Statement supports a formal statement for planning and justify the changes against design and policy criteria.



**22nd March 2024
ISSUE**

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1.0 INTRODUCTION

1.1 Context and Objectives

The report assesses the options for internal alterations to the farmhouse at Fanshaws. The client wishes to upgrade internal elements of the existing house, addressing some inappropriate additions made by the previous incumbent. This analysis will subsequently support a planning application to be submitted to East Herts.

Squire Heritage has been instructed to advise on the potential for making changes to enable improvements to the existing house. The report demonstrates the architectural and historical significance of Fanshaws and makes an assessment of the impact of changes proposed on the special interest of the listed building.

The objective is to respect the character of the building and its hierarchy whilst improving the space as a residential dwelling. The proposal to facilitate the improvement of internal spaces needs to be sensitive to the existing building and ensure its former importance as a Farmhouse is retained. It is important for changes to reflect the existing layout and not to compromise the elements of the original building which make it significant.

Reconciling development within the setting of East Herts and Brickendon Green is an exercise that demands a level of observation and sensitivity. The starting point of such an analysis is in defining the qualities of the building and its relative significance (Section 3). It is then possible to assess the degree to which the proposals will cause an impact on the historic and architectural character of the building (Section 4).

The assessment considers the historic context of Brickendon Green and the prevailing characteristics of the setting within which the building sits. The architectural and historic survey (3.1-3.2) gives an assessment of the internal parts of the building. Such information provides the evidence base on which future plans to alter and refurbish can be made. It goes on to confirm that there has been a history of alterations and extensions with the addition of built parts, alongside some later decoration and subdivision that forms a common theme.

An assessment of the heritage asset is important in allowing the impact of the proposals on the conservation of the building to be fully understood. The initial assessment found in Section 4 shows that where there is internal historic fabric remaining in situ, it is being conserved. In the spirit of conservation, elements of the building that are identified as significant such as the timber beams in the ceiling, the windows and fireplaces are being retained, restored and improved respectively in the scheme.

Minor alterations to the floor plan will enhance the space and general improvements to the decorations and fittings will be carried out in an effort to clean up some poor work carried out by the previous owners.

This follows the overriding principle of the scheme which has been to promote a 'conservation-led' approach to change at Fanshaws so as to provide interior space in keeping with the needs of a private residential building. This will help breathe new life into parts of the structure that have become out-dated and ill-fitting, meaning the house can be optimized into full residential use once again.

Overall Objectives

It is highly desirable to expect all changes to be unified within the setting of Fanshaws.

The proposals consider the refurbishment of the house as a whole, making it a viable and modern dwelling suitable for its residents. The client recognises that the architectural character of the building has been compromised by previous owners and their wish to reinstate some of this quality is welcome.

The existing building is in residential use, containing the single historic building associated with the former 16th century Farmhouse. It is a grade II Listed building whose designation is given in 2.3. It is known that Fanshaws was connected to the overall growth of agricultural activity in this part of the region from the late 16th century.

The initial assessment is undertaken to understand the potential for making select alterations and for the arrangement of spaces inside the building to suit the standard of accommodation provided to friends and family.

The proposal arises as a result of the current condition and use of the building. Existing internal areas need to be refurbished and the proposal is to alter the fittings (wood burner) in the space at the rear of the building (in the kitchen) on the ground-floor, befitting the uses of guests and family.

In the older part of the ground-floor, there will be a mixture of replacement and re-decoration concerning a new staircase. On the first floor, an existing space will be occupied by a new bathroom, utilising a space that sits on the side of the original core.

The older part of the building is well maintained and there are few signs of depreciation that would require repair. The proposals include a conservation approach to making changes, ensuring that original fabric as found in bricks and timber will be retained and where necessary, replaced or repointed with a like for like medium.

The underlying benefit of the proposal to the building is the applicant's commitment to restore and enhance existing historical fabric, as seen by the plans to retain the fireplaces and timber beams. The proposal is to reintroduce some of the architectural integrity of the building and make changes that are in keeping with its character. This involves discrete remodelling and refurbishment of some built elements.

The following elements have been assessed with the view to improve the dwelling space for the residents. The proposed interventions will take place within the building on select internal areas at ground and first floor level.

- I. The moving of the bathroom from one room to another, first floor;
- II. The removal of a modern oak and glass staircase and replacing it with something more suitable, first floor;
- III. The moving of a wood burner in the kitchen;

1.2 Methodology

This assessment shows how the proposal is informed and will preserve and enhance the character of the heritage assets.

A site visit gave the opportunity to address the internal spaces of the building and configure a working chronology for the farmhouse. From this it is possible to determine the condition and authenticity of features and fittings that contribute to an understanding of the internal significance of the building.

Currently the site consists of 4 interlinked buildings comprising of a timber framed cottage, a brick built wing which was once a dairy, a large oak framed barn and a further brick built building. It is sited in gardens and fields and has undergone phases of extensive refurbishment over the past 10 years at least.

An appraisal of the sites grounds was undertaken to explore how the building relates to its natural setting. Observation of the four walls of the building gives another insight into the age of the building and the subsequent additions of parts through its history. This information is usefully complemented by old maps.

An audit of the building's interior (with photographic survey) was undertaken (Section 3.2) and a floor plan refers to the historic and architectural features to be retained as a part of the proposals.

The external walls of the building are of various ages as a result of many extensions made in the 20th century. The walls of the timber framed cottage are all original and will be retained. On the inside, observation shows how the other 3 buildings were layered onto the core late 16th century cottage, meaning that the building has been altered on at least three occasions.

A Historic Building Assessment is prepared below (Section 3.0) to show the chronology of changes to the listed building. From this information, further assessment is made on the special interest of the listed building and the impact of the proposed works.

The first half of the Heritage statement comprises an understanding of the building and its historic background. The second half will concentrate on the heritage impact assessment, with a summary of its significance and setting followed by assessments against local and national policy. The statement will qualify the significance of the listed building and demonstrate how the proposal will conserve the assets in accordance with Policy. This will ensure the house is optimized into full new residential use whilst maintaining its historic integrity and character.

The supporting heritage statement will include a historic building assessment in line with the LA validation requirements and Historic England's HEAN 12 guidance. The assessment of significance of heritage assets is part of a staged approach to decision-making. The level of detail in support of the application should be no more than is necessary to reach an informed decision, and that activities to conserve the asset(s) need to be proportionate to the significance of the heritage asset(s) affected and the impact on that significance.

1.3 Policy considerations

The objective of preserving or enhancing the character or appearance of a building means that alterations should complement the original building. In this case, because the proposals affect the setting of a heritage asset, a site analysis is prepared which demonstrates how the proposal will respect and enhance the asset. Hence, when submitting a formal application this report will be read alongside Architects drawings and plans, as well as the Planning statements.

Local policy pays importance to a high standard of listed buildings in the borough. It is important that the proposed redevelopment does not harm the character, appearance or setting of the listed building and is sympathetic to the scale, form, detailing and materials of the existing structure.

National:

The legislation relating to the historic environment is contained in the Planning (Listed Building and Conservation Areas) Act 1990. Sections 16 and 66 of the Act are of particular relevance to this case because they place a duty on the decision maker to have special regard to the desirability of preserving the special interest and setting of a listed building. Section 72 imposes a similar duty with respect to preserving or enhancing the character or appearance of a Conservation Area.

Consideration has been given to the following national and local planning policy and guidance relating to the historic built environment:

- The Planning (Listed Buildings and Conservation Areas) Act 1990 – the legislation which provides for the designation and protection of listed buildings and their settings and Conservation Areas.
- The National Planning Policy Framework (NPPF), particularly chapter 16.
- Publications by English Heritage, notably Conservation Principles 2008, which sets out guidance for the sustainable management of the historic environment.
- East Herts District Plan (2018)

National Planning Policy Framework (NPPF) 2021 (revised September 2023)

The NPPF builds on a history of legislation and guidance requiring local planning authorities to identify areas of 'special architectural or historic interest the character or appearance of which it is desirable to preserve or enhance' and then to pay 'special attention to the desirability of preserving or enhancing the character or appearance of those areas'. Heritage assets are the central all-encompassing tenant of the conservation strategy.

The NPPF does not change the statutory status of the development plan as the starting point for decision making. At the heart of the NPPF is a 'presumption in favour of sustainable development'. Section 16 of the NPPF seeks to conserve and enhance the historic environment, recognising that heritage assets are an irreplaceable resource and should be conserved in a manner appropriate to their significance. Of particular relevance are the following paragraphs:

Policy 201. Local planning authorities should identify and assess the particular significance of any heritage asset that may be affected by a proposal (including by development affecting the setting of a heritage asset) taking account of the available evidence and any necessary expertise. They should take this into account when considering the impact of a proposal on a heritage asset, to avoid or minimise any conflict between the heritage asset's conservation and any aspect of the proposal.

Policy 205. When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation (and the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance.

Policy 206. Any harm to, or loss of, the significance of a designated heritage asset (from its alteration or destruction, or from development within its setting), should require clear and convincing justification.

Policy 208. Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use.

The District Plan (2018)

Section 38 (6) of the 2004 Planning and Compulsory Purchase Act requires that planning applications are determined by the development plan unless material considerations indicate otherwise. The development plan in this instance comprises the East Herts District Plan (2018). The District Plan sets out the planning framework for the District for the period of 2011-2033 and will deliver sustainable development. Section 21 on Heritage Assets recognise the valuable contribution made by Heritage assets to the areas' economic and social wellbeing.

The long-term management of heritage assets is essential and the Council will ensure that adequate measures are taken to maintain heritage assets which may, through neglect, fall into disrepair and result in irreparable damage or loss. Proposals affecting heritage assets will be assessed by the degree to which they conserve their significance, by being sympathetic to the assets' significance.

The District Plan sets out the planning framework for the District for the period of 2011-2033 and will deliver sustainable development. Section 21 on Heritage Assets recognise the valuable contribution made by Heritage assets to the areas' economic and social wellbeing. Proposals must show how the significance of the heritage asset has been assessed and taken into account by reference to the Historic Environment Record, suitable expertise and other evidence/research as may be necessary.

The quality of East Herts environment is reflected in its built heritage. It has a rich and diverse historic environment, and its historic buildings, areas and landscapes contribute to the special character of the District and help create a sense of place. The underlying basis of Local development policy is to protect the District's listed buildings and their setting and preserve and enhance the special character of the historic towns.

The long-term management of heritage assets is essential and the Council will ensure that adequate measures are taken to maintain heritage assets which may, through neglect, fall into disrepair and result in irreparable damage or loss.

Development proposals that would lead to substantial harm to the significance of a designated heritage asset will not be permitted unless it can be demonstrated that the harm or loss is necessary to achieve substantial public benefits that outweigh that harm or loss. Less than substantial harm should be weighed against the public benefits of the proposal.

2.0 FANSHAWS FARM AND ITS HISTORIC CONTEXT

2.1 Historic background

There is no evidence of Roman occupation in Brickendon Green, with the first mention of the settlement given in the Domesday Book (1086), where it appears as Brichendone. The manor of Brickendon was held by the canons and later the monks of Waltham Abbey (abbey), Essex, from about 1060 until the Dissolution of the Monasteries. Henry II created the liberty of Brickendon in about 1174/84 which granted the abbot freedom from certain taxes normally due to the crown.

In Saxon times the manor of Brickendon was centred on Brickendonbury and included parts of what is now Hertford, including Horns Mill, West Street and All Saints Church. Following the Reformation the manor passed into secular hands and has been held by a number of owners over the centuries. Hacketts was originally part of the Brickendonbury estate, when it was a farm. It is listed in the 1622 Survey of the manor as Heckets, occupied by Thomas Fintch.

