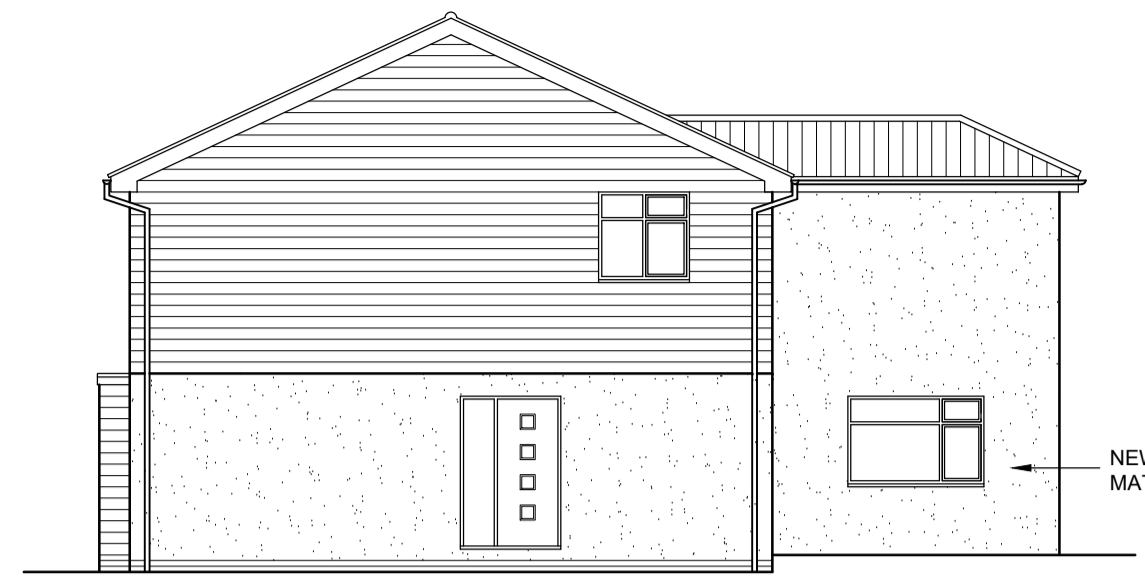




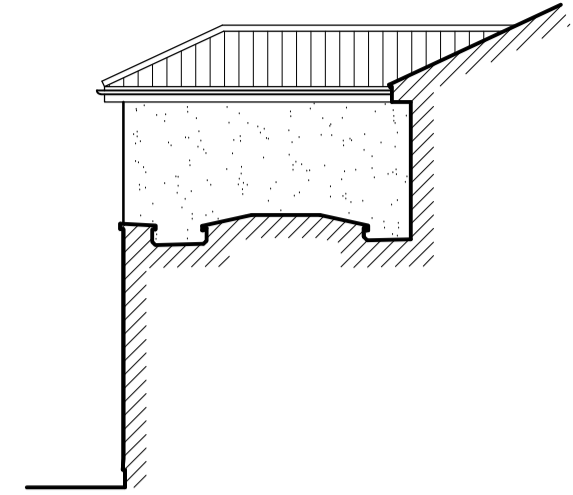
**FRONT ELEVATION**  
SCALE 1:100



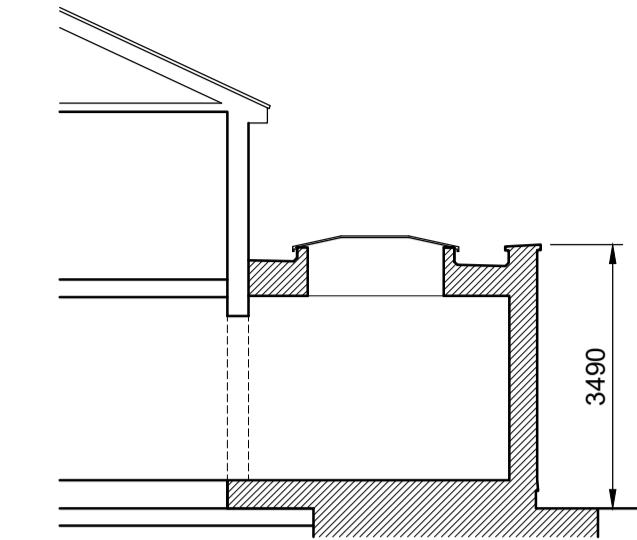
**SIDE ELEVATION**  
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**REAR ELEVATION**  
SCALE 1:100

