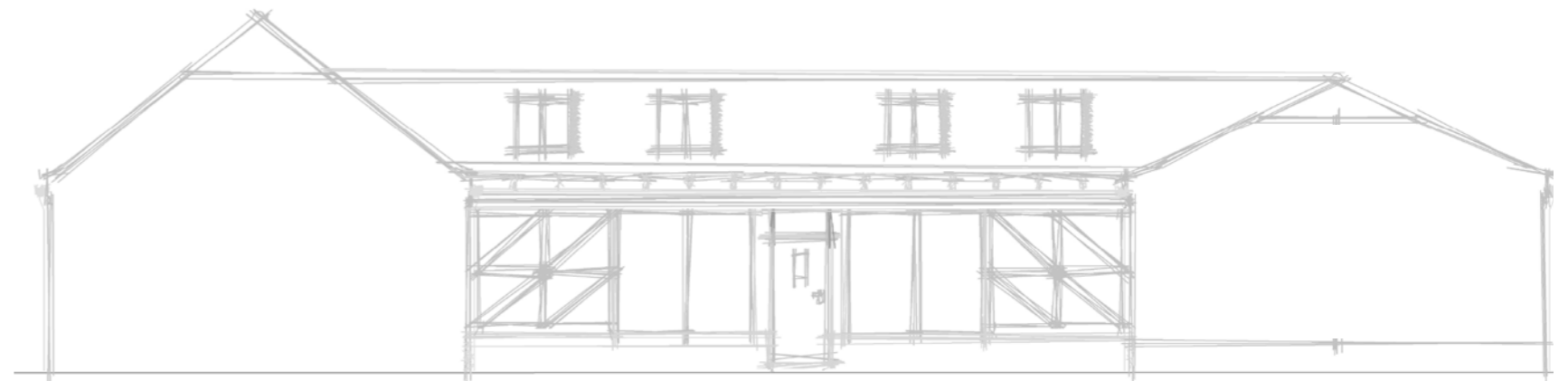


Design & Access Statement

Land East of Courtyard Barn, Horseman Side, Brentwood

JANUARY 2024



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Introduction

This document has been prepared to assist in the assessment by the Local Authority of the accompanying detailed planning application for the proposed development of the land East of Courtyard Barn, Horseman Side, Navestock, Essex, CM14 5SS. The development seeks to convert and redevelop existing disused former agricultural buildings into three dwellings and garaging.

The proposal incorporates a carefully considered and sensitive design which remains subservient to the neighbouring Courtyard Barn, incorporating traditional detailing, features and character to remain sympathetic to the neighbouring Grade II listed Barn.

In addition to the document, a Heritage Statement has been prepared to support this planning application.

The Existing Site

The application site is comprised four buildings; a single storey outbuilding converted to ancillary residential use (13/00920/FUL), two pole barns, previously used for agricultural uses and a former stable block, all being single storey. The construction and materiality is typical of the agricultural nature of the barns, mainly clad with corrugated metal painted black or black timber feather edge cladding, around a mix of timber and metal structural frame.

Proposal Summary

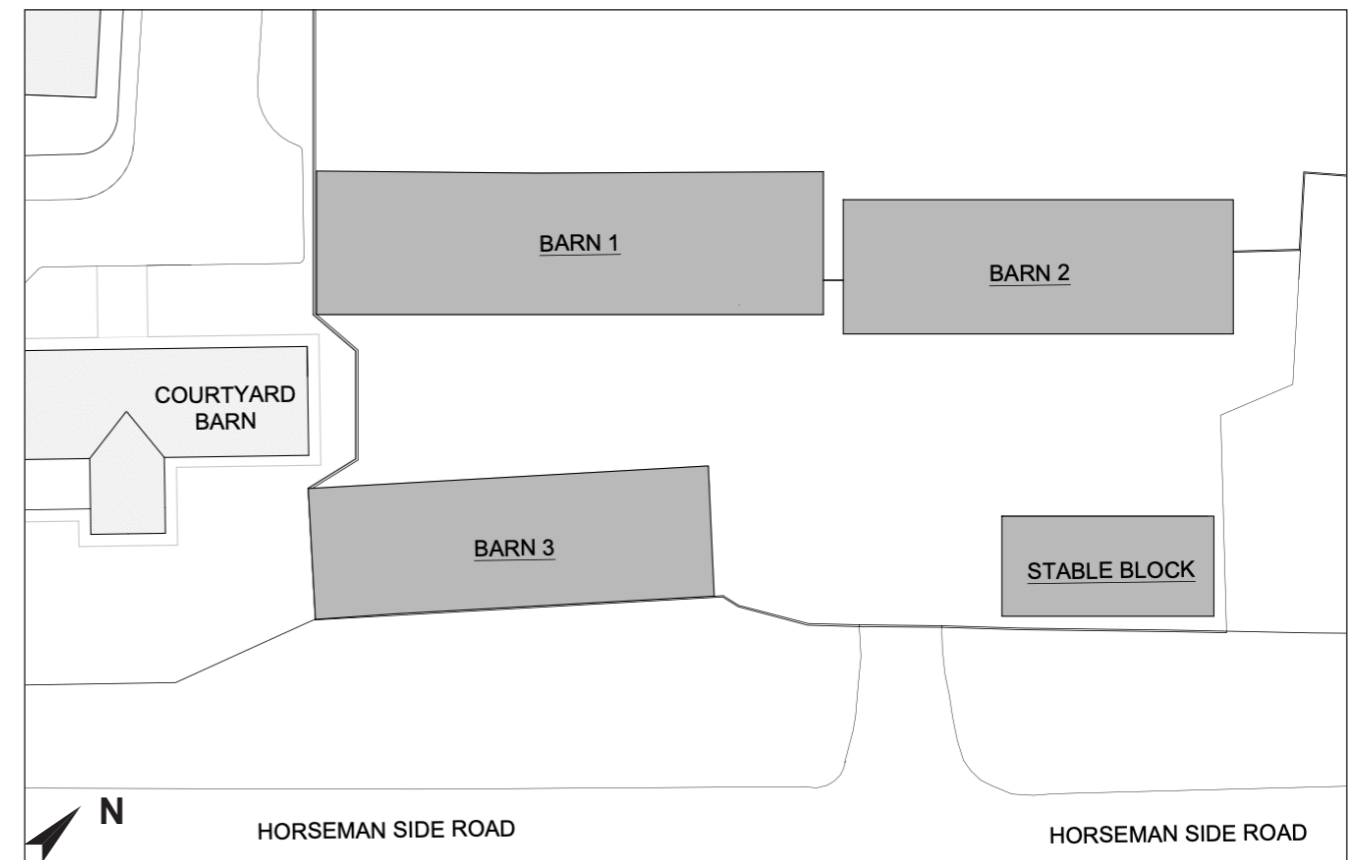
The application is for the conversion and renovation of the existing agricultural buildings into separate dwellings, one which incorporates a cart lodge style double garage, in order to provide high quality housing suitable for modern family living. All dwellings have been designed as single storey buildings, with varying roof lines to break up the elevations mass.