19th century

The village is centred on a traditional village green and a village pub, The Farmer's Boy. The naming of the Parish as Brickendon Liberty originates from its creation by Henry II (1874) which granted freedom from certain taxes. Kelly's Directory of 1874 lists commercial entries being the Hart's Horns Inn, The Farmers Boy and one beer retailer. This small number of entries in not surprising bearing in mind the immediate proximity of Hertford.

The settlement was very scattered and consisted of little more than the ancient buildings and Brickendon Grange (built in 1859) and its imposing tree lined approach avenue. There was a large greenhouse complex of the south side of the wall that still forms the southern boundary of Brickendon Green. Nearby paths and formality suggests this may have been a kitchen garden (perhaps associated with Brickendon Grange to which it is connected by a path).

Little change occurred by the 1920's by which time Little Farden Cottages had been erected. The greenhouse complex referred to above is still shown. The chapel, dedicated to the Holy Cross and St Alban, was built in 1932 on land and with funds donated by Constance Demain Saunders and her mother Minnie Kingsley. The principal changes occurred from the earlier to mid-20th century onwards leaving the village much as it appears today.

2.2 Development of Fanshaws Farm

The earliest documentary evidence indicates that in 1863 Fanshaws Farm was known as Shrimptons and was a part of the Brickendonbury estate. Henry Foskett of Bengo is the known farmer. ¹ A sale particulars and map of the Brickendonbury Estate in 1881 showed Fanshaws Farm within some 1446 acres of Brickendonbury Farm.

¹ Two agreements for letting: Hertfordshire Archives and Local Studies, Ref: DE/L/1810-1811

The earliest Ordnance Survey detail known is dated 1878 and suggests that Fanshaws Farm may have had a multiplicity of uses. As there is evidence of an orchard next to the farm with horticultural activity providing supplemental activity to the pastoral farming known to have existed. The agricultural activity is clearly demonstrated by the relationship of the farmhouse to a swathe of fields on all sides. At that time the house faced onto the Green and was an important building on to the approach to the village centre.

Few buildings are marked in the centre at this time and the Farmers Boy, Bentleys and Hacketts are the main focal points. Fanshaws Farm is presented in the 1878 OS Map, on the north side of the road. Outbuildings are shown as covering an area on the north side of the farmstead. There is one large barn (1) on the east side and there is a long barn (2) on the west side. On the north-west side is a smaller barn building (3) that extends along the north edge of the farmstead group.

By 1896 there are some additions to the earlier arrangement of buildings. As a pair of buildings have been added on the west side of the farmhouse. These, known as the dairy, represent the growth of cattle-based farming and the need for the farmer to have the milking operations close to the farmhouse.

The farmstead is arranged in the 'Regular courtyard' fashion, where it consists of linked ranges formally arranged around the yard, in a broadly defined U-Shape. A *courtyard plan farmstead* typically had buildings on three or four sides of the yard and their medium to large scale emphasised by the presence of one or more large threshing barns combined with stables, granaries and cart sheds and later shelter sheds for cattle.

In relation to the farmstead there is clearly a network of buildings set up for the accommodation and feeding of cattle. The larger barn at Fanshaws Farm may have been connected with threshing activity whilst the smaller building may have been a cart lodge or cow shed. The long building on the west side may have been cow or sheep houses, utilized for feeding and sleeping, whilst the barn on the east side is likely to have been a stable or granary.

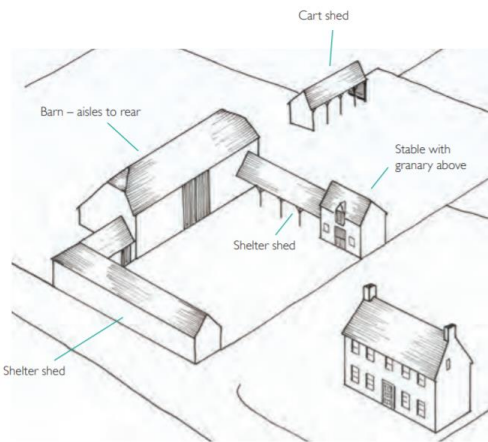
In the wider context it appears that the cows would be herded and processed through the gaps to the front of the building, and it is possible that the farmer would use the road for taking the animals to their respective fields for grazing.

By 1921 the shape of the farmyard building had changed a little; only the addition of a link building to the rear of the farmhouse with the dairy is noted. This undoubtedly refers to the owner creating more direct access to the milk supplies. Greater change was seen in the mid-20th century, presumably arising from the need to respond to CAP Reforms and the need to scale down operations in the face of subsidies.

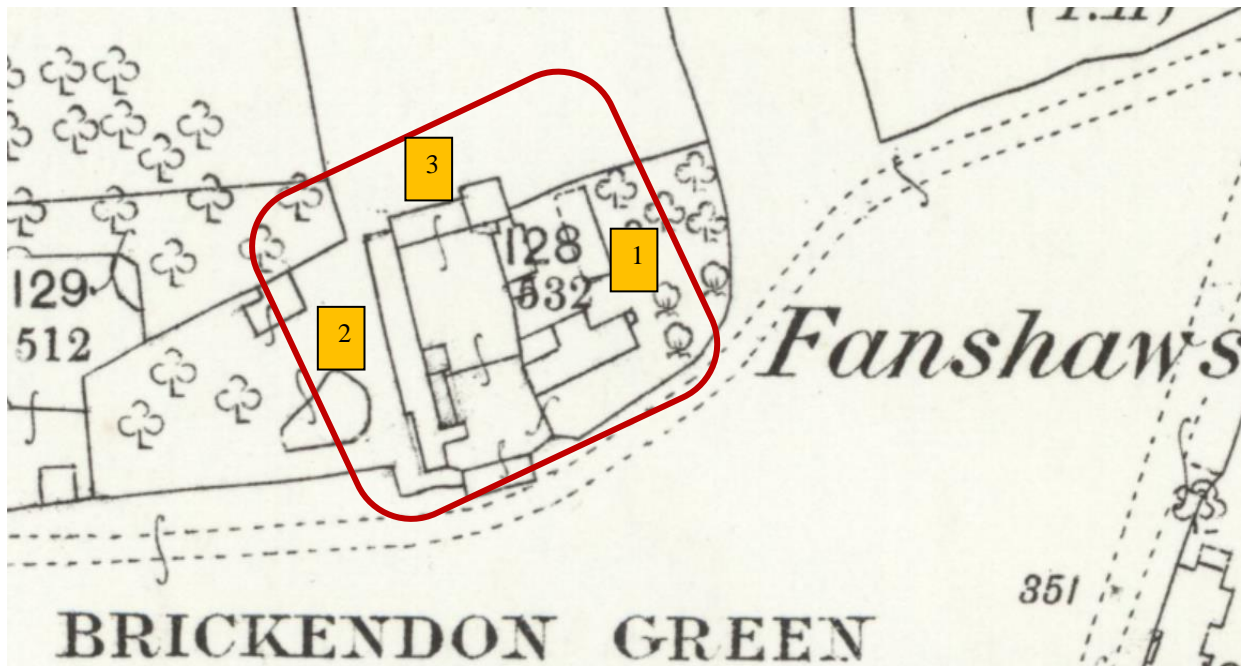
In the second half of the 20th century the extent of the farmstead was drastically reduced by the sale of the large sheds and barns on its west hand side. The result of the loss of agricultural activity mean that some barns were demolished. In the present day, the overall plan of the farmstead is less regular and more dispersed as the out buildings are no longer connected in the way they previously had been.

Example of a regular U-plan farmsteads

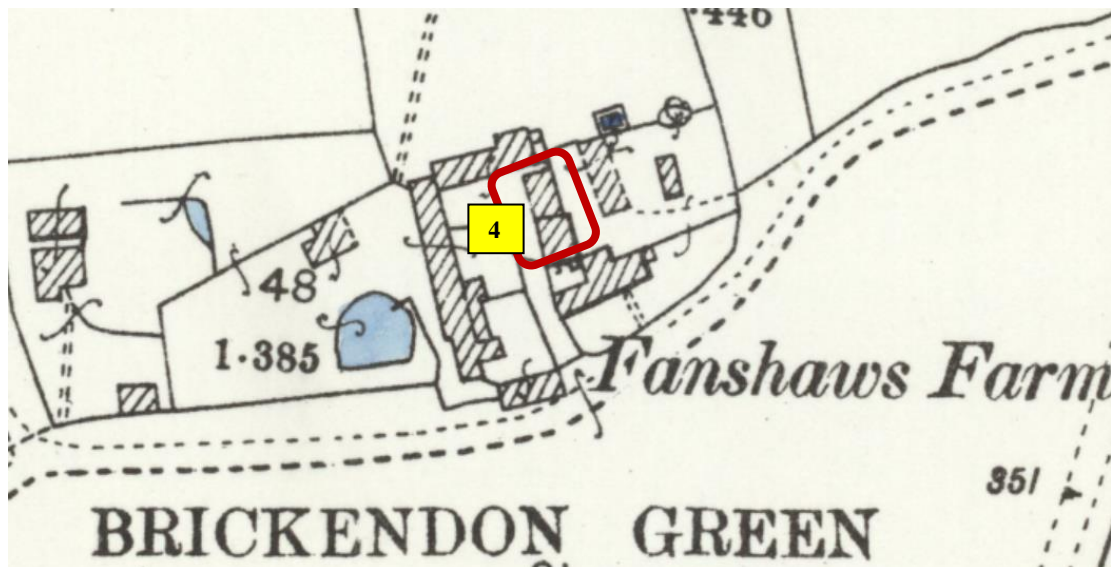
These are medium-scale farmsteads, sometimes larger, with linked buildings arranged around three sides of a yard which is open to one side. A common arrangement is to have the barn forming the central block with shelter sheds and stables in the adjoining ranges.



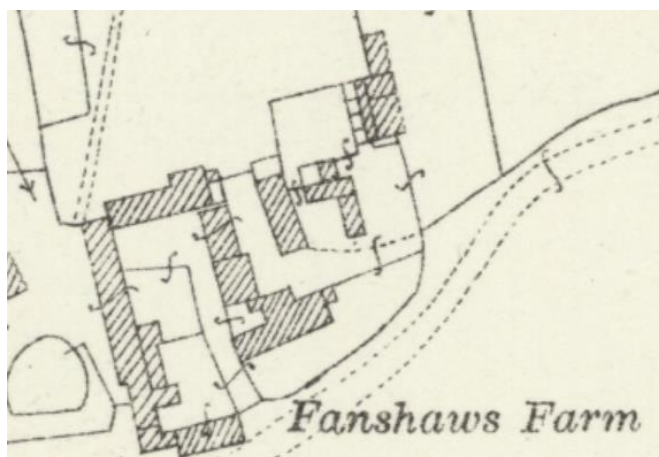
19th century u-shape farm



1878



1896, the addition of the dairy (4)



1921

Planning History

There have been recent planning applications for various external works such as courtyard hardscaping (3/23/0730/HH), side extension to a barn (3/22/2324/CLPO) and new entrance gates (3/13/0323/LB). The majority of works which have sought planning consent have concerned the barns and former outbuildings.

An important consent (3/05/1494/LB) was gained in 2005 for the relocation of the barn to adjoin adjacent barn with lightweight glazed link, followed by residential conversion. Consent was gained for the conversion of the (dairy) barn to form ancillary residential accommodation (3/02/2610/FP). The construction of the link corridor, installation of external heat pump condenser units and fence enclosure received consent in 2006 (3/06/1140/FP)

The existing buildings of the farm received consent in 2006 for the conversion, alteration & extension to form a single family dwelling (3/05/2425/FP). In 2011, an application for finishes was launched as part of the proposal for the link corridor constructed as part of the residential conversion in 2006.

The glass link, which connects two barns of the site, forms a visually distinct part of the Farm, next to the Farmhouse and converted Barn C, as viewed from the present entrance on the north east side of the Green. The use of Douglas Fir on the timber cladding was seen to create a good visual link to the small link which comprises the main entrance. It would also contrast with the white weatherboarding of the farmhouse and dark weatherboarding of the associated barns. This differentiation of materials would reflect well the hierarchy and functional distinction of the respective building as well as visually separating the old and the new. This in turn will enhance the character and significance of the heritage assets.

