

**Important Note:**  
**These dwg's to be read in conjunction with structural engineer's drawings/details and calculations**  
**No work is to be commenced until site dimensions have been checked & discrepancies reported**

Newly formed surface water drainage to be laid to the LABCO approval on site and is to be connected to a new soakaway sited minimum 5.0m from any building subject to site investigation by the contractor prior to the commencement of works.

Note - where new cavity wall abuts existing house either:  
 1) install new vertical damcor insulated dpc dressed into saw cut to existing wall;  
 or  
 2) expose and join existing and new wall construction for continuation of cavity.

10mm movement joint between new wall and existing to be filled with fosroc expandofoam compressible filler and pointed with fungicidal silicone mastic to match brick colour.

New wall to be tied to existing external walls using ancon stalfix universal wall starter system installed in accordance with manufacturers written instructions.

Note: Ensure interlinked smoke detectors are fitted within hallway & all landings with a heat detector installed within kitchen onto the same system. Carbon monoxide detector should be installed adjacent any new boiler.

Extract fan routes adjusted for any current Kitchen & Utility areas (wall or ceiling mounted with exhaust ductwork to external walls or via new roof over) - should none be present. Positions and any duct route T.B.C. on site and agreed with client.

Existing Utility room rear door demolished (opening enlarged / adjusted) with new double glazed window to client preference with support over to S.E. design. See elevations for confirmation of extent.

Existing Utility room (flank wall) window demolished with opening blocked up / made good as necessary.

Garage

Note: Existing kitchen fixtures, fittings and associated pipework & cabling removed with surfaces made good to suit new room layout (if required). All to client agreement.

1 No. New double glazed door opening formed within existing wall to client preference with lintel / beam support over to S.E. design. See elevations for confirmation of extent.

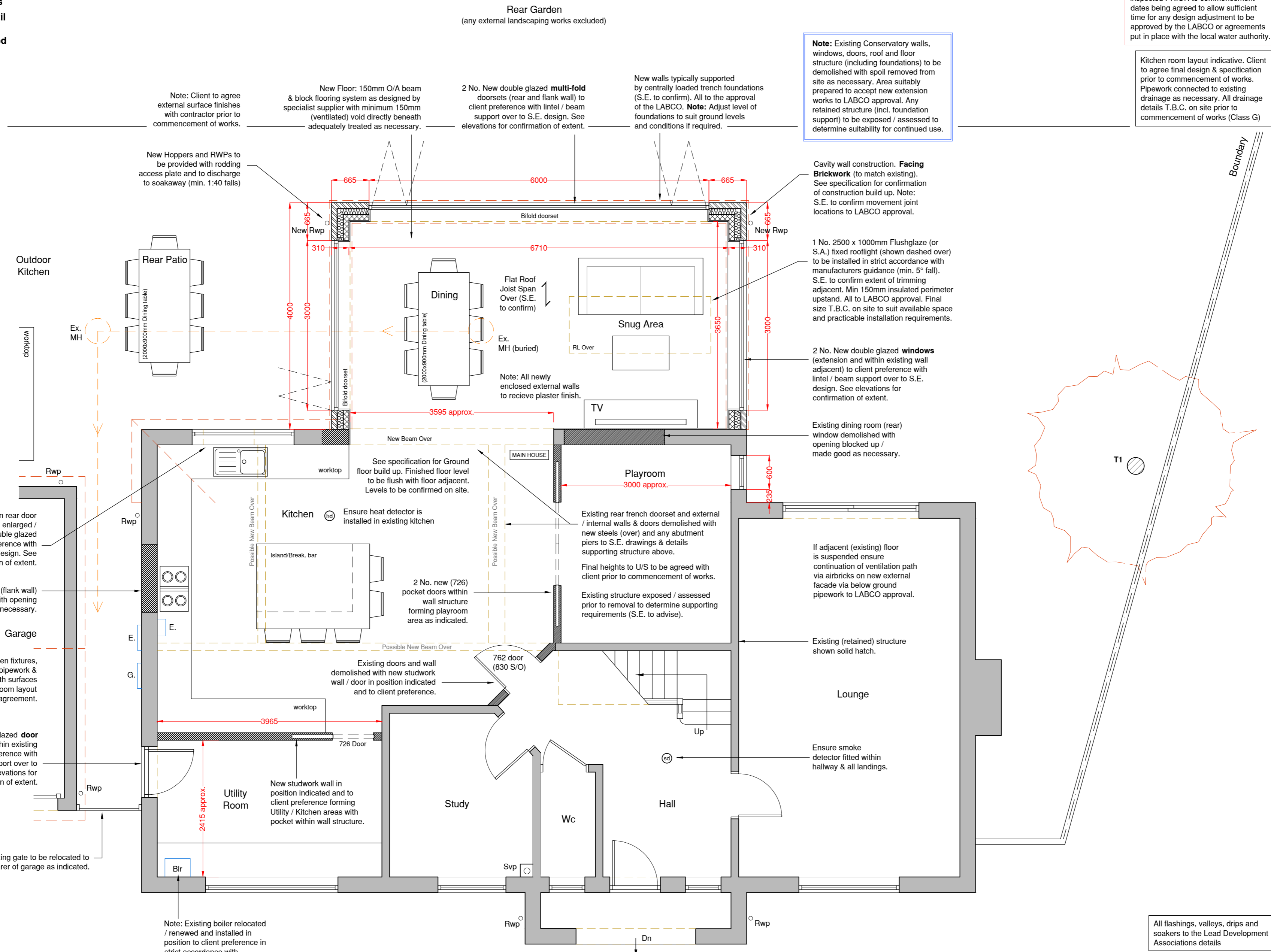
Existing gate to be relocated to corner of garage as indicated.