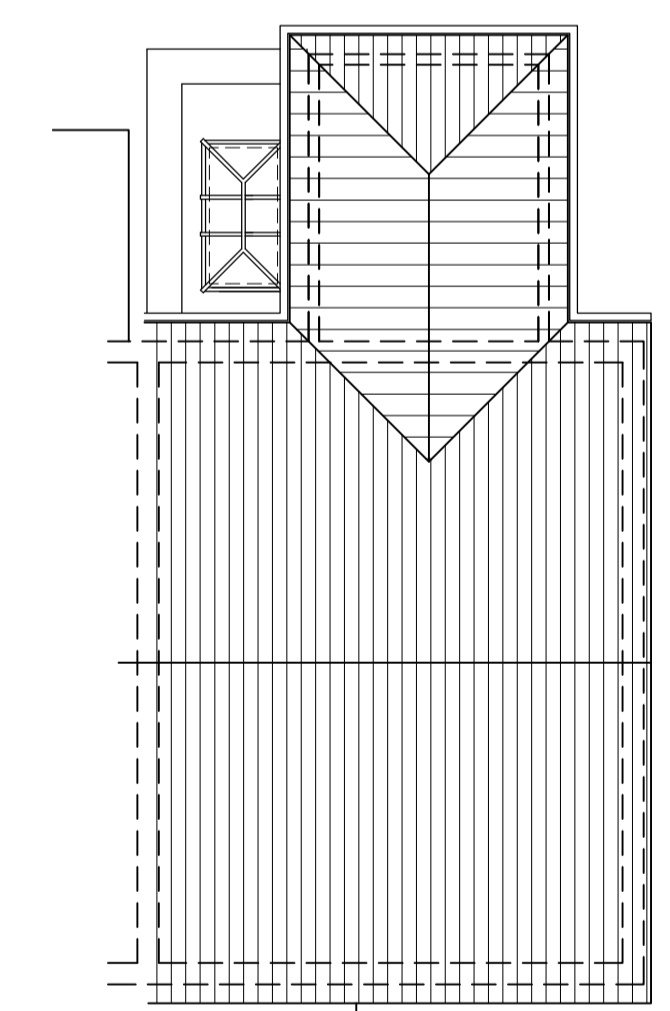


**SIDE ELEVATION**  
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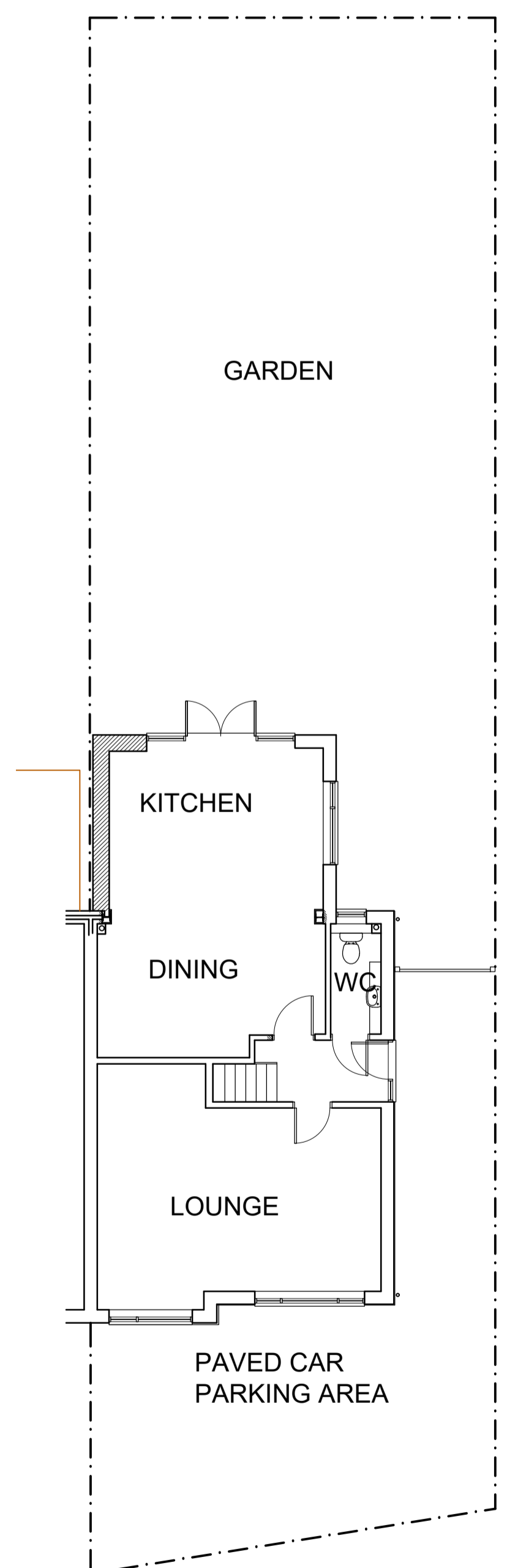


**TYPICAL SECTION**  
SCALE 1:100

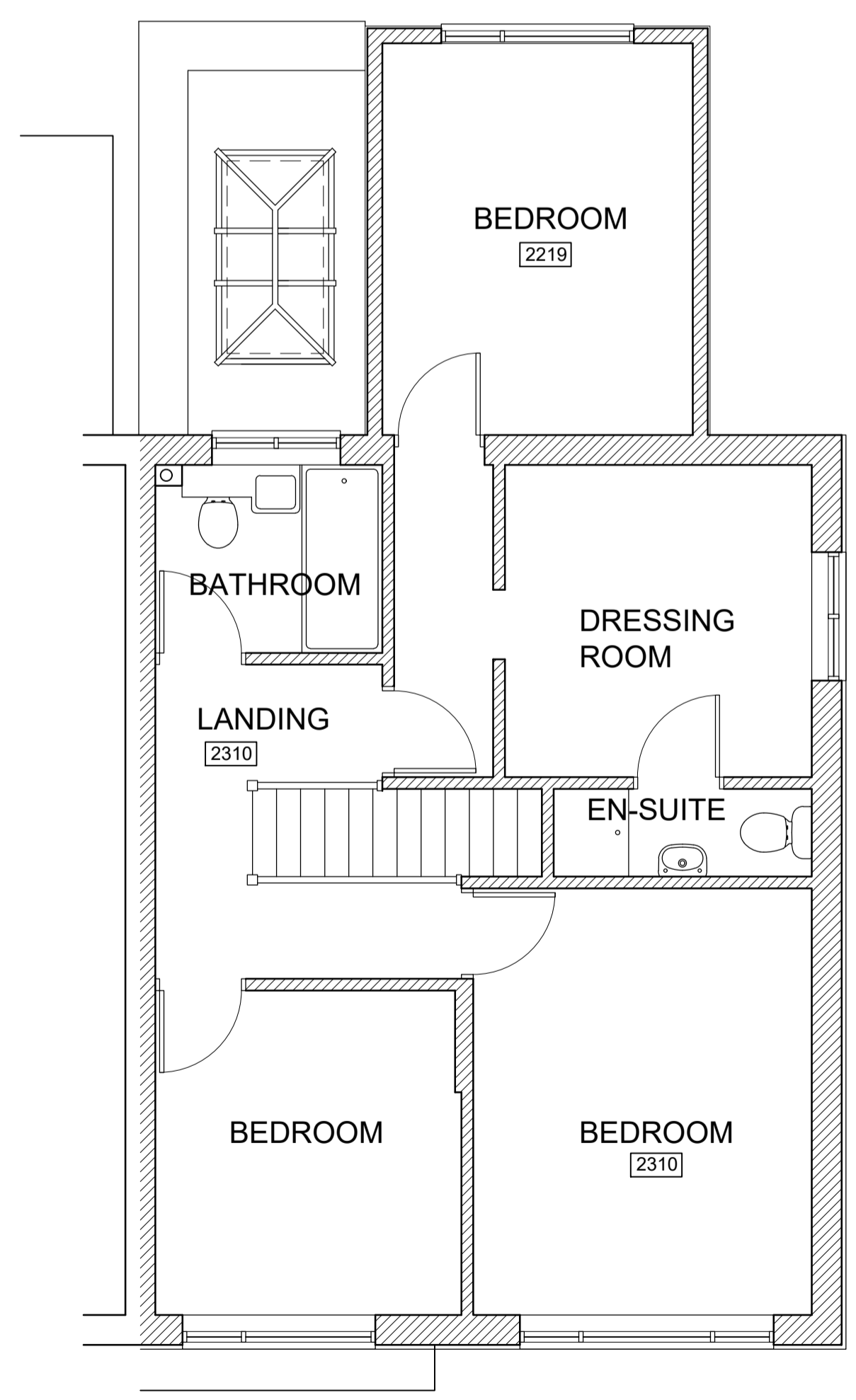
This drawing is for planning purposes only.  
This drawing should be read in conjunction with all other drawings, specifications and schedules for the project to which it relates.  
It is the Clients/ Contractors responsibility to ensure that the works are wholly built on land that is owned by the Client.  