In 2011, there was also an application to re-position roof lights and flue on the dairy barn. For during the residential conversion this barn was fitted with roof lights in the slope facing the historic farmyard, thus going against the principle of retaining the intrinsic barn-like character. The new scheme would re-position the roof lights to the east slope, away from the public view, where they will be visible only within the private garden and will thus not affect the setting of the listed barns.

In 2010 (3/10/0939/LB) an application was made to change the layout of bedrooms 1 and 2 and re-site the bathroom. Bedroom 3 would be refurbished and a second bathroom added at first floor level. Here, the previous intention to replace the heavy timber stair and walkway with a new lightweight glass stair and walkway was first coined.

The intention to change the kitchen to open plan was enabled by the removal of the ceilings and stud walls between kitchen and study. The modern suspended ceiling in the kitchen was also removed allowing for the roof beams to be exposed.

Fanshaws Farm was converted to residential in 1995 and the majority of planning records show a series of consented changes to the various outbuildings in the period since.

2.3 Listed Building Designation

There are two listings (both in November 1966) for separate buildings of the complex. The first concerns the subject property and the second is the adjacent village hall.

1. Fanshaws Farmhouse (formerly listed as Fanshaws Farmhouse and outbuildings

Farmhouse. C16 or early C17. Timber frame on projecting plastered sill, roughcast with basketwork pargetting. Steep old red tile roofs. Dark weatherboard W gable to lower W part. 2-storeys, 2 windows wide, 2-cells plan house, set back a little from road, facing S, with 1½-storeys, 2 windows wide, W part.

This has flush-box sash windows with small panes, but these have been replaced by metal 3-lights casements in main house which also has a 4-panels, half-glazed central door, a very large red brick chimney near the W end of the ridge and an external E gable chimney.

Interior: cased beams in ceilings at ground floor rooms, (and cased wall post). C18 cupboard. Modern fireplace. Panelling in E room to one side. C19 early hob grate. Doors with old strap hinges. Extension has fireplace on splay. Fairly good quality but timbers covered.

2. Farm buildings and village hall at Fanshaws farm (formerly listed as Fanshaws Farmhouse and outbuildings)

Farm buildings, one now a village hall. C17 and C18. Timber frames on red brick sills, dark weatherboarded, and steep old red tile roofs, S stable hipped at W and half-hipped at E. S barn is Fanshaws Room, presented to village as village hall. Public entrance in S gable. N stable lower, facing S, with stable doors and small windows. S stable has loft, W part an extension, and may have housed a forge.

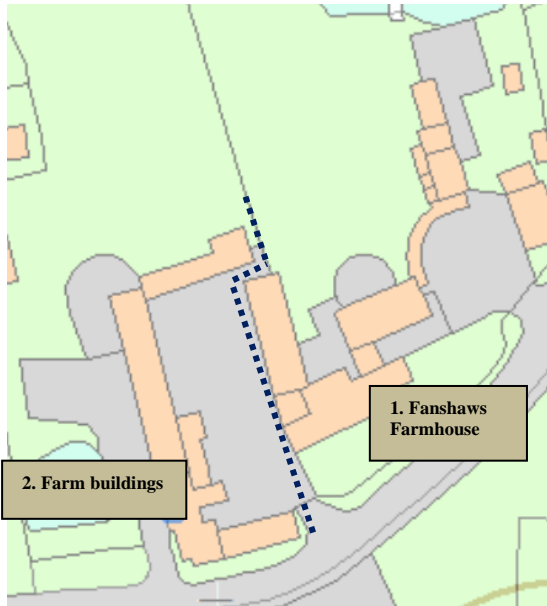


Figure 1: Site of listed buildings



Farm buildings and village hall at Fanshaws farm



Fanshaws Farmhouse

3.0 ARCHITECTURAL and HISTORIC SURVEY

3.1 Form & Significance of the building

Fanshaws is a former 16th century timber framed farmhouse, built around a yard with adjoining barns and outbuildings that purport to its earlier activity as a farm. The main road facing façade comprises three interconnected buildings of a modest scale and defined by the steep roof, large chimney and windows.

In earlier times the rear of the building was an integral part of the agricultural activity this building played in the local area. The original front entrance is located on the south side, as witnessed by the attractive gabled porch to the front of the main building.

The farmhouse and the farm buildings, which now form part of a single dwelling known as Fanshaws Farm, historically formed one farmstead with the group of listed agricultural buildings located to the west of the house. These buildings, originally comprising barns, stables and perhaps a forge, face east and south and across the yard towards the barn.

The farmhouse and its associated farmstead form a contiguous U-shaped group around the yard. This layout represents the former activity of the farm group and attributes much significance to the setting of Fanshaws Farm.

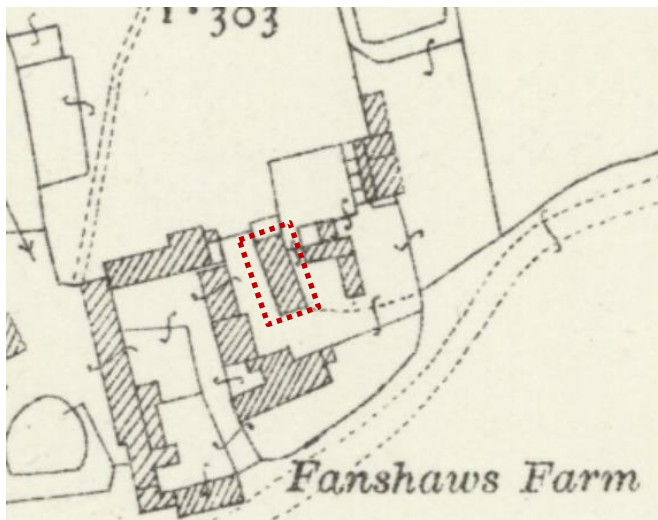
The farmhouse itself is significant for the reasons given in the listing, as the original early 17th century core of the farmhouse can still be witnessed in the 2-cell layout as well as the timber frames. The significance of the dairy is embodied by its association with the surrounding farm buildings, traditional construction and materials, historic fabric and simple, functional appearance on the exterior, internally retaining some impression of the structure open to the roof.

Fanshaws Farm is a building over two storeys that has seen many modifications. The majority of additions concern two phases in the building's history; firstly, the change of the orientation of the building at some point in the early 20th century when the main entrance to the building was moved from the south side to the east side. Secondly, the addition of re-sited barn (kitchen) on its north side.

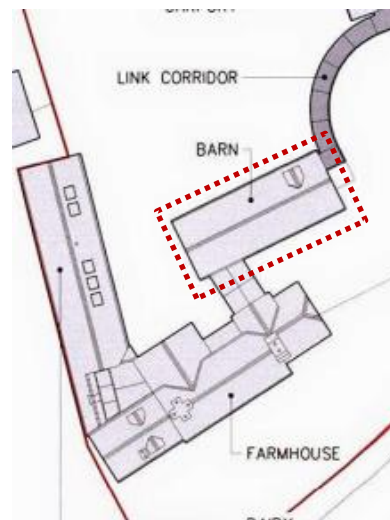
The former dairy was converted to accommodation early in the 20th century. The link from the main house was added at this time and now comprises the Games Room.

The biggest change took place on the north side of the main farmhouse, when, in the early 21st century (2002), the barn was resited. The barn that now appends the main house was formerly prominent in a north south direction and, in its layout, it reflected the position of the former barn known to be sited here in historic times. In more recent times, the barn was realigned through 90's to its current layout, laying adjacent to the main house. In the new build the timber were recycled and incorporated in the structure.

The new barn (Gym Barn) is attached to the main barn by the glass walkway.



1921, position of former barn, removed



2023, position of re-sited barn (kitchen)

The farmhouse is very much a standalone self-contained structure based on the confines of the brick walls. The living space is contained within a rectangular-shaped layout that has the main door to the side on the east side with direct access to the rear garden taken from the kitchen barn. This entrance is not the original access to the house and was later deployed as a matter of convenience for residents wanting convenient access from the car drive to the building. The entrance is contained within a purpose built porch likely to have been added in the last 25 years.

The existing plans relate to the general dimensions and proportions of the original building with the rooms following the existing line of the original walls from the ground-floor up. The arrangement of rooms on the first-floor also relates to the original building and it is positive that the single storey has been converted so that new space is made on the roof floor. The location of the fireplace in two locations gives a constant vertical line through the building and on the first floor this feature is used to determine the start and end of the master bedroom.

The building is sited with its east side relating to the access track and car parking area, whilst the south has an outlook to the gardens that enclose the site. The west side of the building refers to the former farmstead of which the farmhouse was central. Although it is now largely segregated through hedgerow, the external elevations still relate well to the present and historic function and there is still a basic parity with the building plan and estate boundary lines.

The property has been a family home for a considerable period of time and the long-term ownership is reflected in the mix of architectural character imposed on it. The farmhouse dates from the 16th century and forms part of the late 18th century/ early 19th century extension of agricultural activity through this part of Hertfordshire.

The accommodation is centred around the converted barn area which has been transformed into a double height vaulted room with kitchen and galleried dining room.



Main entrance to the side



Rear elevation, barn extension, old dairy to right

Layout and Plan

As Figure 1 shows, Fanshaws Farm was originally a 2-cell lobby-entrance plan, with an additional early 20th century dairy range added to its west side and a barn extension added on its northern side. It is single plan in the centre and the above additions (dairy and barn) make it a 2 deep building on its north and western sides respectively.

The earliest dated part of the house, currently the front rooms and inner hallway with 1 bedroom above, is believed to be of the early 1700's.

The building floor plan is formed of rooms on the south side of the hallway, with the later extension forming an additional space to the north side on the ground floor level. The upper floor shares the same principal layout, a format that provides accommodation in comparable room sizes accessed from the staircase.

The current floor plan is adopted from the original layout at the house. Formerly, access would have been from a front door sited in the front facing wall, giving entrance directly into the lounge. The original cottage would have comprised two cells located either side of a dividing wall. A fireplace was located in two places, first on the right hand side and then on the left hand side, giving heat to both external walls of the building.

The core building is single depth with an additional part at the rear which housed the staircase in the early period. This rear element ran in an east west direction across the back of the building and it helped form the connection between ground and first floors. This space forms a rear wing located in the centre of the original building, located to the side of the barn extension.

The space at the rear of the ground floor was later to be extended in a westerly direction towards the dairy and the hallway was opened up into a new room (Games Room) that formed the link between the original building and the later dairy.

In the front corner to the east end, there is one room contained within the later extension. The library (ground floor) and dressing room (first floor) are the same size and are located behind the fireplace/ stack.

There are 4 rooms each on the ground floor and first floor. The rooms on the west side of the stack are differing sizes, with the size of the master bedroom twice the size of the sitting room and reception hall below. Similarly, the ground floor Games Room in the western corner is twice the size of the sitting room and bedroom 5 above.

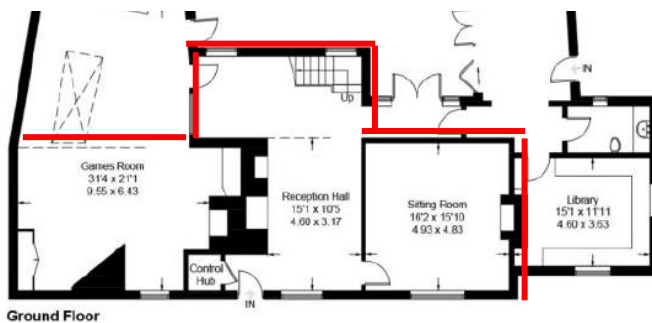


Figure 2: Phased development



Rear elevation: From left to right - Barn link, barn extension, staircase wing

In keeping with the main role of the first floor as providing sleeping accommodation there been minor subdivision of space in the building to create bedroom accommodation. In the western corner a stud partition has been raised to create the division for Bedroom 5 and sitting room. This space would previously have been a well sized lounge with a fireplace to provide heat and comfort. At the Master Bedroom which sits in the main space, the floor levels have been raised in places (for the bathroom) so as to create a definition of uses in the space.