The proposal comprises of two, three bedroom buildings with open plan kitchen and living space, and one larger four bedroom property, with large open plan kitchen and living space. All buildings will seek to utilise the volume of the roof pitch to create striking spaces with exposed, traditional style exposed roof structure constructed in timber, typical of other barn conversions of this scale.

The proposal has been the subject of a pre-application for proprietary advice, which received positive feedback. In addition to this, the proposal has been developed with the benefit of scrutiny and review at regular team meetings attended by all relevant parties, with a dialogue throughout the design stages.



AERIAL VIEW: GOOGLE MAPS; NTS



SITE BLOCK PLAN; NTS

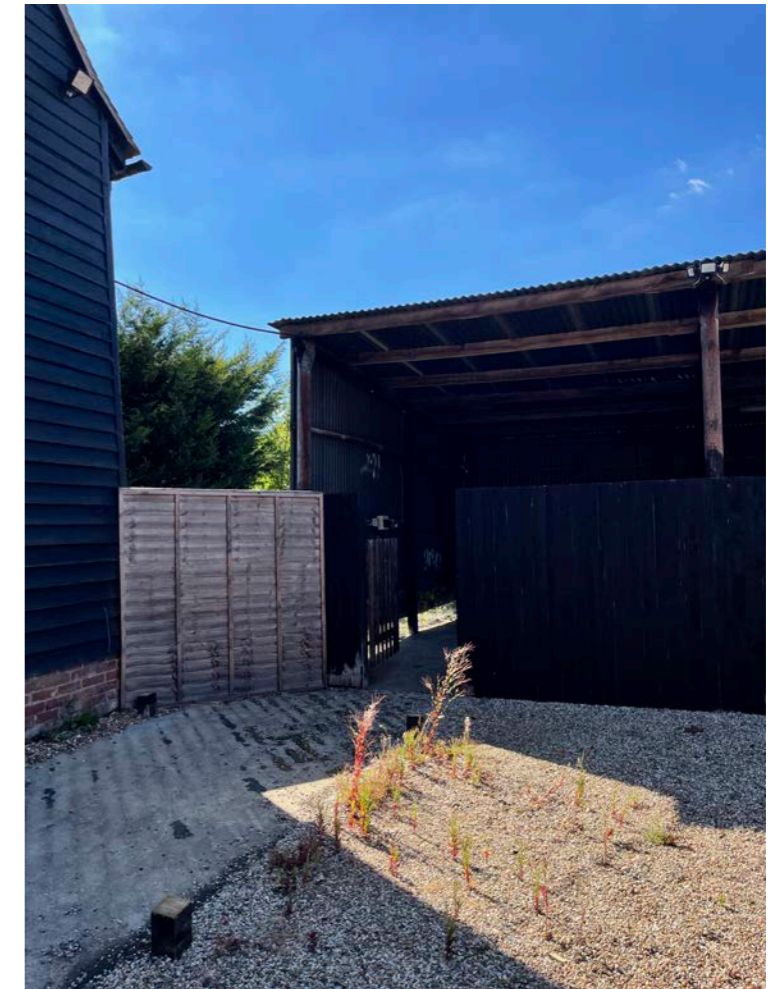
The Existing Site



The existing Stable Block



Existing Pole Barn 2



Existing Pole Barn 1 showing vicinity to Courtyard Barn



Existing site with Courtyard Barn in Background



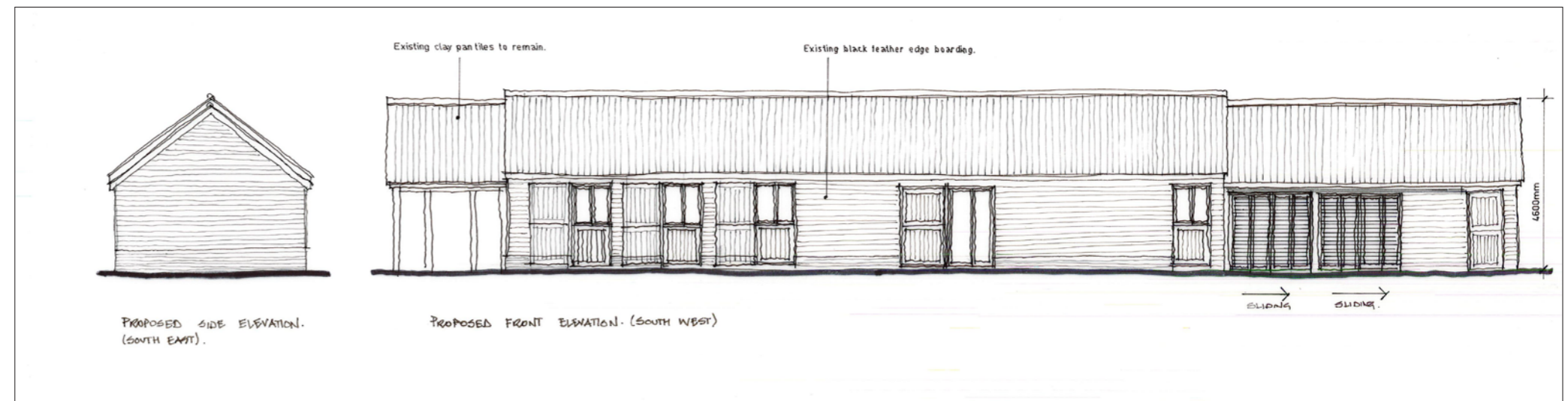
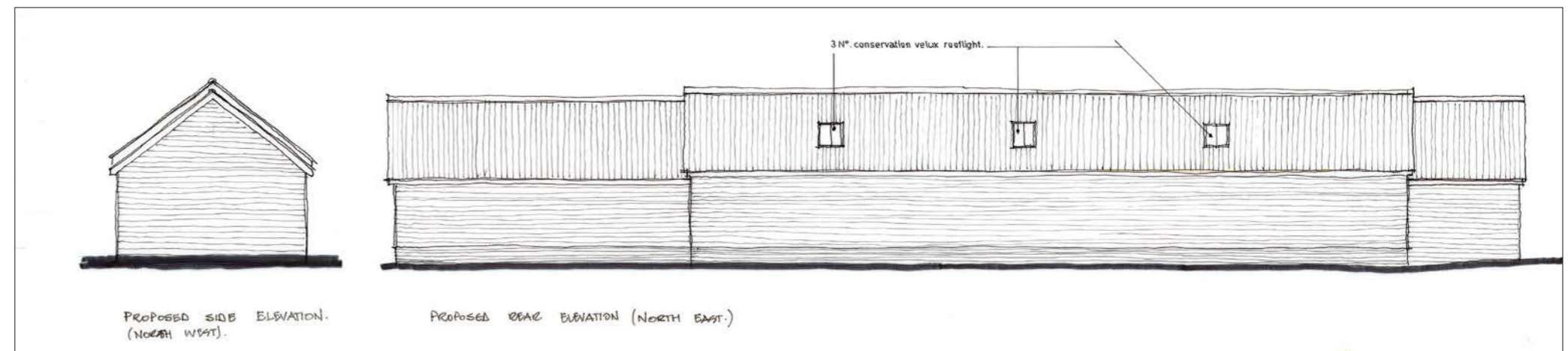
Existing outbuilding converted for auxiliary use

