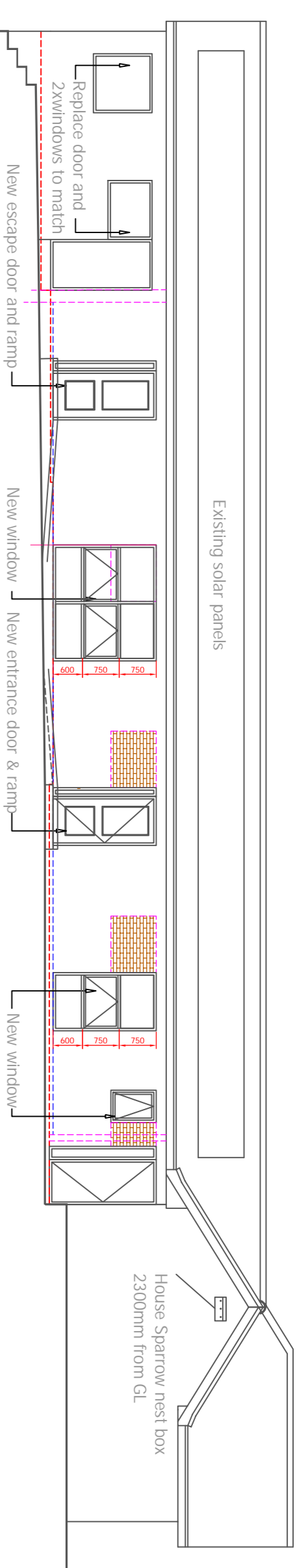
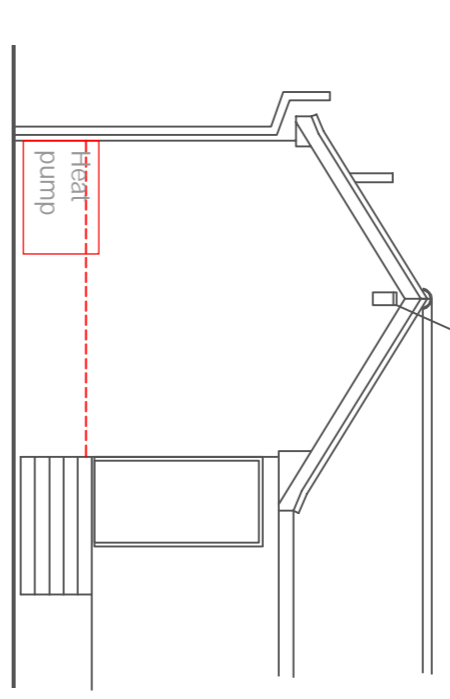


PROPOSED REAR (NORTH) ELEVATION (1:100)