**Note**  
 Refer to S.E drawings for confirmation of all structural elements, sizing and positions

General notes:  
 This drawing must be read in conjunction with the following:  
 1459-01 Plans as Existing  
 1459-02 Elevations as Existing  
 1459-03 Elevations as Proposed  
 1459-04 Ground Floor Plan as Proposed  
 1459-05 Roof Plan as Proposed  
 1459-06 Section as Proposed  
 1459-07 B.R. Specification  
 1459-08 Typical Drainage Details

Note: All dimensions to structural frame / wall positions. Any dimensions shown **RED** are from internal finishes

Note:  
 It is the contractors responsibility to locate electrical cabling, drainage & mains gas pipework on site.



Proposed Ground Floor Plan  
 Scale 1:50 @ A2

**Note:**  
 Should the new works be built near an existing drainage route. This is to be inspected PRIOR to commencement dates being agreed to allow sufficient time for any design adjustment to be approved by the LABCO or agreements put in place with the local water authority.

Kitchen room layout indicative. Client to agree final design & specification prior to commencement of works. Pipework connected to existing drainage as necessary. All drainage details T.B.C. on site prior to commencement of works (Class G)

**Note:** Existing Conservatory walls, windows, doors, roof and floor structure (including foundations) to be demolished with spoil removed from site as necessary. Area suitably prepared to accept new extension works to LABCO approval. Any retained structure (incl. foundation support) to be exposed / assessed to determine suitability for continued use.

Cavity wall construction. Facing Brickwork (to match existing). See specification for confirmation of construction build up. Note: S.E. to confirm movement joint locations to LABCO approval.

1 No. 2500 x 1000mm Flushglaze (or S.A.) fixed rooflight (shown dashed over) to be installed in strict accordance with manufacturers guidance (min. 5° fall). S.E. to confirm extent of trimming adjacent. Min 150mm insulated perimeter upstand. All to LABCO approval. Final size T.B.C. on site to suit available space and practicable installation requirements.

2 No. New double glazed windows (extension and within existing wall adjacent) to client preference with lintel / beam support over to S.E. design. See elevations for confirmation of extent.

Existing dining room (rear) window demolished with opening blocked up / made good as necessary.

Existing rear french doorset and external / internal walls & doors demolished with new steels (over) and any abutment piers to S.E. drawings & details supporting structure above.  
 Final heights to U/S to be agreed with client prior to commencement of works.  
 Existing structure exposed / assessed prior to removal to determine supporting requirements (S.E. to advise).

Existing (retained) structure shown solid hatch.

Lounge

Ensure smoke detector fitted within hallway & all landings.

All flashings, valleys, drips and soakers to the Lead Development Associations details

No new construction to exceed boundary line without neighbour agreement in place.

Central heating and electrical wiring and any other applicable services to be extended from main house into extension. Existing switches/sockets adjusted to suit new layout.

**IMPORTANT NOTE: A Party Wall agreement may be required for these works. See information in the adjacent titleblock for further details**

The location of the boundary shall be confirmed and agreed with the adjacent owner. No part of the works shall be constructed so that it effects a trespass upon the adjacent property. All work shall be undertaken in accordance with the Party Wall agreement: The Party Wall Act of 1996. An agreement should also be obtained from the adjoining owner in respect to access to neighbouring properties for the purpose of construction.

All work shall be carried out in strict accordance with the British Standard Codes of Practice and respective Manufacturers' Instructions.

The contractor is responsible for maintaining the stability of the structure during the course of the works and as such should satisfy himself as to the condition of the structure prior to commencement of works. Should the contractor deem that temporary works are necessary to enable the works to be carried out safely, then he should employ a suitable qualified person to advise accordingly. The contractor will be responsible for the design and installation of all temporary works.

Where existing walls have been assumed to be load bearing, these are to be checked and confirmed by the structural engineer prior to commencement of works and to the entire satisfaction of the building control officer.

No works should commence until these plans have been approved. Should any works commence or materials ordered prior to the approval notice from the building control officer being issued, then this is done so entirely at the client/contractor's own risk and expense.

All dimensions are to be checked and confirmed on site by the contractor. Dimensions are not to be used for the ordering of materials or the preparation of cutting lists.

Construction (Design & Management) Regulations 2015:  
 Esasan-K Planning are appointed only as Principal Designer up to the production of planning & building regulations docs. The client, for all future works, will need to be made aware of their duties under the CDM Regulations to appoint a Principal Designer and Principal Contractor or, in the case of domestic projects, for the Principal Contractor to undertake these duties on behalf of the client.  
 See Specification Notes drawing for list of this projects pre-construction CDM requirements. The appointed Principal Contractor (or Client) should agree or supplement this list prior to commencement of any works.

| Rev | Date | Description |
|-----|------|-------------|
|     |      |             |

**PLANNING**

Scale Bar:  
 0 1 2 3m  
 SCALE 1:50

**EK PLANNING**  
 ARCHITECTURAL DESIGN CONSULTANTS

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Project Title:  
**Mr Matt Lang**  
**13 Windmill Heights, Bearsted, Maidstone, Kent. ME14 4QE.**

Drawing:  
**Single Storey Rear Extension Ground Floor Plan Proposed**

|                  |                  |
|------------------|------------------|
| Date: 27/04/2023 | Drawing Number:  |
| Scale: 1:50 @ A2 | <b>1459 - 04</b> |
| Drawn: G.J.O.    | Revision:        |
| Checked: S.W.    |                  |

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