Local Relevant Planning Applications

22/01544/LBC | Conversion of barn to residential use. | Waterhales Farm Horseman Side Navestock Brentwood Essex CM14 5ST
Listed Building Consent Granted

The Waterhales Farm conversion exists in a similar size and scale to our application proposal. Also utilising similar traditional types of detailing to uphold the farmstead vernacular style which is commonplace of these types of barn conversion. Also utilising a similar material palette to our application, black timber siding, clay roof tiles, and a red brick plinth. This building is approx 250m from Courtyard Barn. From the officers report, incorporations have been made into the design of our proposal in order to maintain the local vernacular style. From the decision notice:

- All external joinery shall be of painted timber Reason: In order to protect the historic integrity of the curtilage listed building.
- 4 All rainwater goods shall be black and made of cast metal Reason: In order to protect the historic integrity of the curtilage listed building.



Design Concept

The design concept for this proposal is based upon the farmstead vernacular of the existing setting and is an improvement to the contribution made by the existing buildings, converting redundant and derelict barns for the provision of high quality housing suitable for modern living.

The architectural design response to the site and existing context takes reference from the traditional rural and agricultural buildings and building methods found in the local vicinity, mainly at Courtyard Barn. To remain sympathetic to the size context, a similar aesthetic and use of materials to the Courtyard Barn will be used, creating an attractive appearance that works with the existing structures, sympathetically rebuilding and developing the existing barns.

- The main features incorporated to achieve this are:
- Tight arrangement of buildings in the shape of a courtyard
- No repetition of the design of the buildings
- All buildings designed to be one storey in height but vary in roof scape
- Traditional farmstead vernacular style details: traditional verge, exposed rafter feet, traditional fenestration, simple truss roof construction, clay pantiles.
- Local materials



Precedent images



Key Design Drivers:

The design approach accords with Historic England guidance and follows the vernacular style design guides, in particular: The Adaptive Reuse of Traditional Farm Buildings, 2017 and the Essex Design Guide, 2018

Enhancing the setting of the listed Courtyard Barn where possible, achieved by setting back the footprint of the existing pole barn 1, through agreement with the Officers on site, part of the pre-application discussions, it is proposed to relocate these barns slightly to the east, to create more space around the listed barn. The proposed ancillary outbuilding is positioned to be set well back from the road where there are also mature verge-side trees that screen views back on to the site.

The incorporation of preferred materials as outlined in the Essex Design guide as to preserve the farmstead aesthetic of the local area.

The incorporation of traditional detailing as outlined in the Essex Design Guide as to preserve the farmstead aesthetic of the local area.

Essex Design Guide, 2018

Appropriate Use of Materials:

1.39 Facing and roof materials should be selected from the range of regional materials characteristic of Essex, or of that part of Essex where the project is located. This means using those materials present on pre-20th century buildings in the locality. The traditional range includes red, yellow stock and white gault bricks, smooth rendering, black- or white-painted horizontal weatherboarding, plain clay tiles, clay pantiles, slates and thatch.

1.34 Unevenly subdivided windows can disrupt the balance of a well-composed elevation (see the section on 'Balance'). Window subdivisions should be arranged symmetrically about the horizontal and vertical axes of the openings. Large, un-subdivided panes of glass should not be used, as they can distort the visual scale of the building

1.31 In order to achieve the best visual effect, the directional emphasis of an elevation should be counteracted by the directional emphasis of the openings within it. This means that a horizontally proportioned elevation should contain vertically proportioned window openings, while a vertically proportioned elevation should contain horizontally proportioned window openings.

1.50 Open soffit eaves details are preferable to boxed eaves, which produce a heavy verge that contradicts the expression of the roof plane. Parapetted gables and eaves are possible alternatives.

3.139 Every home should have the benefit of some individual private or communal private amenity space.

The Adaptive Reuse of Traditional Farm Buildings, 2017

While there is widespread regional variation in the function, design and materials used for farm buildings, there are a number of issues common to adapting most farm buildings to be addressed at the design stage.

These include:

- Understanding the construction and condition
- Respecting the architectural and historic interest of the building
- Understanding the setting
- Achieve high standards of design, repair and craftsmanship
- Minimising alterations and loss to significant historic fabric
- Retaining distinctive features
- How to introduce daylight
- Considering levels of subdivision
- How to incorporate services and insulation
- The necessity for extensions or new buildings
- The reuse or retention of minor outbuildings
- The retention or enhancement of wildlife habitats