Extent of boundaries to be completely established on site by Client and Contractor prior to the commencement of any works on site.  
Where drains are required to cross and to be run in third party owned land, the Client is to be responsible to enter into all necessary negotiations to gain consent from the relevant land owners and / or easements where required.  
Report all discrepancies on this or other drawings, details etc. to Estuary Design Ltd immediately  
Estuary Design Ltd do not warrant the accuracy of this drawing other than for the purpose for which it is produced and issued. This drawing does not constitute a full technical specification, it is for the purpose of obtaining Local Authority approvals only.  
Any works carried out prior to obtaining the necessary planning and building regulation approvals and party wall agreements is deemed to be at Client/ Contractors Risk.  
Client to arrange all Party Wall agreements with the relevant individuals/ owners of neighbouring properties.  
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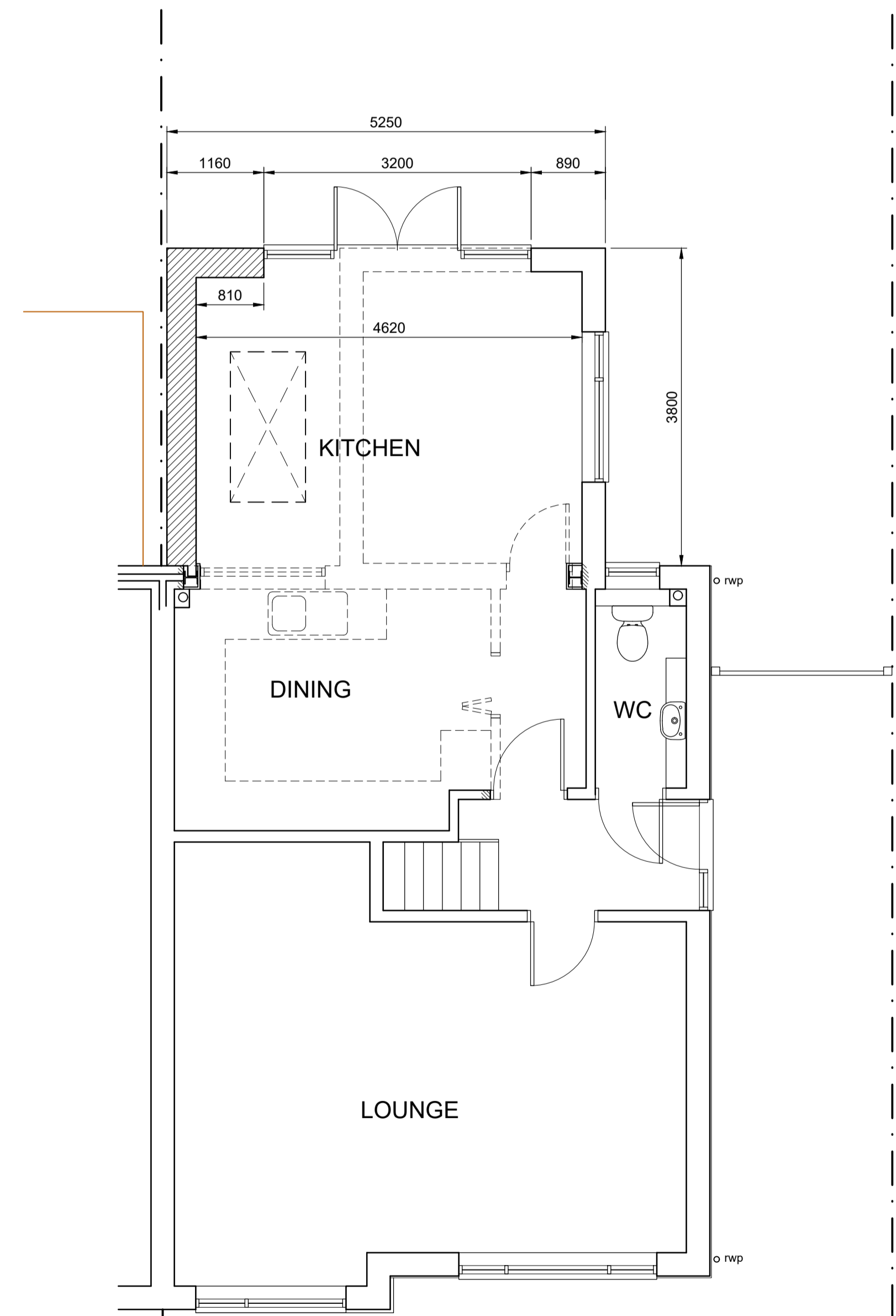
**ROOF PLAN**  
SCALE 1:100