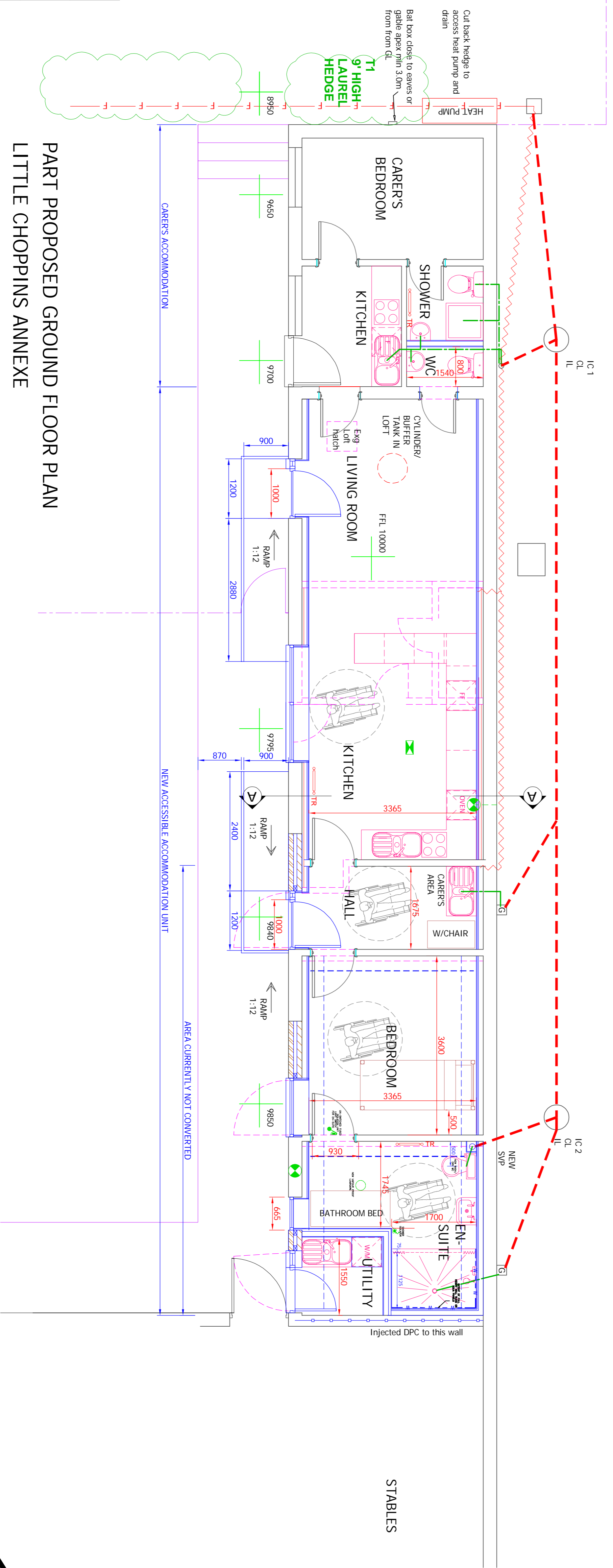


PROPOSED FRONT (SOUTH) ELEVATION (1:100)

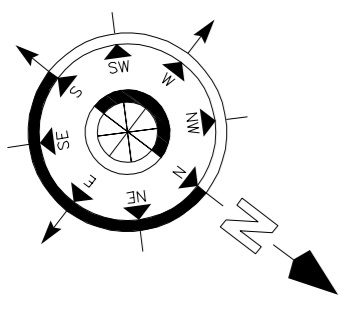
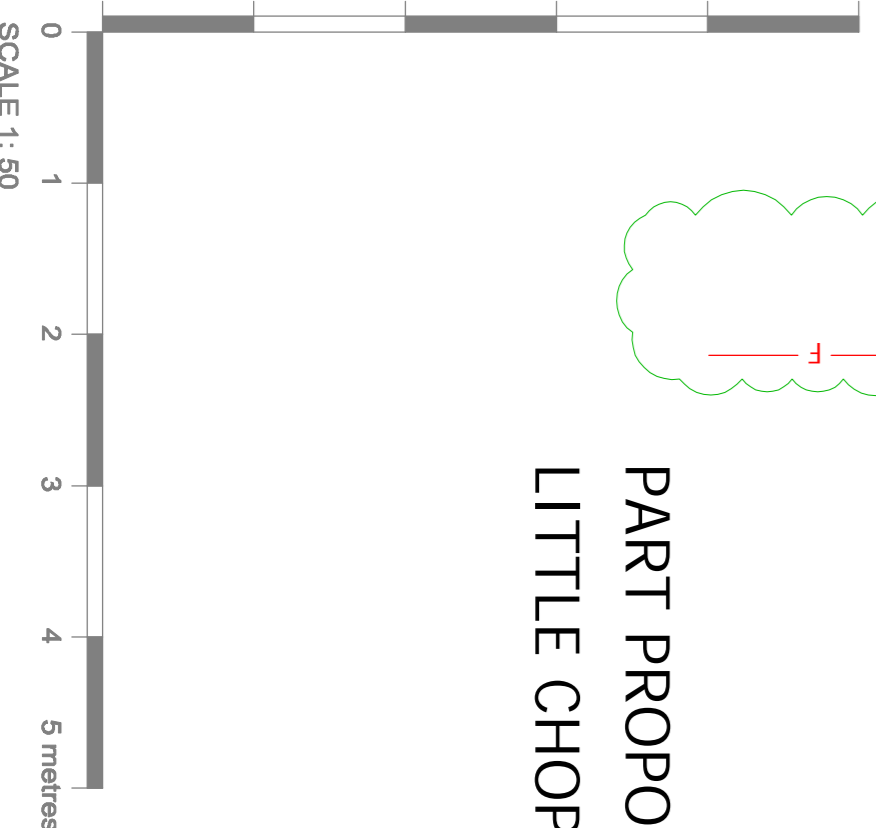