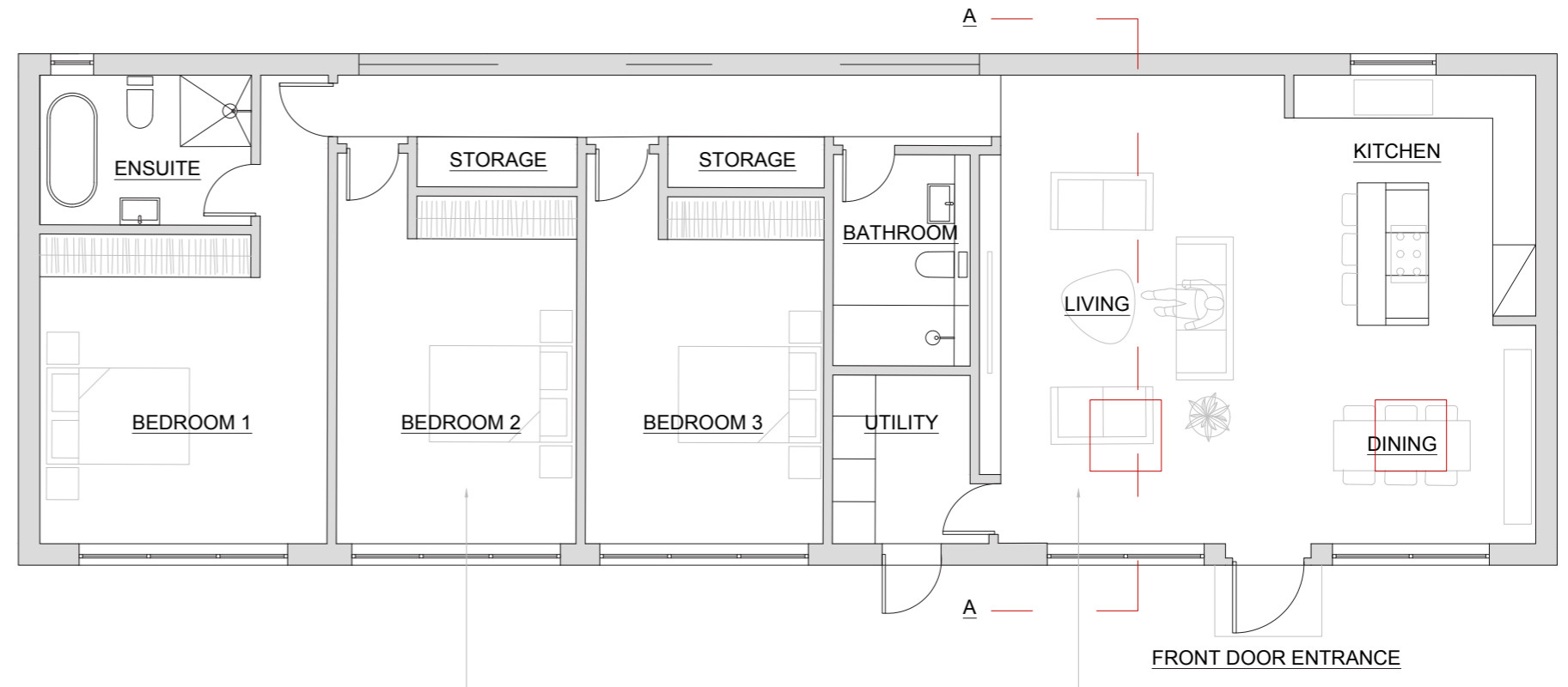
The Proposals

Barn 1

All barns have been separately designed to prevent repetition of design as outlined in the Essex Design Guide, this is typical of the farmstead vernacular style. The main fenestration of this dwelling is inward facing to the courtyard, flooding the main spaces with natural light. The majority of the fenestration is configured into bays, with simple treatment of the window frames to create an unfussy elevation, typical of the farmstead vernacular.

The floor plan configuration is set out in the aim of creating high quality modern living space for families. The open plan living / kitchen / dining space maximising social living spaces suitable to modern family living. This open plan space will utilise the volume of the single storey dwelling and create a visually striking double height space open to the roof eaves and timber framed structure, further reinforcing the farmstead vernacular.

The building will be single storey in order to remain subservient to the setting and not become overbearing on the local vicinity and align with the height of the current existing buildings. The listed buildings setting is then preserved.



The Proposals

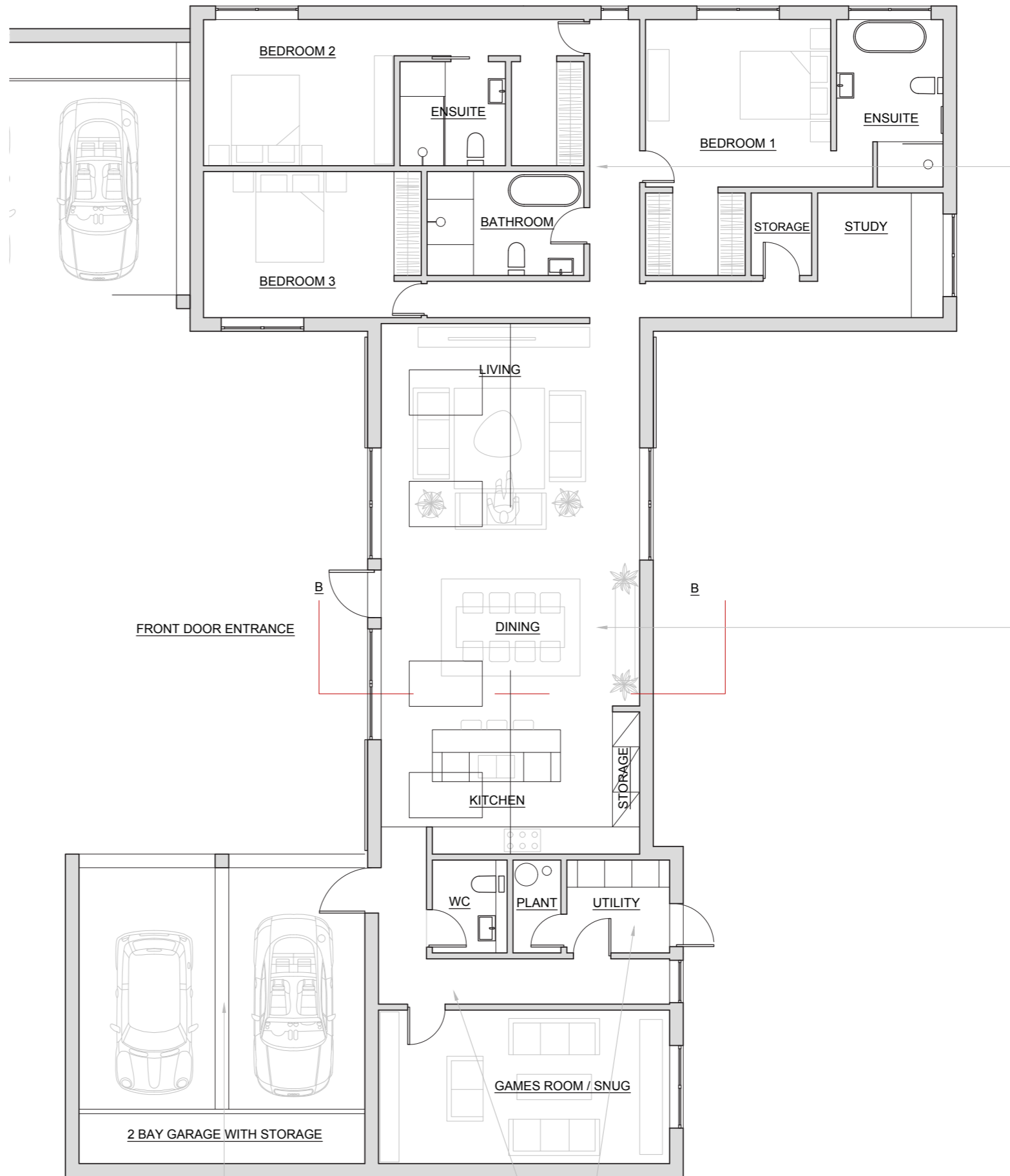
Barn 2

Barn 2 is the largest of the three dwellings, utilising the area of pole barn 2 and the existing stable block, with a new section linking the two spaces. This further reinforces the courtyard of the development by enclosing the flank side, enhancing the feel of the rural farmstead courtyard in the development.