A main door on the side leads to the transitional hallway space between the kitchen and the old house. The hallway is an inter-communicating room that leads into the kitchen to the north and provides access through to the corridor that extends along the rear width of the original building. The hallway first feeds into the library and WC, before extending along the side of the sitting room in a new section of building. The rear building line then steps back to a section that includes a staircase on the north side facing the garden and to the Reception Hall on the south side, comprising the oldest part of the house.

The surviving elements of timber frame comprise an extent of wall between the corridor/staircase and the Reception Hall. The staircase is a later construction, whose architectural quality has been undermined by the use of a glazed screen and some ordinary timberwork.

The timber frame mainly goes across the central width of the building, from the sitting room, reception hall and games room. This represents the extent of the former external wall of the old building. At the sitting room, the timbers posts are encased with mortar infill, whilst at the Reception the timbers are open, so it is possible to read the original structural frame. Later beams have been added to give more structural support. At the Games Room, there is also a section of frame that represents the former wall.

From the rear corridor access is gained to the rear section of the building that is currently defined by the converted dairy. Here, 2 modestly sized rooms have been constructed through the

creation of partition walls. The original core of the building retains its original oak beams and working fireplaces although 2 or 3 beams seem to have been replaced in recent times.

The retention of the former room sizes gives the current building well-formed spaces including the open staircase and entrance hall at ground level. The wall in the centre of the old house between the Reception Hall and Games Room was built thick to help carry the weight of the chimney stack. The chimney breast, therefore, retains its original positions, heating rooms of the building. The associated fireplaces on the first floor have been kept open and in use in whilst the ground floor fireplaces have been modified.

During the late 20th century when the kitchen barn was re-sited, it appears that it was simply attached to the external facing wall, leaving the footings set on a different level. Changes to the ground-floor took place through the remodelling of the space to the new entrance Hall into the Wc and Library. It has left a vaguely legible floor plan whose architectural interest is gained through the surviving room sizes within the old building.

The main Reception Hall and master bedroom are distinguished by good quality timber beams in the ceiling and posts on the floor. Decoration such as skirting is not unified through the building and there is no cornice detail. The insertion of mezzanine floors in two locations (kitchen, staircase) obscure some of the full height depth of the space concerned, but the engineering is not invasive.

3.2 Internal Assessment (to be read in conjunction with photographs V1-V23 in Appendix 1 and figures 3 & 4 below)

The building exhibits the typical “square-shaped” layout with the principal entrance way to the side, and the rooms spanning from the side of the hallway. One well-sized open plan room at the kitchen barn (1) represent the domestic uses of the building for eating, resting and play. The timber rafters and beams in the roof have been re-laid since the barn was rebuilt. The two cross beams look as if they are older than the rafters as the latter elements are cleanly cut, probably by machine.

The former rear elevation has then been partially compromised by the orientation of the kitchen barn across the width of it. From the hallway, it is possible to look across in a westerly direction towards the central wing that comprises the stairs (2). This demonstrates the relationship of the new with the old. In the hallway itself the beams which line the ceiling are later timbers (3) and show the age of the later entrance addition.

Currently, there is a sitting room (4), reception (5), library (6) and games room (7). They are all linked by a corridor that runs along the rear of the building in an east to west direction. The diary at the western end was converted to residential in the 1990's and forms a long wing that protrudes out into the rear. The protruding bay forms a secondary space that may well have been used as the Utility area or kitchen in historic times. A staircase which runs from here to the first-floor is a later addition (8).

The section of timber frame wall here is distinguished by several old posts, with a newer board lain above (9). The staircase is contained within the former rear wing of the building. The external wall of the older building survives on the inner part of this space abutting the Reception hall. It is probable that the space on its north side has been rebuilt.

The stair is composed of several manufactured wooden steps that take a shallow flight to the mezzanine level (10). The steps are self-supporting and enclosed by the glass screen on the nearside.



Timber frame corridor

On the first floor, the room division broadly reflects the same wall alignments as below, leaving one well-appointed master bedroom (11) in the older part of the house alongside the sitting room (12) and bedroom at the west end. The newer part of the house is well defined as being contained on the rear side of the chimney stack to the east. Above the library, a dressing room has been constructed in this space (13) and a curved section of wall (14) is an architectural anomaly within this space.

On the ground-floor, the original parts of the building from the 1600s are seen in the rooms that form the two cells of the early structure. One major ceiling beam (15, 16) spans the width of the Reception Hall before meeting the principle post of the internal frame that forms the stair corridor. This beam has been deliberately opened up to show the nature of the room's construction. It is known there are several other beams that are encased and so are hidden from view.

At the same time the brickwork is later and looks typically 1980's providence. The beam that acts as the lintel above the fireplace is also newer (17). There is also one ceiling beam in the sitting room and a beam is lain horizontally at the lower and upper end of the wall respectively (18). The brick on the fireplace too is of a later age and was probably rebuilt at the same time as the Reception Hall, in the 1980's. The timber on the lintel however looks to be older as evidenced in the irregular character of the wood and the nail holes present on the surface.

There is a later partition wall (19) to the Games Room and the former external wall which now separates the front from the rear Games Room (20), has exposed timber posts including two new posts interlaced with original timbers.

The games room has a lowered ceiling and the location of the former chimney on the front splay has been blocked out (21). The rear side of the double-sided fireplace is prominent in this space (22). The timber frame section has older elements of wood strengthened by a later angle beam. A modern sized door opening has been cut into the side (23).

The transition space from Games room to Dairy, step down (24) shows how the new room was built at a higher level to the Dairy.

On the first floor, the extent of the stack (25) that rises from the Reception Hall makes a central focal point from the mezzanine landing. Although rebuilt at the same time (1980's) the sitting room fireplace (26) is more modest than those below and the brick solders attempt to give it more architectural quality.

In the master bedroom, the timber has been brought together as a composition to provide an inner shell to the space (27, 28). Elements of the early structure have been constructed to make sections of wall and roof that befits a building of this age. It is not certain that the exact measurements and location of the former posts and beams are present, or indeed, to what degree they have been reconstructed with architectural accuracy.

The resulting space around the bedroom has been modelled to put in a bathtub on one side (29), whilst the space which flows into the dressing room is witnessed on the other side (30).



Figure 3: Ground floor plan



Figure 4; First floor plan

The property has experienced some “modernisation”, including the construction of a new entrance and the barn re-site. There have been changes to doors and floor surfaces, especially in the kitchen and games room. Other extensions and additions made to the building over time, reflect the changing needs of the families who have been resident over the last 200 years.

The property retains a number of original (early 1700’s) features, such as the timber beams in the central room and the fireplaces (although rebuilt). Floorboards have generally been upgraded with better quality specification boards, whilst flagstone are a sign of the heavy duty nature of the movement areas as seen in the hallway.

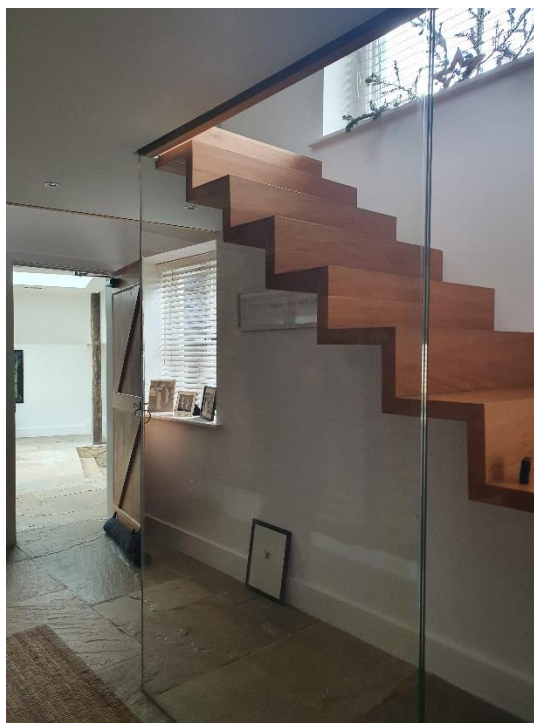
Although it is still functional the former entrance door opening to the south elevation has been filled in whilst the location of a former rear door opening that faced the north is not apparent in the current arrangement at the rear. The staircase is of its time from the 1990’s as seen in the simple yet bold design.

Much of the furnishings are free standing and only in places such as the library have shelves been affixed to the wall. In the kitchen, many fittings associated with the use of the space have been attached to the walls, most noticeably the cooking station and cupboards as well as the wood burning stove which runs down the side of the wall. Later changes have seen some modifications that are less in keeping with the character of the building, such as the lowering of the ceilings on the ground floor in the newer parts of the building on the west hand side.

Internally, arrangements have been constructed around the limitations of the former external wall of the Reception Hall and sitting room. This is now the connecting wall of the old to the later extension. Indeed, the older section of wall connects between the east end entrance hall and the west end, games room. Therefore, the appearance of an opening in the wall where the timbers are exposed on the ground-floor imbues the space with a historic quality.



Former external wall to Reception Hall



Staircase to rear

Changes have not been extensive to internal spaces on the ground and first-floors with little evidence of mouldings employed in connection with architraves, skirting, cornicing and doors. There is no one pattern and architraves to doors have been applied at different times, leading to an incoherent manner and appearance.

The central internal wall which runs in an east-west direction between the entrance hall and games room is of mixed masonry and semi-structural. It aligns at right angles with the internal wall that contains the main central fireplace of the old building in the Reception Hall.

Throughout its history, the first floor would have been used as accommodation, with well-sized windows providing signs to their status. The space at the front of the house would have had the highest status and would, in historic times, have acted as the main rest and entertainment area for the resident Farmer and his family. The fireplace feature is evidence of this status.

When the extension on the west side was added, the wall on which the fireplace is located was altered through the addition of a new room on its west side. On the ground floor, there was one new room whilst on the first floor two new rooms were created. This facilitated the creation of a new door opening on the north side of the fireplace. The angled fireplace on the splay on the ground floor was to become a fireplace in the second room above, located in the corner of the current bedroom.

There is one space where some compromises have been made in the space and standard of the bathroom accommodation. In the bathroom to the side of the master bedroom the floor level has been raised a little and the space is constrained by the minimal space between the front wall and the bedroom on the other side.

The mezzanine to the staircase is also a rather awkward space which appear to have no real function apart from simply being a podium through which movement is gained.

Although no original plans have been traced it is clear from the surviving primary fabric of the building that the principal spaces followed the usual layout of a farmhouse building, of a central hallway with two rooms to the side of the fireplace. Characteristic features of its residential function are shown through the areas formed to the sides of the chimney breast in two locations and the brick fireplaces fireplace in the main lounge.

The timber beams whilst largely concealed are of great historical character.

The rear corridor which drives in an east-west direction through the space between the east and west half of the building is an important feature in understanding how the residents have utilised the movement through the building. This linear channel along the width of the building is obvious on both floors, as the semi open walls between the two fireplaces expresses lateral movement.

The kitchen barn has large windows on the north side of the ground floor, whilst the covered walkway to the gym is an attractive piece of design. The staircase bay is characterized by rather tasteless decoration and the placement of the glass screen off centre is a rather detracting aspect of the space.

Features and Fittings

Often the most interesting architectural element to be found on a building's interior, the staircase has basic historic ornamentation in its detail, with balusters and Newell post the most obvious elements. Staircases may also form part of the original decorative scheme and will be unified from the ground to first floor, thus contributing to an understanding of the building.