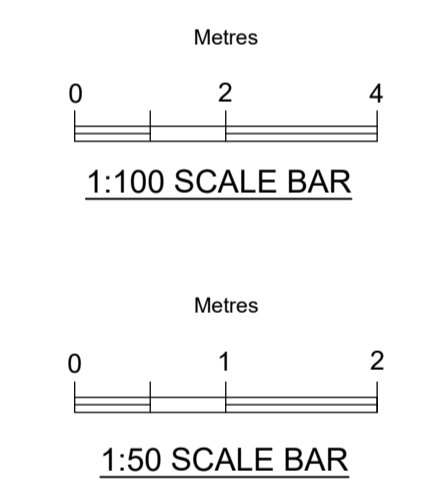
**SITE PLAN**  
SCALE 1:100



**FIRST FLOOR PLAN**  
SCALE 1:50



**GROUND FLOOR PLAN**  
SCALE 1:50



ISSUE	REVISION	DATE
CONTRACT TITLE <b>MR &amp; MRS KERLEY</b> 64 POINT ROAD CANVEY ISLAND ESSEX SS8 7TF PROPOSED REAR EXTENSION DRAWING TITLE PROPOSED GROUND, FIRST FLOOR, AND ROOF PLANS PROPOSED ELEVATIONS AND SECTION		
<b>Estuary Design Ltd.</b> UNIT 10 POINT INDUSTRIAL ESTATE POINT ROAD CANVEY ISLAND ESSEX SS8 7TJ TEL:- 01268 697614		
SCALE 1:50 & 1:100 @ A1		
DRAWN	BL	DATE MARCH 2024
JOB No		DRAWING NO.
1606		02