Again, the main fenestration is facing towards the centre of the courtyard, flooding the open plan living / dining / kitchen space with natural light, producing a stunning double height space. Again, with a traditional timber frame exposed within the space. The dwelling has the potential to be either 3 or 4 bedrooms and creates a house suitable for a family, with both social and private spaces, and also suitable utility space which modern family life demands. The organisation of the floor plan allows for 'wings' to the building, for bedrooms / living, making an efficient use of the available space to create a space which can be used by many people at the same time. These wings or zones is also reflected externally, delineated by varying ridge heights to breakup the roof line, as outlined in the Essex Design Guide.



Exposed timber frame internally

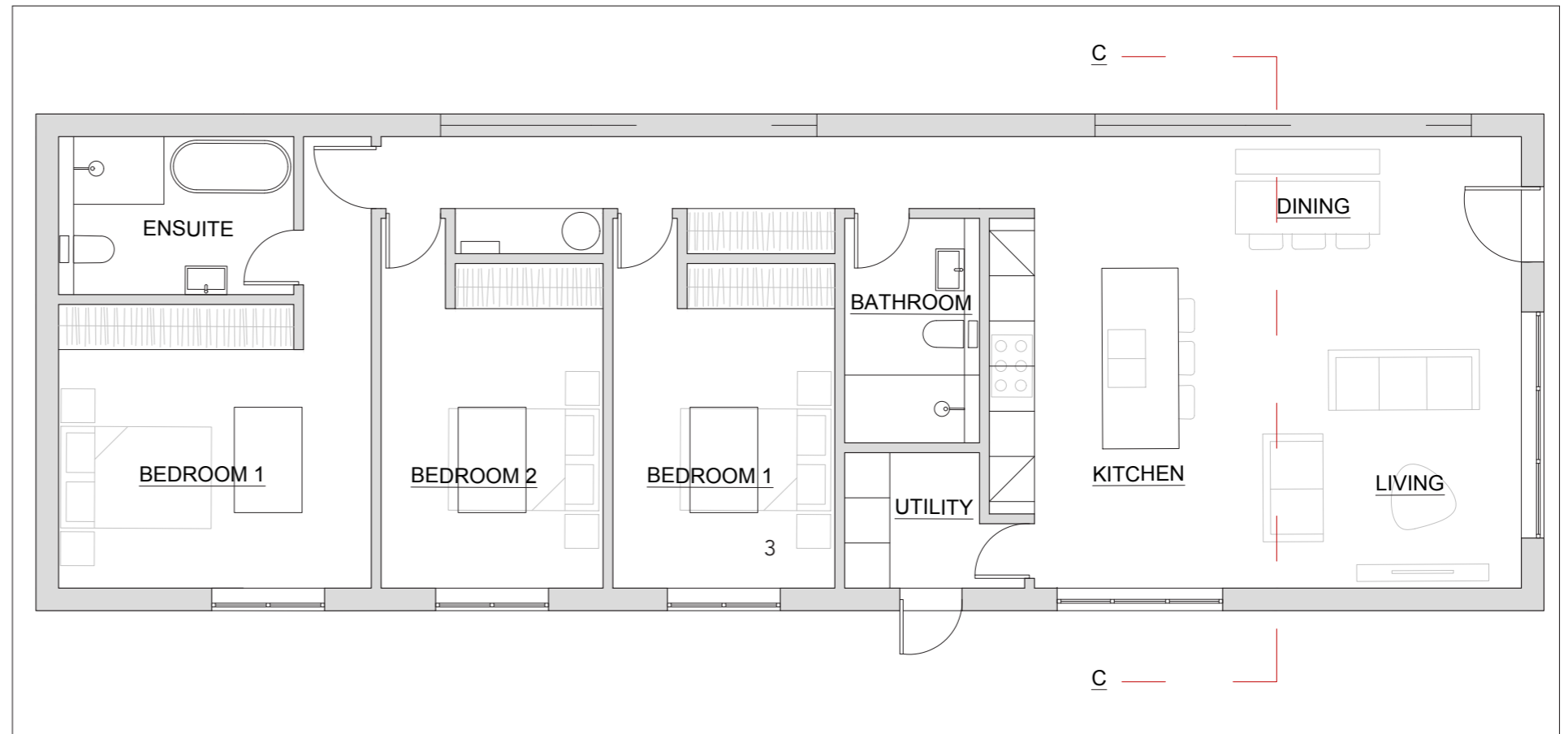


The Proposals

Barn 3

Barn 3 follows a similar layout to Barn 1, however the fenestration is outward facing from the courtyard, in order to maintain privacy to Barn 1. Utilising all of the aforementioned traditional detailing and materiality, Barn 3 also maximises light into the bedrooms with a series of conservation type roof lights to the pitched sections of the roof. The roof lights will maximise natural light into these rooms due to the orientation of the bedrooms being south easterly facing. The living/ dining/ kitchen space also utilises the barns orientation, and creates an open plan, dual aspect space which will be light and airy.

The hallway is serviced by a high level clerestory glazing run to give natural light and ventilation to the hallway, whilst maintaining Barn 1’s privacy. All the fenestration will be of a traditional detailing, Simple softwood, vertically oriented casement windows. Clerestory glazing: Single run of high level lights set up under the eaves, with top hung casements – an agricultural type of glazing. Rooflights as conservation type, with a vertical glazing bar in the centre of each.



Conservation rooflight



Detailing and Materials

The detailing and materiality of the proposal are key to achieving the desired retention of farmstead vernacular style. All proposed barns maintain the same material palette to achieve a continuity throughout, further preserving the desired vernacular, whilst enhancing the setting of the local listed buildings. Using the advice outlined in the Essex Design Guide, appropriate materials have been selected which are appropriate to the range of materials to the region.

'Facing and roof materials should be selected from the range of regional materials characteristic of Essex, or of that part of Essex where the project is located. This means using those materials present on pre-20th century buildings in the locality. The traditional range includes red, yellow stock and white gault bricks, smooth rendering, black- or white-painted horizontal weatherboarding, plain clay tiles, clay pantiles, slates and thatch.'