PROPOSED SIDE (WEST) ELEVATION (1:100)

- Proposed Annex:
- Walls - Cream painted brick with black plinth below dpc to match existing
  - Windows - Dark Grey PVC-U double glazed
  - Doors - Dark Grey PVC-U/composite double glazed



PART PROPOSED GROUND FLOOR PLAN  
LITTLE CHOPPINS ANNEXE



**NOTES**  
This drawing must not be reissued, loaned or copied without the written consent of Richard Vest Architectural Design Ltd.  
All errors, omissions, discrepancies should be reported to the originator immediately. All dimensions to be checked before site fabrication by the contractor. The sub-contractor or supplier. Do not scale plans. - use figures or grid dimensions where given. Any deviation from the drawing to be reported to the originator immediately.

The proposals incorporated in this drawing are designed to meet the requirements of the Building Regulations 2000, Approved Documents A to P with all current editions, and all the British Standards and Codes of Practice referred to therein.  
The drawing is prepared on the basis that the designer will give no site supervision and will have no further involvement once Local Authorities permission(s) has been obtained.  
The drawing shall be read in conjunction with Drawing Nos 23-29/10.11 & 20. The Specification of work; and the Structural Engineer's details and calculations.

Drawing issue status: CLIENT APPROVAL  PLANNING   
 PRELIMINARY  TENDER  CONSTRUCTION  AS-BUILT

**CDM REGULATIONS (DOMESTIC CLIENTS)**  
 The Principal Contractor is responsible for notifying the HSE if the project is to last more than 30 working days or involve more than 20 workers working simultaneously at any point in the project or exceed 500 person days. Upon completion of the work, if there has been more than one contractor involved in the project, the Principal Contractor shall provide a Health and Safety File to the Client. This shall contain as-built information, details of underground services; any hazardous materials used; health and safety maintenance instructions; maintenance manuals; all certificates and consents and details of any residual hazards that remain.

- LEGEND**
- - - - - EXISTING REMOVED
  - - - - - NEW INTERNAL WASTE PIPES
  - - - - - EXISTING FOUL DRAINAGE
  - - - - - NEW SW DRAINAGE
  - - - - - NEW FOUL DRAINAGE
  - - - - - REDUNDANT DRAINAGE
  - ○ ○ ○ ○ MANHOLE
  - ○ ○ ○ ○ SOIL VENT PIPE
  - NEW BACK INLET GULLY
  - NEW BRICKWORK
  - NEW BLOCKWORK
  - NEW STUDWORK PARTITION
  - SMOKE DETECTOR MAINS OPERATED INTERLINKED ONE EACH FLOOR
  - EXTRACT FAN INCLUDING INSULATED FLEXIBLE DUCT TO TERMINAL ON EXTERNAL WALL
  - RADIATOR
  - FLOOR BOX WITH 2X250'S AND 1XDATA OUTLET
  - TOWEL RAIL

REV	DATE	ISSUE	DESCRIPTION
A		PLANNING APPLICATION	

<b>ARCHITECTURAL DESIGN</b> RICHARD VEST ARCHITECTURAL DESIGN LTD Richard Vest BSC MRICS Chartered Building Surveyor 30 Rydal Way, Great Nottley, Braintree, CM17 7UG Tel : (01376) 348391; Mobile: 07949 824340, Email: r.charvester@charvest.co.uk Website: www.richardvest.co.uk		CLIENT <b>MR C W TAYLOR</b>		
PROJECT	LITTLE CHOPPINS CODDENHAM	CLIENT		
PROJECT	DISABILITY ACCESS IMPROVEMENTS	CLIENT		
SUBJECT	PART GROUND FLOOR PLAN & ELEVATIONS	DWG SIZE	DATE	SCALE
PROJECT	STABLE BLOCK - AS PROPOSED	A1	19/01/24	1:100
PROJECT	23-29	11	A	GRV