Yet the significance of the former 'heavyweight' staircase has been lost through later changes. The details of the balusters have been modified in the refit (1980's) and the elements now have a rather chunky looking character rather than the finer aspect that the original would have had.

Other features of decorative intent to be found are the fireplaces. The fireplaces form part of a coherent design scheme, which gives them significance apparent in their current state. Each of the four fireplaces located on their respective positions on the ground and first floor, have a corresponding chimney stack. This means it is possible to read how the building was heated in historic times in different parts of the structure.

Windows

The windows are predominantly casement types, made of standardised panes of glass divided by thin, delicate wooden glazing bars. The pattern of windowing to the front broadly follows the Georgian residential typology as the first-floor windows are a little broader and more expansive than the ground +/-floor windows. This would have been the normal format for the rear of a building in historic times when greater status was given to the first-floor rooms.

Not all the windows are "original" and the great variety of their ordering and size illustrates that they are of a mixed unity. The assortment of window shapes and sizes is most evident on the front north facing elevation, where the kitchen bay is seen to be irregular, as there is a missing window on first floor. On the first bay by the road, as another window is noted in the roof, representing the rather random choice of location for the windows.

The Games Room is an interesting part of the rear range as it is not geometric and has been angled to fit in the irregular space between the Reception hall and the Dairy.

The Western building that attaches to the original farmhouse is seen on the *south elevation* as being of a different scale and appearance. The ridge and eaves are on a lower level, it has a dormer window in the roof and the ground floor weatherboarding is in contrast. There is one central chimney stack at the front and the position of this part of the building in relation to the dairy suggests that in earlier times the two may have been linked functionally.

Indeed, the building may have been occupied by the shepherd or animal hand who managed the daily supervision of the animals from this base. The building is aligned at right angles to the core building and it expresses a linear presence which evens up with the main axis of the farmhouse. The walls on the later addition are stepped back a little behind the older farmhouse, suggesting that care was taken in making the new on this elevation remained secondary to the older part.

Although likely to be added later in the Victorian period the west building establishes a counterpoint in the predominant rural character of the farmhouse. Its appearance suggests a strong association with the industry and activity of the farm.

The **north elevation** has 3 distinctive bays with the central bay comprising the kitchen barn, notable in relation to the bays on its sides. The gables roof on the staircase bay and the kitchen bay is prominent and forms contrasts with the direction of the main roof of the house and the roof of the kitchen barn. The lower roof on the western building creates a pleasant change in the rhythm across the roofline.

The **east elevation** is comprised of two movements with the road-side return comprising the end section of the farmhouse, the library. Its movement balances against the larger barn building which is parallel to its side. The two are connected by the entrance extension.



Farmhouse and West extension



West elevation: Former Dairy



Kitchen barn extension



East elevation: Library extension

Contribution of the elevations to the character of the farmhouse

All four elevations show where changes to the built structure have occurred. The south elevation is enriched by the succession of architecture as witnessed in the differing scale of the three different buildings that present to the road.

In a way this adds to the visual interest of the main building and it shows how different uses were accommodated across the various parts of the building. It is fitting that the north extension also is of different massing and character and compares with the irregular order of the east facing elevation. The diary elevation is indicative of the functional nature of the farmhouse and is a secondary elevation that equates to the hierarchy of the building.

The barn is in scale with the original farmhouse building, and its materiality blends in with the visual completeness of the main building. The dark weatherboard of the barn is in contrast with the white board seen at either end of the farmhouse. This differentiation helps to make the contrast of the later work when the barn was turned through a ninety-degree angle to be located in its current position.

The current west and eastern ends of the building were put up to refer to the agricultural aesthetic. They have architectural significance due to their being of a secondary character to the main house, whilst also drawing attention to its overriding quality.

Description of the setting: Contribution to the landscape

From a streetscape point of view, Fanshaws presents itself as being in an area of low to medium density, on a lane set close to Brickendon Green. There are buildings on its west and east sides and an attractive white picket fence separates it from the main road. In this respect the whole of building is visible from the street whilst the views from the east and western sides show the later extensions and outbuildings.

Due to being located on the cusp of the corner which comes in from the west, Fanshaws is not seen in long views and the first impression of the farmhouse is gained when looking directly from the front. The introduction to the building from the east is gentler and the sections of the gable end of the farmhouse and barn are seen from a mid-distance, From the south the setting is created by the farmhouse which fronts the road and the low sized wall that drives across it. The scale of the cottage over two storeys plus roof compares with the one storey buildings on its western and eastern side.

When standing to the south of the building the whole of the 'front' elevation can be seen. On the rear elevation, the barn extension folds into the garden giving a contribution of built form at this end of the house. The north elevation creates a sense of the ancillary or service nature of the building and in so doing, it contributes towards an appreciation of the older building and the way in which different farming operations were managed in historic times.

3.4 Assessment of Significance

A Statement of Heritage Significance is an objective analysis of significance, an opportunity to describe what matters and why, in terms of heritage significance.

The assessment of the building above in 3.1 provides a level of detail proportionate to the complexity of the application. This analysis has underpinned the design of the proposal and takes account of:

- a) the special architectural or historic importance of the building;
- b) the particular physical features of the building that justify its designation as a listed building

The significance of a heritage asset is the sum of its architectural, historic, artistic or archaeological interest. With any heritage assets which may be affected by direct physical change or by change in their setting, it is important to properly assess the nature, extent and importance of their significance. This report assesses the heritage significance of the site, in particular, the listed building itself and the contribution of its internal parts to its significance.

The Government's objectives for planning in the historic environment are to deliver sustainable development by ensuring that policies and decisions concerning the historic environment, including:

- *recognition that heritage assets are a non-renewable resource;*
- *taking account of the wider social, cultural, economic and environmental benefits of heritage conservation;*
- *recognising that intelligently managed change may sometimes be necessary if heritage assets are to be maintained for the long term.*

Assessments of significance are recognised as being critical when ascribing value to individual heritage assets, as well as to small groups of buildings to neighborhoods and places. The idea of 'significance' lies at the core of objectives given by English Heritage, 'Conservation Principles, Policies and Guidance' (2008).

The criteria used for assessing significance is based upon the Historic England guidance contained in the revised 'Statements of Heritage Significance'². This document highlights the importance for Understanding the significance of heritage assets, in advance of developing proposals for buildings and sites, enabling owners and applicants to receive effective, consistent and timely decisions.

Significance is categorised into three main headings:

Archaeological interest: the potential of a place to yield evidence about past human activity. There will be archaeological interest in a heritage asset if it holds, or potentially holds, evidence of past human activity worthy of expert investigation at some point.

Historic interest: the meaning of a place for the people who relate to it, or for whom it figures in their collective memory or experience. Heritage assets with historic interest not only provide a material record of our nation's history but can also provide meaning for communities derived from their collective experience of a place and can symbolise wider values such as faith and cultural identity.

Architectural or artistic interest: the ways in which people draw sensory and intellectual stimulation from a place. This may result from an interest in the design and general aesthetics of a place which can arise from conscious design or fortuitously from the way the heritage asset has evolved. This will often include an interest in the art or science of the design, including the construction, craftsmanship and decoration of buildings and structures of all types.

Recent Historic England Guidance on the Setting of Heritage Assets states that the setting of any heritage asset is likely to include a variety of views of, across, or including that asset, and views of the surroundings from or through the asset. It advises that the protection of the setting of heritage assets need not inhibit change and that change can enhance or reduce the significance and appreciation of an asset or leave it unchanged.

The setting is the surroundings in which an asset is experienced. All heritage assets have a setting, irrespective of the form in which they survive and whether they are designated or not. Elements of a setting may make a positive or negative contribution to the significance of an asset, may affect the ability to appreciate that significance or may be neutral.

In addition, context and setting play an important part in understanding the significance of the place, as often expressed by reference to visual considerations. In respects to setting and context, the application site forms a part of the setting which contributes to the significance of Brickendon Green.

There are interests in the design and general aesthetics of the building, arising from the way the heritage asset has evolved. What follows is an assessment of the significance of the heritage asset potentially affected by the proposals. More specifically:

² Historic England Advice Note 12, Published 21 October 2019

i. Archaeological interest: MEDIUM

In respects to the evidential value, the surviving timbers in the building are evidence that illustrates the role that early craftsmen and builder had in making this house.

As a building which has been added to at regular stages in the 20th century it has many layers. The consequence of having new walls added to the existing will have led to new junctures being formed.

In the current building there are likely to be timber posts concealed under the wall plaster and linings of the original early 17th century structure. Further examination will reveal the degree to which these elements form a continuation of the existing visible frame through the building.

ii. Surviving historic elements within the site; MEDIUM TO HIGH

The house has much historic value through its use both as a private property that once was an important farmhouse in the locality. It has historic links to the development of the settlement around Brickendon Green.

The cottage is a good example of the farmhouse type, based around a two-cell plan with the staircase at the rear and the former front door to the side. The present building has undergone much alteration, but the architectural structure of the original core remains much the same, albeit with the extensions added on its north, east and west elevations. The re-siting of the main barn on the north side is of some interest and adds to the historic narrative of this building.

Although its use as a farmhouse for which it was built is no longer current, it survives as a house. Its changed form and shape contribute to an understanding of the history of farmhouses in Hertfordshire and England. There is a strong historical association with the evolution of Brickendon.

The building principally derives its significance from being a 17th century farmhouse. It is representative of the 2-cell plan type, in its form and shape. The retention of the former main door to the building to the side of the south elevation indicates its historic relationship with the settlement, whilst the location of the former barn (now relocated) on the north side tells the story about the relationship of the house with the farming activity that took place in the barns beyond. Indeed, it is clear that cottage and barns were quintessentially linked.

From this it is possible to read the status of Fanshaws as forming part of a productive and active settlement. Indeed, it is possible to make the farmhouse out as one of a sum of parts which formed an interconnected sequence of buildings.

The north side of the house to the rear is of comparable interest to the front of the building, as it faces towards the garden and has a role in defining the building's relationship with this outside space. The front of the building's significance is slightly more controlled as it has a greater visibility in the public realm and defined the status of the building in relation to the village.

iii. Architectural or artistic interest: MEDIUM TO HIGH

The building has had more recent extensions and additions since its construction; the exterior is then seen as a series of layers that have been wrapped around the original core.

The front elevation of the building reads as one of subtle contrasts as illustrated through the slightly differing heights and the varied window sizes seen externally. The south side of Fanshaws expresses a different aesthetic in its current form compared with the north elevation.

The decorative render of the whitewash once advertised the building which, alongside a record of it being occupied by local families for a long time, makes it an invaluable piece of local history.

In terms of the contribution made by the building to the settlement, the front of the building is clearly of great historic interest in providing context to the historic and architectural evolution of the village. Whilst the rear is immediately disjointed from the front and plays a different part in creating the setting as it clearly relates to the agricultural preoccupation of the building and its site. The interior is an example of architectural design where decoration and craftsmanship reflect the often-varied interests of previous occupants.

External

The original core of the building provides the base for later additions and modifications. The two cells (now Hall and Lounge) were a part of the original building and were characterized by having fireplaces of respective sizes. Formerly an internal corridor went between these two rooms and allowed direct movement from the east to west of the space.

Extensions (dairy, early 20th) and rebuilds (Barn. 1995) were logically connected to the existing built form and allowed for a better use of interior space. At the rear, the farmhouse had an important relationship with the barns of the farm; the east side of the house provided a yard and the service area, until as late as the 2000's when this side of the house became the front.

Fanshaws has aesthetic value demonstrated through the retention of the original features, although the design of more recent additions has not been greatly sympathetic, as seen in the staircase at the rear, the cramped first floor bathroom and some modern floor surfaces. The garden also contributes to its aesthetic value as well as the semi-tranquility of the wider landscape surrounding the site.