The main palette consists of; A black painted timber featheredge siding, plain clay roof tiles, red stock brick plinths, metal rainwater goods, and black painted timber window frames. Proper traditional boarding; slate/tile; timber frame – softwood, early brick; metal rainwater goods.

Incorporated Traditional Detailing

Partial Clipped Gables

Partial clipped gables will be incorporated into all dwellings of the development, not only are they a traditional detail of the farmstead vernacular style, but they reduce the perceived mass of the roof of the dwellings.

Neighbouring Grade II listed Courtyard Barn also incorporates partially clipped gables into the roof structure.



Courtyard Barn incorporates partially clipped gables

Examples of Partially Clipped Gables in the context of a barn conversion



Traditional Verges Detailing

On the elevations, the verges will show a traditional farm detail – such as slate/tile creasing (As is the case at Courtyard Barn)



Sprocketed Eaves

On the elevations, sprocketed eaves will be incorporated to further reinforce the farmstead vernacular style, these being a typical detail of the agricultural type constructions to slow rainwater. (As is the case at Courtyard Barn)



Exposed Rafter Feet

Traditional and vernacular buildings (ex. Courtyard Barn) usually have the rafter feet exposed. All long elevations of the Barns will have exposed rafter feet to reinforce the farmstead vernacular style.

1.50 Open soffit eaves details are preferable to boxed eaves, which produce a heavy verge that contradicts the expression of the roof plane. Parapetted gables and eaves are possible alternatives.



Brick Plinth

Traditional and vernacular buildings (ex. Courtyard Barn) incorporate this brick plinth.



Siding

Black painted timber softwood feather edge

Typical material used in similar types of barn conversions in the local area, as outlined in the Essex Design Guide as a typical feature of Essex Barns. Selected to maintain the farmstead vernacular style across the three proposed dwelling houses, maintaining the material language of the Courtyard Barn also.



Material Palette

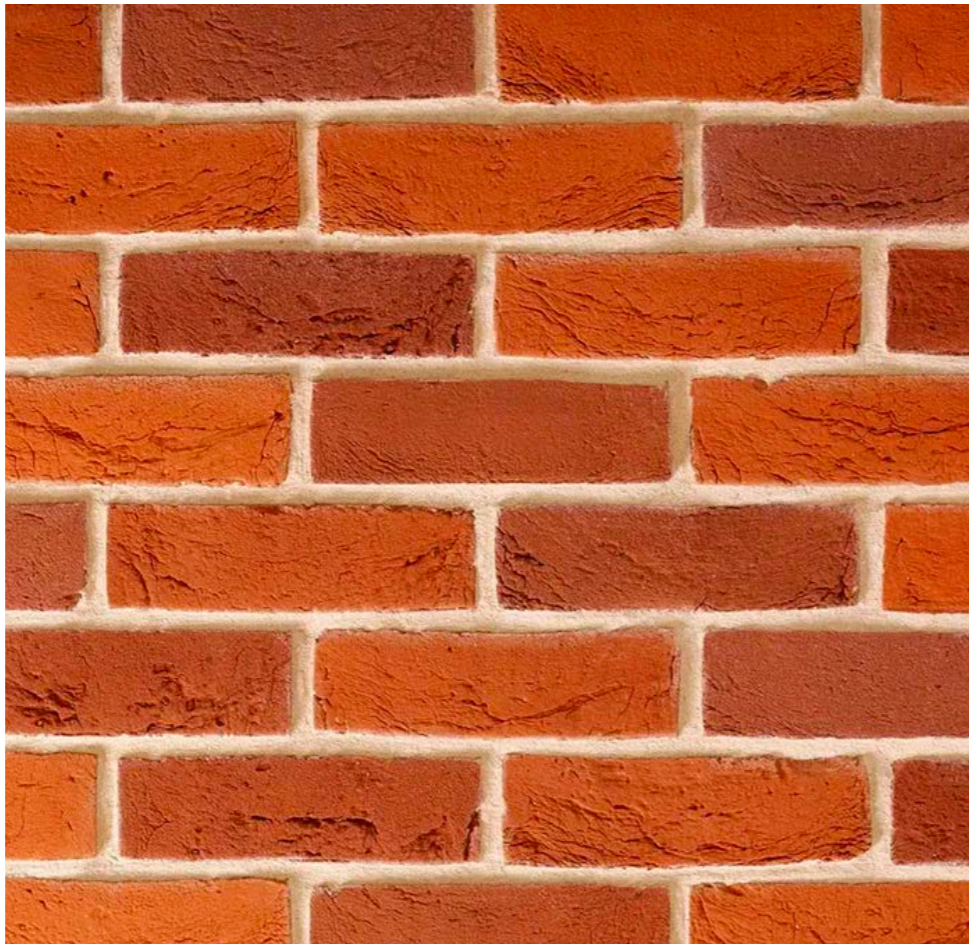
Window Frames

Black painted timber window frames to all elevations.



Brick Plinths

Red stock brick laid in running bond.

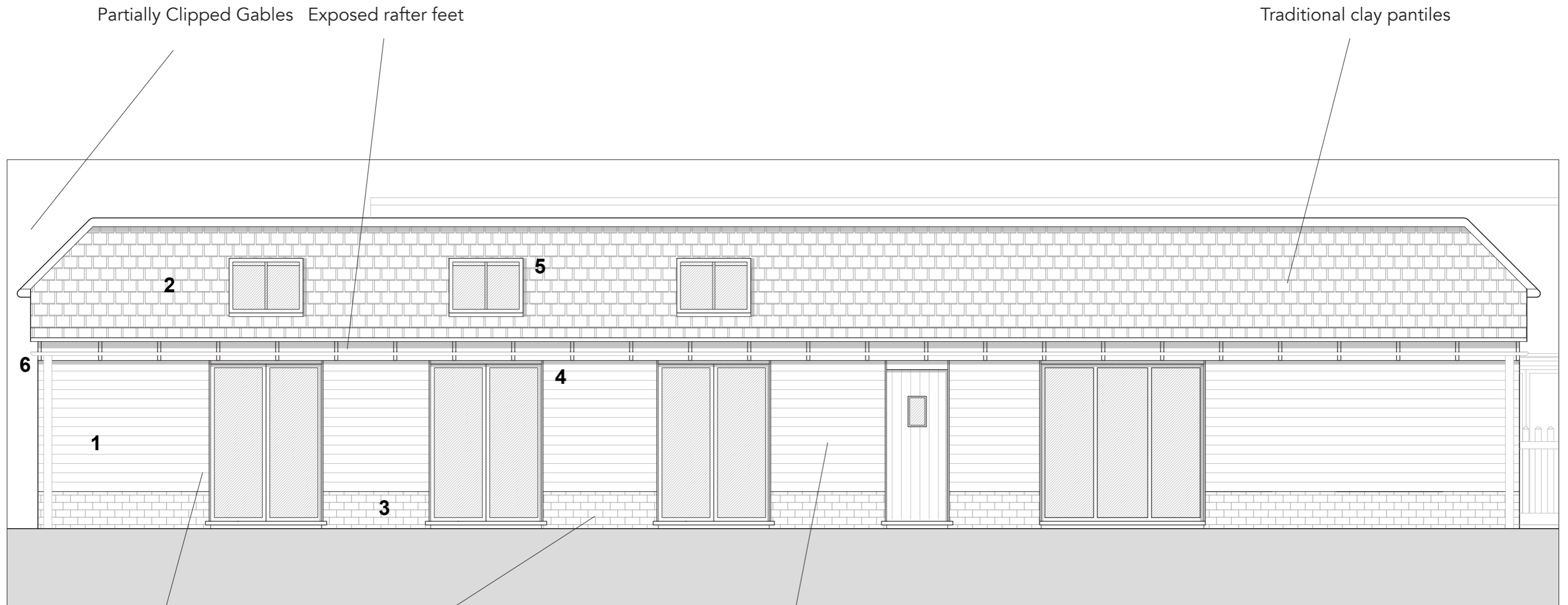


Roof Tiles

Traditional clay pantiles, simpler feature than the clay pegtiles (ex. Courtyard Barn)



Application of Materials & Details



Black painted timber window frames to all elevations.

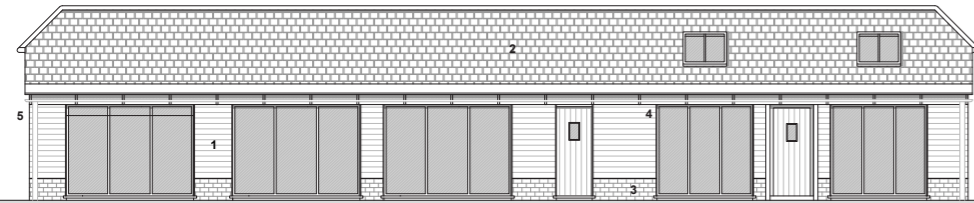
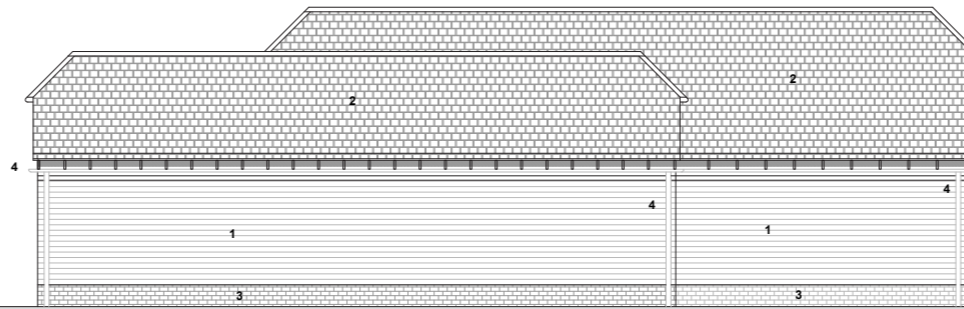
Red stock brick laid in running bond.

Black painted timber softwood feather edge



The Varied Roofscape

As discussed on site with the local officer, in order to breakup the mass of the properties roof scape, varied ridge-lines have been incorporated to avoid linearity by breaking up the roof line of the barns. This feature is more typical of the farmstead vernacular style, rather than a repeated mass of buildings.

BARN 1**BARN 2****BARN 3**

Unfolded elevation of the Barns to demonstrate the varying roofscapes across the scheme.