Interior Architecture:

On the interior the timber beams and fireplaces are original to the age of the building. The fireplace accounts for the central axis of the building in an east west direction. The timber frame mainly goes across the central width of the building, from the sitting room, reception hall and games room. This represents the extent of the former external wall of the old building.

The remaining historic interior is an example of architectural design, decoration and craftsmanship for a building that once had use as a farmhouse. Changes made to the interior in more recent times have altered the layout by creating a new entrance porch to make a new access junction between the original core building and the re-sited barn. Whilst it is possible to read the original structural frame in the Reception, later beams have been added to give more structural support.

The building has some architectural merit in its own right and its external visual quality is given by the appearance of the windows and the old tile roof. Its internal quality as a 2-cell plan building has been altered by the alterations made to the layout.

With respect to its *communal value*, it is a building whose presence relates strongly to the development of the area from the 17th to the 20th century. Its location on the road and relationship to the group of farm buildings/ village hall gives it a higher sense of importance in the shared consciousness of residents and visitors to the area.

Summary of Significance

The building derives its significance from the front facing south elevation and from the north facing rear elevation. These two sides of the building demonstrate its former activity as a farmhouse when the southern elevation was the front of the building and the north elevation which faced into the farmstead was the operational and 'business end' of the building. These former roles account for the more formal appearance of the south elevation and the less regular character of the north elevation.

Its proportions relate to the size and scale of the tiled pitched roof in relation to the walls and the most recently adapted part on the east side.

The farmhouse form and shape has been altered and added to in layers, meaning the original 2 cell plan has evolved into a double plan format. Yet as it is possible to read the outline and substance of the original farm building its significance is retained.

The gabled ends seen on the east end of the cottage and barn display craftsmanship of quality and character whilst the large chimney stack mentioned in the listing gives the building some gravitas.

The building has basic symmetry on the roadside elevation and on the southern elevation whilst its built order on the east and west sides is represented through additional buildings of various sizes. Parts of the building that were added later are of interest and their link to the sequence of building is considered important in deciding the significance of the structure. In this respect, the dairy from the early 1900's is of some significance, the re-sited barn is of mid significance and the covered walkway is also of mid significance.

Fanshaws illustrates how a building on an open site both harmonises with its surroundings and has a strong presence. The former frontage on the south is expressed through the residential frontage at ground and first-floor which is enlivened by the wooden posts of the former front door. This elevation accords with the rural vernacular so often seen in the Hertfordshire countryside and as the former door is still visible it is possible to reconstruct how this elevation would have looked.

It is possible to read the south elevation as comprising a unified front range with a collection of windows grouped to the side of the door. The north elevation is rather more disjointed and its construction at different points in history is manifest.

In terms of the contribution made by the building to the landscape, the building is of historic interest in providing context and a part of the setting. It is also an example of a particular building

type that displays some innovation. The retained historic interior is an example of architectural design, decorations and craftsmanship for a building intended as a single farmhouse.

One of the most interesting architectural elements of the interior is the surviving remains of the fireplace. As this is a part of the original structural scheme and contributes to an understanding of the building, and thus is of considerable significance. This is coupled with the timber beams in the Reception which give an example of structural intent. Under the last ownership the decorative schemata been compromised.

Therefore, it is important to note the following features of architectural and historic importance that the proposed design is seeking to retain. Table 1 below presents the features to be altered and improved and Section 4 describes the proposals in relation to their effect on the historic and architectural importance of the listed building.

<p>Features to be retained</p> <ul style="list-style-type: none">• Basic farmhouse layout, including primary building structure;• The south and north elevation, including the Reception/ Lounge bay, staircase bay, new entrance bay and Barn;• Fireplaces;• Floorboards on ground floor, particularly the flagstones;• Timber beams in Reception/ lounge and section in Games Room; <p>Features to be altered</p> <ul style="list-style-type: none">• The removal of wood burner from inner wall of kitchen and its relocation to outer wall of the barn;• Angled abutment wall in first floor bathroom to be removed;• The moving of the bathroom from one room to another• The staircase; glass screen and handrails will be removed and replaced;• Partition wall and new door in Games room; <p>Features to be reintroduced</p> <ul style="list-style-type: none">• The removal of modern staircase will see its replacement with something more in keeping; <p>Features to be improved/ refurbished</p> <ul style="list-style-type: none">• Here we list what is to be repaired, restored or replaced; <p>Features to improve the setting</p> <ul style="list-style-type: none">• There are no external works to consider;
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Table 1: Features to retain, improve and reintroduce.

4.0 PROPOSED IN RELATION TO ARCHITECTURAL & HISTORIC CHARACTER

4.1 Design Approach and appraisal (To be read in conjunction with the Plans Drawings)

The character of historic buildings and their contribution to the context of a listed building can be severely diminished through insensitive alteration, extension or neighbouring development, or through neglect and dilapidation. The applicant has put forward a practical solution to effectively utilise the building, thereby allowing it to be viable in the long-term.

The current building has constraints on the space required for an extended family and since the applicant is a recent resident in the property, then their commitment to the locality should be an important factor in the wider planning objectives for development.

Works are proposed to improve the building in the form of changes to the first-floor bedroom accommodation and a new staircase with associated demolition of existing. There will also be relocation of the log burner in the rear kitchen.

The new staircase will be configured to restore the former historic quality of this feature, therefore allowing for the retained external wall of the original to be seen behind. The reformed ensuite upstairs will be more sympathetic to the adjacent layout of spaces.

The proposed changes will result in a satisfactory formation of interlinked units allowing for greater ease of circulation and improved use within the context of the old building.

Various elements of the internal space will be reordered, including a replacement staircase (LG), relocation of the log burner and an amended bathroom layout on 1st floor. An interesting architectural element of the building's interior is the surviving section of timber frame and the fireplace. As they are a part of the original structural scheme and contribute to an understanding of the building they are of great significance and will be retained.

Specifics

- **Replacement staircase to first floor, Ground to first floor**

The existing staircase is very basic piece of architecture, put up as a temporary feature and with little or no design for safe and frequent use. It is formed of plain materials and comprises treads, balusters and a handrail. It is to be located in the same position as the existing and thereby referring to the likely location of this feature in earlier times. The volume in which the new staircase rises is also the same as the existing, but it's the very calibre and nature of the elements within which it is formed that expresses a far greater improvement.

It is proposed to replace it with a staircase that has a more traditional character that reflects the character of the adjacent old section of wall. It would be made of proper wood (i.e., mahogany) and have metal spindles spanning its length. These may be turned slightly to give it historic character and there is a Newell post carved as a curved focal point. The treads are wooden and the handrail also metal, giving an excellent quality to the overall effect and finish.

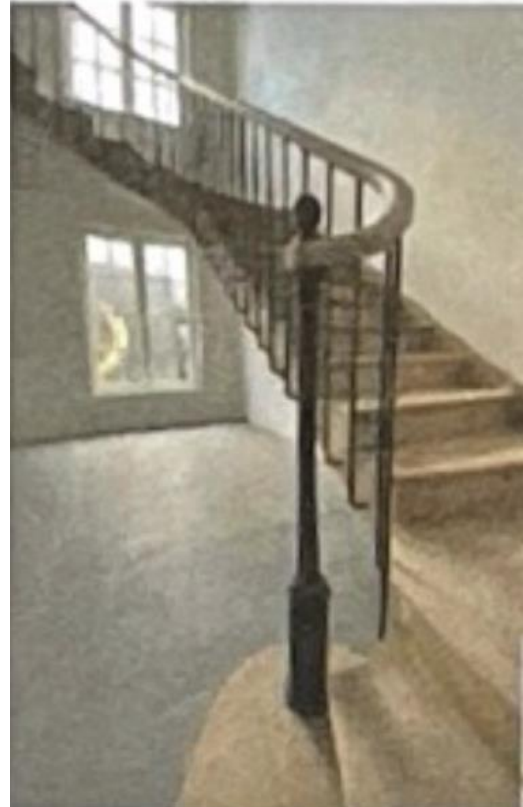
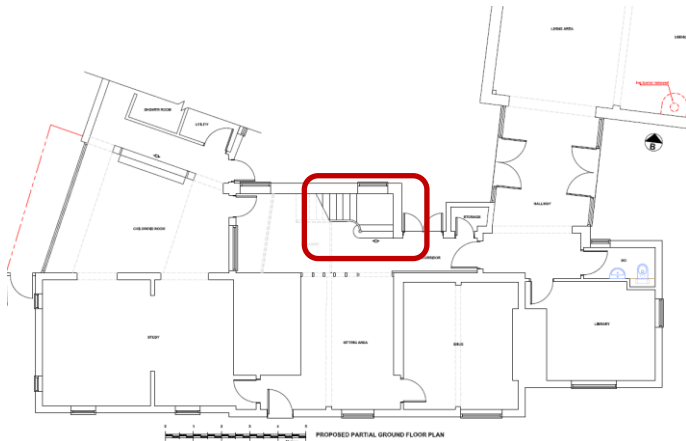


Figure 6: Ground floor, showing new staircase

- **Creation of a door between hall and games room**

The proposal will see the formation of a new set of double doors in the current open space between the two rooms in the rear range of the house. The new door will be introduced to an area which was added later and does not comprise an original element.

It is important to acknowledged that the frame of the door will abut the original timber framed section of wall that encloses the front lounge. Therefore, the frame will be set flush so it stands up to the old section of wall and is self-supporting. There will not be any making of holes in the old timber ti support the frame.

The proposal will create a modified layout that does not intrude on the important front range. It is noted how the rear range has already been modified in plan form, through the addition of the link to the dairy, as well as the later introduction of the entrance block on the east side. The door itself will be a heritage style door that reflects the historic architraves and wooden fabric used at Fanshaws.

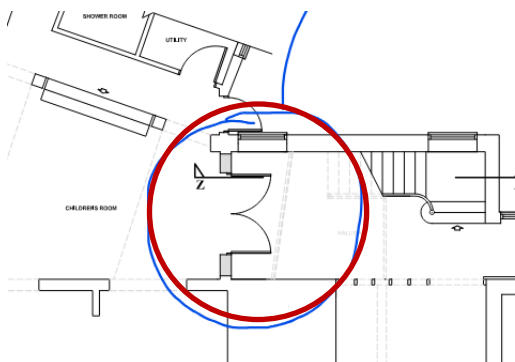


Figure 7: Location of new door

- **Insertion of internal walls on 1st floor to create a modified layout**

At the end of the master bedroom there will be a degree of refurbishing required to this existing space within the building to create new living accommodation. It is limited to select features in the area between the bedroom, corridor and dressing room. A key principle of the proposal is that there will be minimal change to internal structural elements, with the only alteration brought about by the loss of an internal dividing wall to the side of the bedroom.

The removal of this wall will allow for the corridor to be reformed into an open space which will continue to work its way around the retained chimney breast. It is also intended to rationalise the furniture connected with the bed, thereby creating more space to the side of the chimney

In light of the loss of the corridor feature the intention is to create some form of division between the new ensuite and the bedroom. In this respect a new door will be inserted to the side of the chimney breast, retaining the step down that also amplifies the change in the use of the space.

It is planned to reconfigure the small space in the existing en-suite, by introducing a new partition wall within to help create a self-contained dressing room. In this way, the new space formed for the WC opens into the new ensuite. The creation of a new stud wall is achieved without harming any internal fabric. The wall does not abut the line of the fireplace and causes no impact on this feature. The new opening formed to the WC will allow for a continued appreciation of the original dimensions of this space. It does not therefore cause any harm to the layout.

The existing windows are retained and the space given a light configuration to give useable movement space. It is proposed to retain an existing large space of the bedroom and create a new connecting interface, in the form of a door, to the newly created ensuite to the side. The chimney breast is pivotal to the proposed works and all changes to the ensuite and bedroom pivot around the retention of this feature. So, there will be no loss of fabric and the way in which the earlier plan form worked is retained in the new layout.