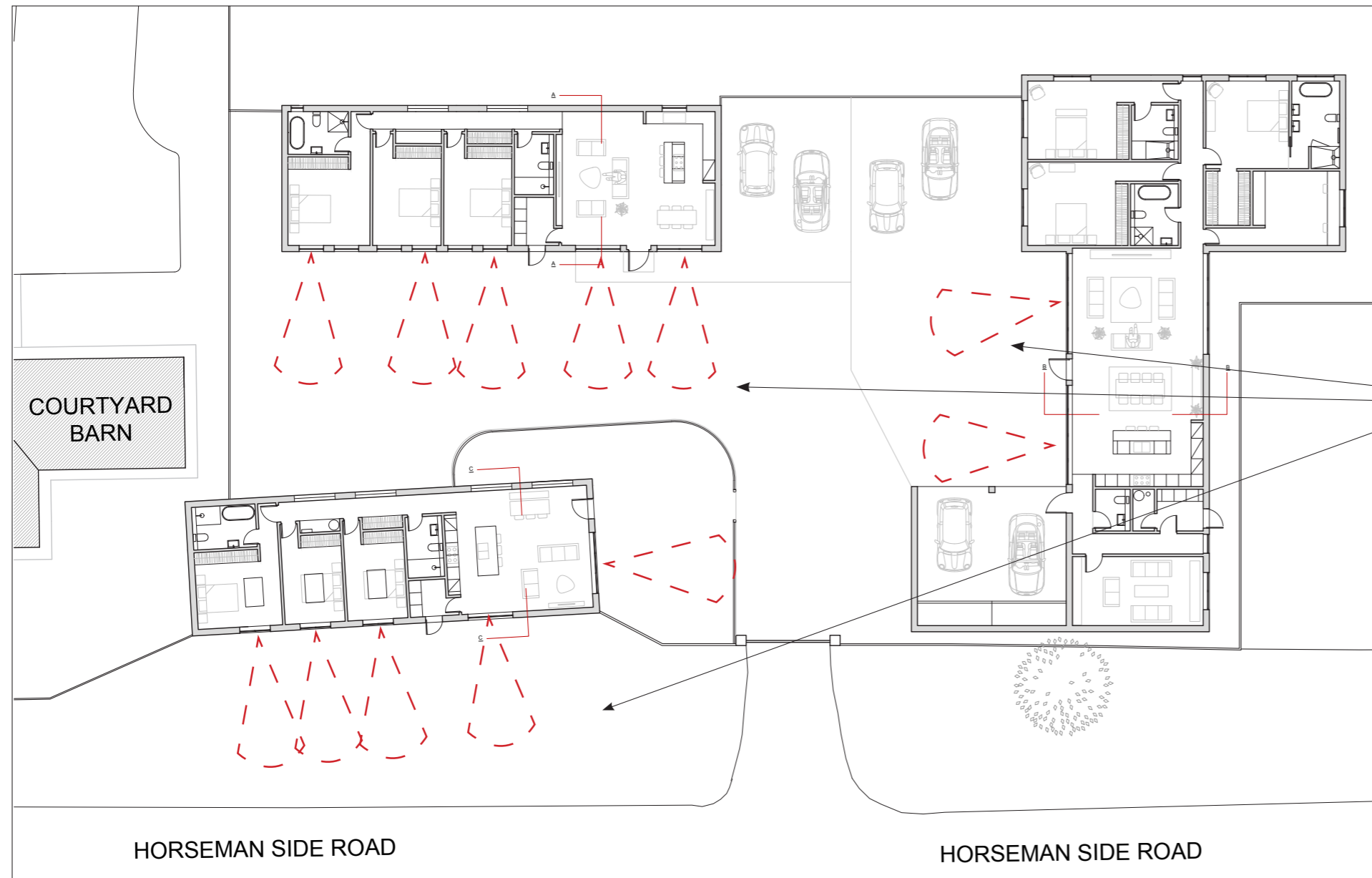
Access

The access to the application site is independent from any surrounding property, and the proposal maintains the existing driveway for entry and exit to the site. Visibility from the driveway will remain unchanged.

Hard paved areas will provide sufficient space for at least two cars per property (six spaces in total), and provide large spaces for turning / manoeuvring within the site. The parking provision is also positioned out of main view from the proposed dwellings.



Privacy Considerations



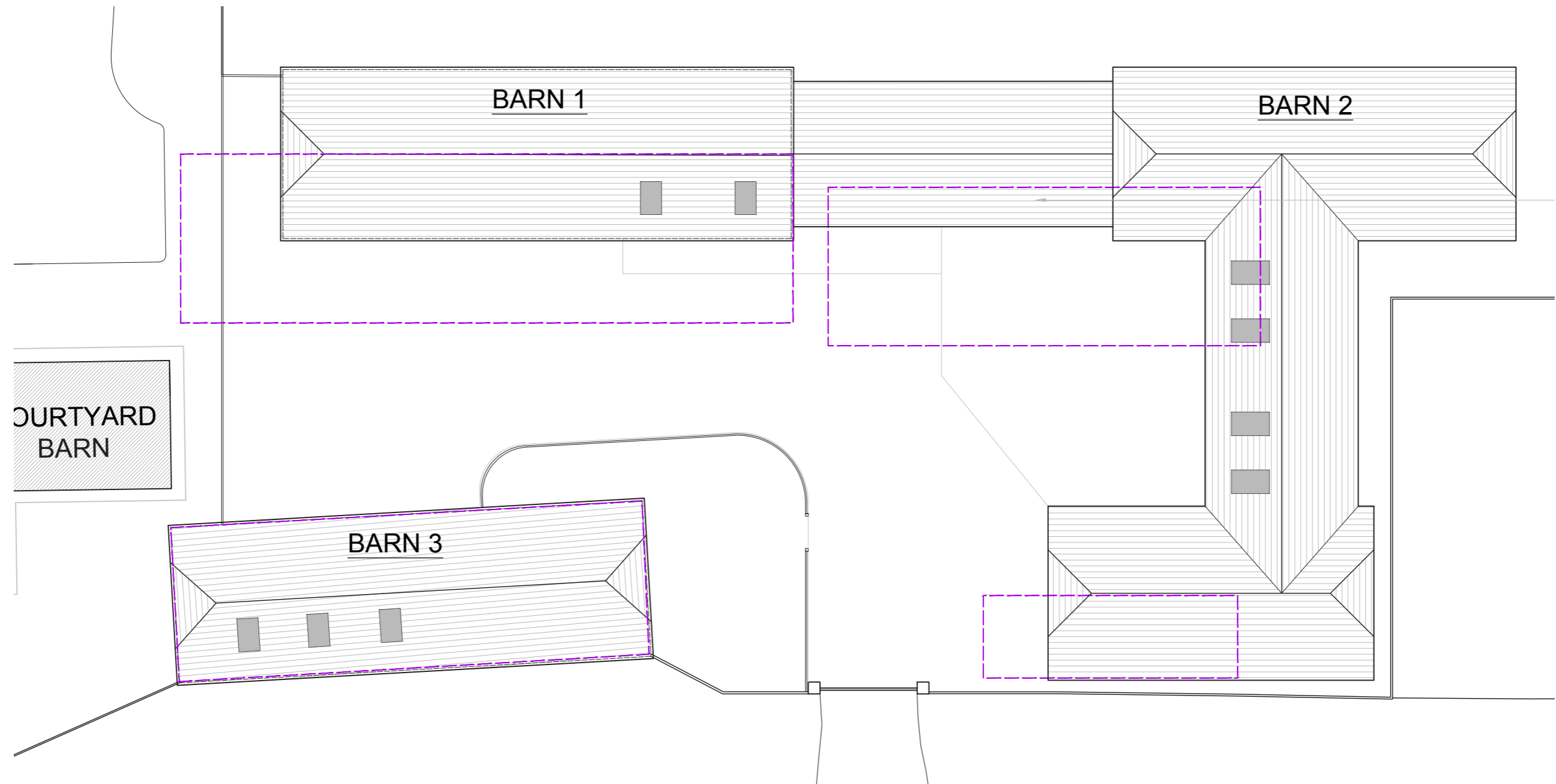
No view into neighbouring properties

Care has been taken throughout the design process in order to maintain the privacy of all dwellings from one another, whilst still maximising natural light provision into each of the properties.

This has been achieved through strategic fenestration placement to ensure no windows are looking into one another. They are placed to have no view into the living spaces.

In some locations, high level glazing has been incorporated to get natural light into the spaces whilst maintaining privacy.

Existing overlaid on proposed shown in purple outline



Summary

The application for the development of the three barns has been carefully and sensitively designed with consultation from the Local Planning Authority and relevant specialist officers, who's feedback from a Pre-Application was supportive of the scheme, with their detailed design recommendations, which have been incorporated into the design of the scheme to withstand and uphold the farmstead vernacular style of the area, not only respecting the local listed buildings, but enhancing their setting. This has been based upon an appraisal of the site and the surrounding area and drawn upon the physical context of the site and the surrounding area. The existing buildings are largely in disuse, and the replacement of the pole barns will not cause any harm to the aforementioned heritage assets, the sympathetic design will also contribute to the rural farmstead setting of Essex country.

The scheme has been designed alongside a specialist team of heritage consultants from the outset of developing the proposals. The scheme has been adjusted in accordance with their advice to ensure that the proposal respects the existing landscape and heritage setting of the built environment.

Through the careful traditional detailing and organisation of fenestration, we believe the proposal to respect the guidance of the local authority with regard to scale, size, and appearance. Coupled with the use of a material palette which respects the existing context, the proposal will enhance the setting of the local context, and provide high quality living space for the occupants.