Whilst making these changes it is important that the basic alignment of the space as formed through the internal walls is retained, so that the integrity of the structure is retained. In making these changes, the linear aspect of the bedroom, connecting into the corridor and the staircase landing will be retained and the rectangular aspect of the two main rooms at the right and left of the house is still obvious.

The chimney breast is a structural wall and as primary fabric its treatment will be addressed with great care and sensitivity.

As the first floor is of great importance due to its former and current use for bedroom accommodation, there should be more scope for a new configuration that brings the space up to the standards of modern living.

The height of the ceilings will not be changed and only the setting away of the floor surface from the chimney breast indicate a change to this aspect. It is credible that the integrity of the chimney breast is retained as part of the scheme to help create a new space as befits the standards of 21st century accommodation. The main bedroom space continues to be unified in the new configuration that is located within the primary walls of the historic structure.

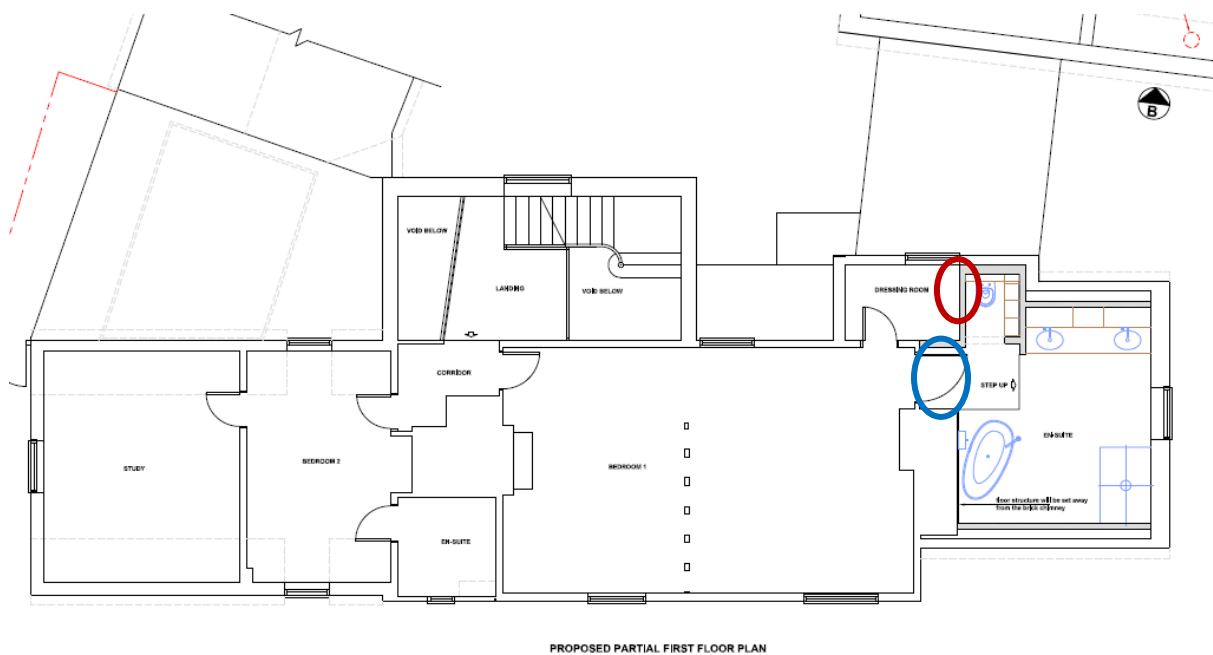


Figure 8: 1st Floor : Changes to plan layout



Location of door to be inserted
Location of wall to be inserted

- **Relocation of gas stove in kitchen, Ground floor**

The proposed improvements to the kitchen equipment have an impact on the heritage of the building. As the reformed timber structure of this space makes a contribution to the evolution of the building. So, it is fitting that any changes do not result in the loss of walls and that the structural integrity of the building will be retained.

The basis for the design approach is to seek to improve the movement through the ground floor and to rationalise the location of the log burner so it is more conducive to its position at the rear of the house.

It is positive that this action can ensure the former quality of the rear room in the barn on the ground floor is retained. The main internal walls of the ground floor will remain the same, ensuring the cellular/ open plan nature of this space continues to be appreciated. The hallway will continue to feed into the kitchen and the connection of the front and rear rooms will still be through this space.

The log burner is a key part of the kitchen and will be a central focus of this space. The refurbishments required for the new kitchen will see the feature relocated so it does not detract from the architectural character of the barn, thereby expressing the importance of detailing in the modern space, in keeping with its historic design.

The main changes to be noted is the relocation of the log burner on the outer wall facing the garden. The new joinery required to attach the feature to the wall is of a high-quality traditional element, made of wood.

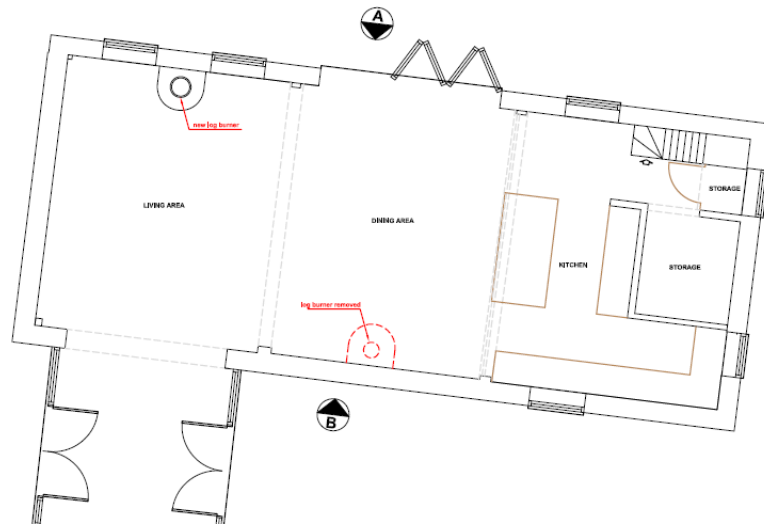


Figure 9: Location of log burner in barn

4.2 Impact on architectural and historic character

- **General design**

The listed building is important and contributes to the quality of the built environment in Brickendon and on this part of the Road. Through an understanding of the building and its context, it is possible to evaluate the heritage impacts accruing from the proposals.

Generally, the use for which the house was designed has been continuous. Minor changes to the interior involved the creation of two small internal walls on the 1st floor and the reinstatement of a staircase that pertains to the architectural quality of the core house.

The previous updates made to the internal space have had a neutral effect on its architectural integrity and the removal of the internal stairs recognises the potential for creating an improvement that has a positive impact on the character of the building. The introduction of a new door between hall and games room is also a fine element of design that relates to the former subdivision of space in the house.

The desire for improvements to internal space provides a viable economic opportunity to improve the building and keep it in active use. The proposal creates a better use of the building that is compatible with the current fabric, exterior and interior.

With respects to the proposals for the house it is important to ensure that the architectural detailing of the building to which the development relates is not eroded or that the quality of the setting is compromised.

It is noted that the house has undergone a small number of alterations on the inside. This ranges from boxed-in service runs, partition walls on ground floor and the staircase. So, it should be welcomed that the proposed retains the fireplaces, the existing internal plan form and the staircase volume.

The transfer of the log burner from the inner to the outer wall of the barn will also give greater coherence.

The relocation of the ensuite from a small space to the side to the existing larger space of the dressing room represents an important change in the space. Although this will require new fittings and furnishings the actual surrounding walls will be unchanged. Elsewhere, the existing internal layout itself will not be greatly changed and it is only the minor reconfiguration (1st floor) that facilitates a change in floor plan. Importantly this change does not affect the cellular nature of the first-floor layout.

The new staircase will be of a linear aspect and blend seamlessly into the walls of the house. The door to the games reinstates the linear aspect of the former floor plan. The position of the log burner is flush with the external wall of the kitchen barn and is the same height of the existing building, meaning it is sympathetic in scale, mass and materials.

4.2.1 Impact on the Listed building

The front elevation is the chief reason for the listing of the building and the design carefully ensures that works will not touch or impinge on this central feature. The listing also mentions the steep old red tile roofs and 2-cells plan house which amplify the age of the building. The ceiling encased beams, modern and older (splay) fireplaces and panelling in one side are exceptional examples of the interior

So, the proposal to keep within the existing dimensions and materials is typical of the house and causes no impact to the reading of the buildings vertical and horizontal characteristics.

The log burner in the kitchen is relative to the size and scale of the main barn wall. The detail of this elements will act to bring a higher quality to the rear of the building group and will act to compliment the front elevation.

The proposal is not expected to have any material effect on the character or appearance of the host building. In addition, the proposals to maintain the existing spaces within the house, with the internal timber frame and chimney breast being retained will preserve the historic and architectural integrity of the composition.

Although some minor remodelling is proposed, the changes to the layout of the building are minimal and confined to later editions which act as the interface between the old and newer parts of the building. It is worth noting that the interesting architectural elements of the building's interior such as fireplaces and timber beams will all be retained.

The future treatment must be handled with sensitivity and it is positive that the proposed retains all of the existing primary walls of the extension and does not impinge on its vertical relationship with the first floor.

In this respect it is important that all of the original front wall is retained in the scheme as it acknowledges an earlier part of the building forming a transition between the original building and the later extension.

The scheme will respect the overall intactness of the structural elements, including principle primary walls and chimney stacks. The double depth layout is retained and no changes are made to the roof.

Cumulative effect on the historic core of the house

Currently the historic core of the house is witnessed as the surviving parts of the timber framed structure with fireplaces and staircase denoting key features. On the central part of the internal floor plan on the ground floor, the staircase has been awkwardly renewed in the recent past. Yet this does not prevent the observer from viewing the historic core of the original house as a whole. The prevailing sense of the cellular rooms in the front range with a staircase to the rear side is apparent.

The brick-built wing is comparatively modest in relation to the historic core of the house. It is of a lesser scale and although it is formed of a smaller mass the linear nature of the whole is highly characteristic of the farmyard vernacular as expressed through the former dairy usage. Currently, the rear building line of the cottage connects to this former outbuilding. With regards the impact of the new staircase it is feasible and realistic to restore a greater architectural quality to this part of the building in a way that it amplifies the quality of the core house, as well as giving greater meaning of its relationship to the former dairy. This sense of interconnectedness is also given by the spaces formed either side of the new door in the hall and games room.

The proposed does not add any new massing or scale that deflects from the existing built staircase. By being aligned within the line of the rear facing external wall, the staircase will not create any form that stands out as being of a different scale and mass. Only the design of the elements of the staircase will mark it out as being of a far better quality.

Heritage Impact Summary

Modifications to the position of the log burner at the rear would not cause any loss of heritage value. It will not compromise the current understanding of the house's history or be in conflict with the fabric and layout.

The design process for the kitchen proposal is to carry out removal of the existing log burner and its repositioning on a wall that has a much better relationship to the scale, materiality and detail of the older barn building.

Given that the significance of Fanshaw Farm is brought about by the outline of the original plan form and the front elevation, the new design is not considered materially to damage the historic or architectural interest. Indeed, by retaining all primary and secondary built elements, the scheme carefully continues the historic narrative to this building.

The existing staircase is of a neutral appearance and contributes little towards understanding the significance of the listed building it is in. Therefore, the addition of a well-designed replacement can make a greater contribution towards significance and enhance the main part of the house.

The reconfiguration of walls in two locations on the inside around the chimney breast of the dressing room to facilitate a subdivision for new uses can be done in the knowledge that the building is one that has a history of alterations and that the layout has already been subject to some change.

Design Achievements

The new location of the log burner is a positive change to the building, as it provides a focal point at the back of the house in the barn, creating a visually interesting reference to the host building and its gardens. Visually, the change being proposed will tie in a greater harmony through the infill entrance extension creating stronger presence and balance.

Also, the manner in which the new staircase is formed on the rear wall will create a greater sense of the rear range having a new redesigned section with a focus on the stairs. This addresses the imbalance of the present day where the stairs are an easily overlooked feature that detract from the presence of the timber frame it faces. The presence of a new door to the side of the hall also fosters a sense of the new being introduced next to the old wall in a way that highlights the quality of one in respects to the other.

On the Ground Floor, there will be metal balusters and handrail covering the width of the wooden treads. The treads would be constructed with a timber which introduce a quality nuance to the fine traditional staircase feature.

The formation of the balusters take their inspiration from the slim dimensions seen on the timber posts and beams in the front room. They have a brevity and distinction which relates in many ways to the quality of the earlier craftsmen who built the cottage. It works to dismantle the rather neutral character of the staircase and in its place the fine detailing will become a fine feature of the new feature.

It adds a detail which works well with the old and helps give clarity to the coherence of the design.

4.3 Heritage Assessments

Fanshaws is a grade II listed building whose significance rests in its architectural value, as an example of an early 17th century farmhouse with later alterations. The house contains examples of craftsmanship and is also of historical value as it illustrates the way in which this building type in general developed.

Indeed, its change of use from one house to having additional buildings illustrates the cycle of change which the building has been able to respond to.

Alterations to the house need to be pay reference to controls enforced on Listed Buildings and need to be considered against Local Plan Policy's and conservation guidance which is set out in the NPPF.

There is a statutory requirement that the local planning authority
"shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses"³.

The NPPF advises of the desirability of any development for,
"sustaining and enhancing the significance of heritage assets and putting them to viable uses "consistent with conservation"⁴."

³ Planning (Listed Buildings and Conservation Areas) Act 1990, 66.1

⁴ NPPF 190

The elevation and building materials are the main reason for the listing. Although not mentioned, the internal plan form are also the key to the significance of a building and the scheme discussed above will make little change to this. It is contended that the benefit gained by the addition of a new staircase and a slightly reconfigured bedroom/ ensuite space will provide a scheme that far outweighs the loss of aesthetic significance. Its impacts on the listed house itself are positive in that it restores some historic quality to the rear range, whilst giving more commodious accommodation within the confines of a historic building.

Local Plan Policy states that the Council will permit proposals to extend or alter a listed building where it would not result in the damage or loss of features of special architectural or historic interest; and the character and appearance or setting of the building would be preserved or enhanced.

Local Plan assessments

East Herts has a rich and diverse historic environment and its historic buildings, areas and townscapes contribute to the special character of the District, helping to create a sense of place. In an effort to retain the attractive historic character of parts of the landscape many archaeological remains are also protected.

Development that would adversely affect the historic or architectural integrity and appearance of these features is generally resisted. New development should have a high standard of design and also be efficient and where possible accessible to all.

Local Plan Policy (HA7) states that the Council will permit proposals to alter a listed building where it would not result in the damage or loss of features of special architectural or historic interest and the character and appearance or setting of the building would be preserved or enhanced.

In relation to Policy HA7, the scheme pays particular regard to the sensitivity of the building to change. The design ensures that the proposed is appropriate in terms of design in the context of the existing built form. The scheme preserves historic fabric and retains all elements of the older floor plan. Finally. The scheme sees to the conservation and enhancement of the older building, providing an enhancement to the heritage asset.

The location of the log burner on the rear barn has been designed so that it forms a good focal point. The new staircase is designed so it accords with the known historic character of such a feature on important old buildings.

In relation to Policy HA1 (Designated Heritage Assets Development), the proposals have been designed so they preserve the character, appearance and special interest of the Grade II Listed building. This in turn means the scheme enhances the historic environment of East Herts and complies with Policy's HAI and HA7 of the District Plan.

4.4 NPPF assessments

The NPPF constitutes the government's current national guidance and policy regarding development within the historic environment.

The purpose of the planning system is to contribute to the achievement of sustainable development. The policies in paragraphs 195 to 214 of NPPF, taken as a whole, constitute the Government's view of what conserving and enhancing the historic environment means in practice for the planning system.

The NPPF places much emphasis on heritage "significance", defined as:

*"The value of a heritage asset to this and future generations because of its heritage interest. That interest may be archaeological, architectural, artistic or historic. Significance derives not only from a heritage asset's physical presence, but also from its setting."*⁵

In respects to NPPF the following criteria for assessment are important in establishing the credibility of the proposal:

- Impact on significance (205, 206 and 207)
- Suitable design (135 and 162)
- Conservation of heritage assets (201, 196, 205 and 206)

IN RELATION TO PARAGRAPH 205, 206 and 207: the significance of the heritage assets affected and the contribution of their setting to that significance

Fanshaws Farm represents one type of heritage asset: the listed building. The section on Historic Summary (2.1) and list description (2.3) gives information to help understand the significance of this heritage asset.

Fanshaws Farm is a grade II listed building whose significance rests as a well-preserved example of a building with a fireplace in the core part of the building. Its retention has been warranted through the addition of newer elements in later times, such as the entrance extension and the rebuilt barn.

IN RELATION TO PARAGRAPHS 135 and 162: the consideration of design should include scale, height, massing, alignment, materials and use.

The retention of the ground and first floor timbers and the roof structure is a key factor in the proposals for the minor remodelling of spaces. The removal of a small section of partition wall to the games room will not compromise these features. The proposals to create a new staircase follow the same footprint of the existing staircase.

Floor levels are unified and materials are used that will relate to the historic building. A proposal of this quality will make a positive contribution to the character and local distinctiveness of the historic environment.

The dimensions of the new sections of wall being introduced to form the ensuite and WC relate well to the existing core building. The type of door being used for the new openings are a match to the earlier doors used on this building.

⁵ Annex 2, Glossary, p.74

IN RELATION TO PARAGRAPHS 201, 196, 205 and 206: Weight given to the significance of a designated heritage asset and its conservation

Significance can be harmed or lost through alteration of the heritage asset or development within its setting. As the building is a designated heritage asset the impact of the proposals on the building and the setting of the listed building needs to be carefully evaluated.

As has been stated, the building's historical significance (as part of Brickendon) is conclusive. Internal spaces have been modified and re-formed within the confines of the original building; the significant structural elements are recognised in their current form, although they have been modified by later elements added to the rear range, as well as by the rebuilt of the dairy and the creation of the linking entrance block.

The proposed development of a replacement staircase will bring significant improvements and benefits to users. The conservation benefit of the proposal effectively sees imagination in the design process and how the new relates to historic features in the interior and to the surrounding context on the exterior. This aims to minimise conflict and bring greater clarity to a listed building that forms an important context in the historic settlement of Brickendon.

NPPF Summary

The NPPF requires any harm to the designated heritage asset to be clearly and convincingly justified. Local Plan policies referred to above state that proposals to alter a listed building will only be permitted where it would not result in the damage or loss of features of special architectural or historic interest and where the character and appearance or setting of the building would be preserved or enhanced.

The proposed offers a solution to using the internal footprint of the house as a guide to the formation of the new. This then offers a meaningful interpretation of the spaces that give this building its character. The scheme continues to work with the space, allowing access from the front of the building to the rear and creating improved circulation space from the ground to first floor through the new staircase.

In respects to the weight given to the heritage significance, the work proposed has fundamentally recognised the integrity and value of any remaining historic fabric. The preservation of such features is a key part of the set of proposals.

Qualities which give the building historic and architectural credence, such as the staircase and fireplace are to be retained whilst external appearance is being reconstituted through the improvement of elements such as the log burner to the rear. Such measures will allow the historic integrity of the existing building to be incorporated into the proposals for the new building as part of the conservation process.

4.5 Heritage Benefits of the proposed design

The development actively seeks to preserve those elements of the setting that make a positive contribution to the asset, such as the frontage and roof of Fanshaws.

At the rear, the new position of the log burner stands as a contemporary means of interpreting the older structure; its qualities will, when seen, help amplify the timbers and windows of the listed structure. In this way, the proposal creates an opportunity that is of public benefit.

Elements of the interior such as the fireplaces and timber beams and post will be conserved, thus reinstating a significant part of the buildings architectural character. The fundamental character of the double pile floor plan will be conserved with improvements to the rear range with the staircase designed so as to refer back to a period quality.

A number of potential heritage benefits that weigh in favour of this scheme, including:

- It enhances the significance of a heritage asset and contribution of its setting.
- It makes a positive contribution to sustainable craftsmanship.
- The scale and detailing is carefully arranged, so as to respect the layout, plan and arrangements of the historic building.
- The existing cellular layout of the house and the building is well adapted to accommodate the discrete addition of stud walls in two places.
- The changes are an appropriate design that relates to its context and makes a positive contribution to the character, quality and distinctiveness of the historic environment. Its layout is well adapted to improved residential use;
- Heritage value will be restored through adjustments to the log burner and staircase, ensuring these elements are unified with the core building;
- It does not detract from other evidential, historic, aesthetic or communal values

In respects to the District Plan the scheme relates well to the distinctive local character of the area and its adjacent buildings and is designed to create a safe, inclusive and attractive environment that will enhance Reast Herts's rich and diverse heritage.

The analysis has shown that the new design is appropriate and compatible in terms of size, scale and materiality. In respects of National Policy, the degree of the harm caused to the historic environment is zero and is not compromised when balanced against the wider design, public realm and community benefits.

This statement concludes that the proposed would be an appropriate solution to this Listed building, particularly as a result of its design, which is based on a respect for traditional architecture, and its use of materials, which sit well within the locality. The design causes no harm to the character of the listed building and does not impinge on its setting.

5.0 CONCLUSIONS

Local Plan policies referred to above state that proposals to alter a listed building will only be permitted where it would not result in the damage or loss of features of special architectural or historic interest and where the character and appearance or setting of the building would be preserved or enhanced. As a listed building, Fanshaws is subject to an assessment of how the changes would impact on its architectural significance.

The harm to the listed building as a result of internal changes would be non-existent because they are designed according to the size and scale of the existing rear range, kitchen barn and first floor. The proposal enhances the current visual amenity and aesthetics of the building. It does not promote development on the vertical plane but rather aims to utilize the overriding modest width given within the cells of the core building.

The approach to the works is to retain all of the historic fabric of the building and as such, the character of the listed building would not be harmed.

In the history of this building, changes have clearly been made to the floor plan and internal decorations to make it habitable; Recent uses have seen changes to the side and rear and the installation of new windows. The changes proposed now relate to a commitment to improve the quality of housing available in the space.

It has been shown that the current plan form is mainly original with later additions to the side and rear. So, the proposal to establish an improved space in the rear range is a positive decision. The proposals will retain the linear plan form, demonstrating an improvement in the quality of the accommodation.

There would not be any harm to historic fabric or the historic plan form of the building, as the former is being retained and the latter will continue to be legible within the new enhanced layout. The architectural interest of the listed building is preserved by virtue of the high-quality sensitive design envisaged in this proposal. Consequently, there is no harm to the significance of the listed building.

The creation of a thoughtfully articulated staircase which presents itself as a continuation to the existing core building will act to draw attention to the quality of the 17th century part of the listed building.

In weighing up the planning benefits, as the new work itself preserves the historic interest and significance of the listed building then public benefits do not need to be addressed. With respects to Local Plan, the proposal preserves the integrity, plan form, the original hierarchy of historic floor levels and structure of the building including the arrangement of rooms, ceilings and corridors. The changes being made to layout can be incorporated within the altered building and if anything, bring a greater rationale to the appearance of the house.

The proposed design and layout have been prepared having considered the defining character of the listed building and the constraints and opportunities imposed by its retained structure and unique features.

The proposal respects the character of the building and its hierarchy whilst improving the space as a residential dwelling. In this way it meets the key objectives of the NPPF, in ensuring the design approach causes no harm to the character of the listed building.

APPENDIX 1: SURVEY, In relation to section 3.2 above



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