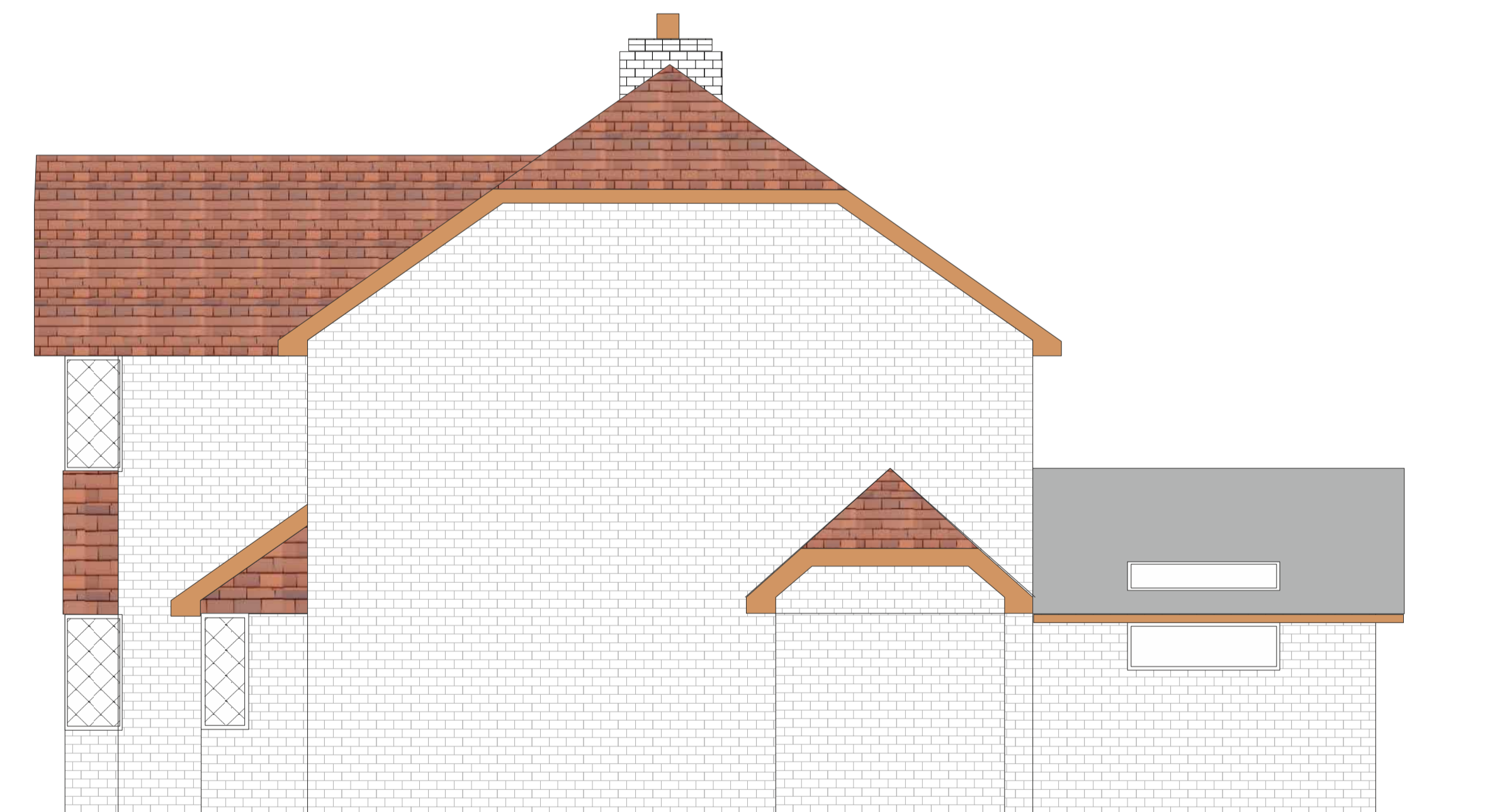




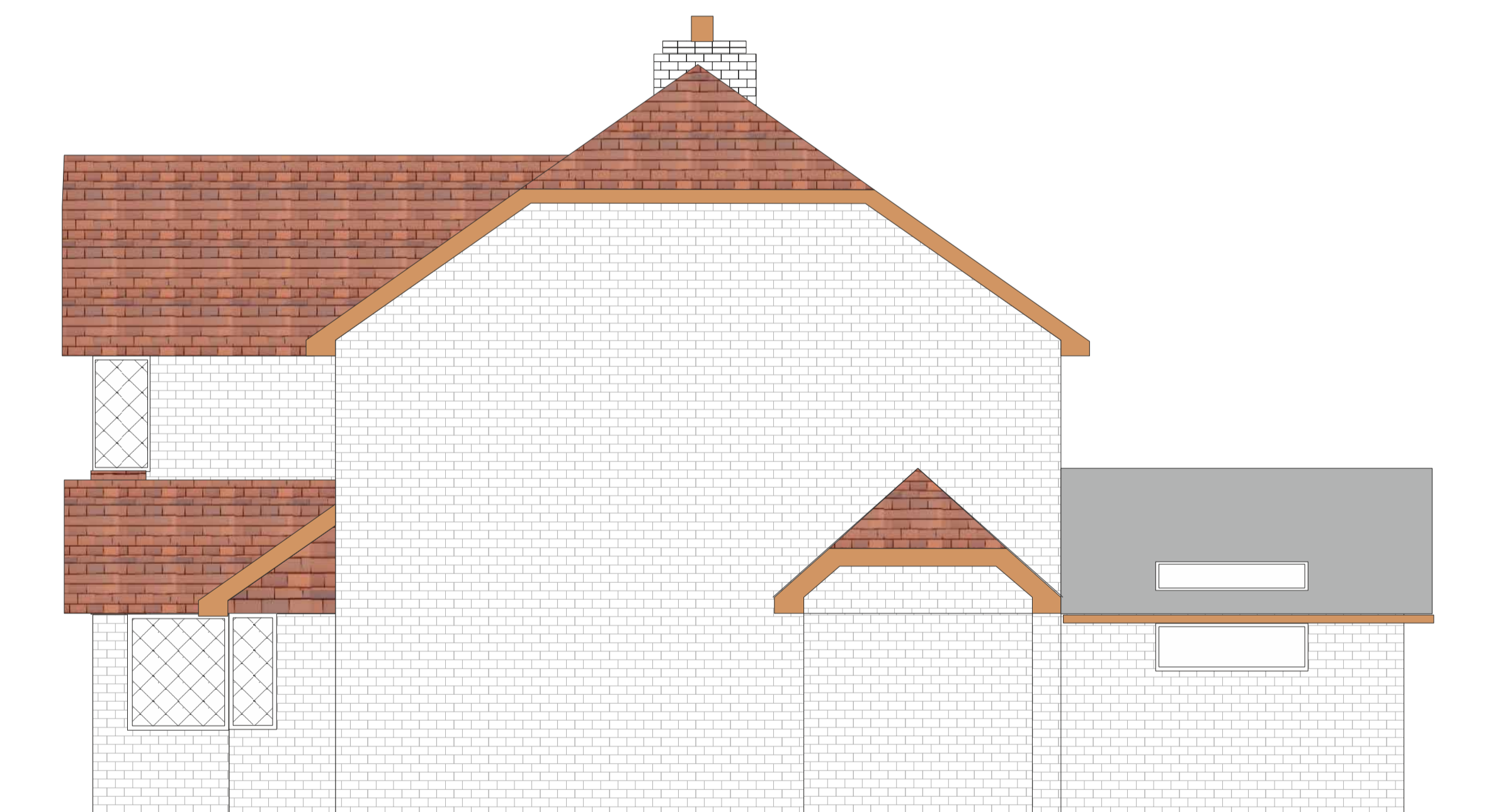
Existing Front (East) Elevation



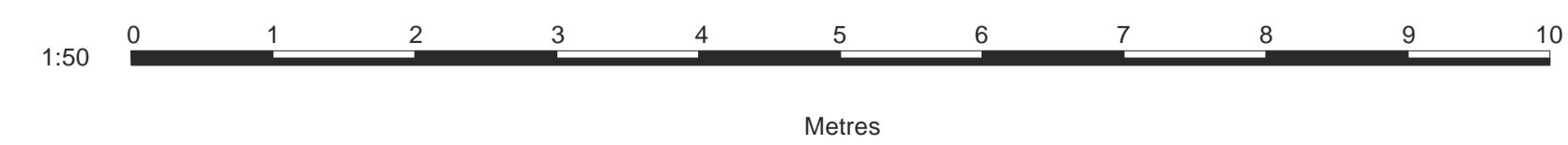
Proposed Front (East) Elevation



Existing (North) Elevation



Proposed (North) Elevation

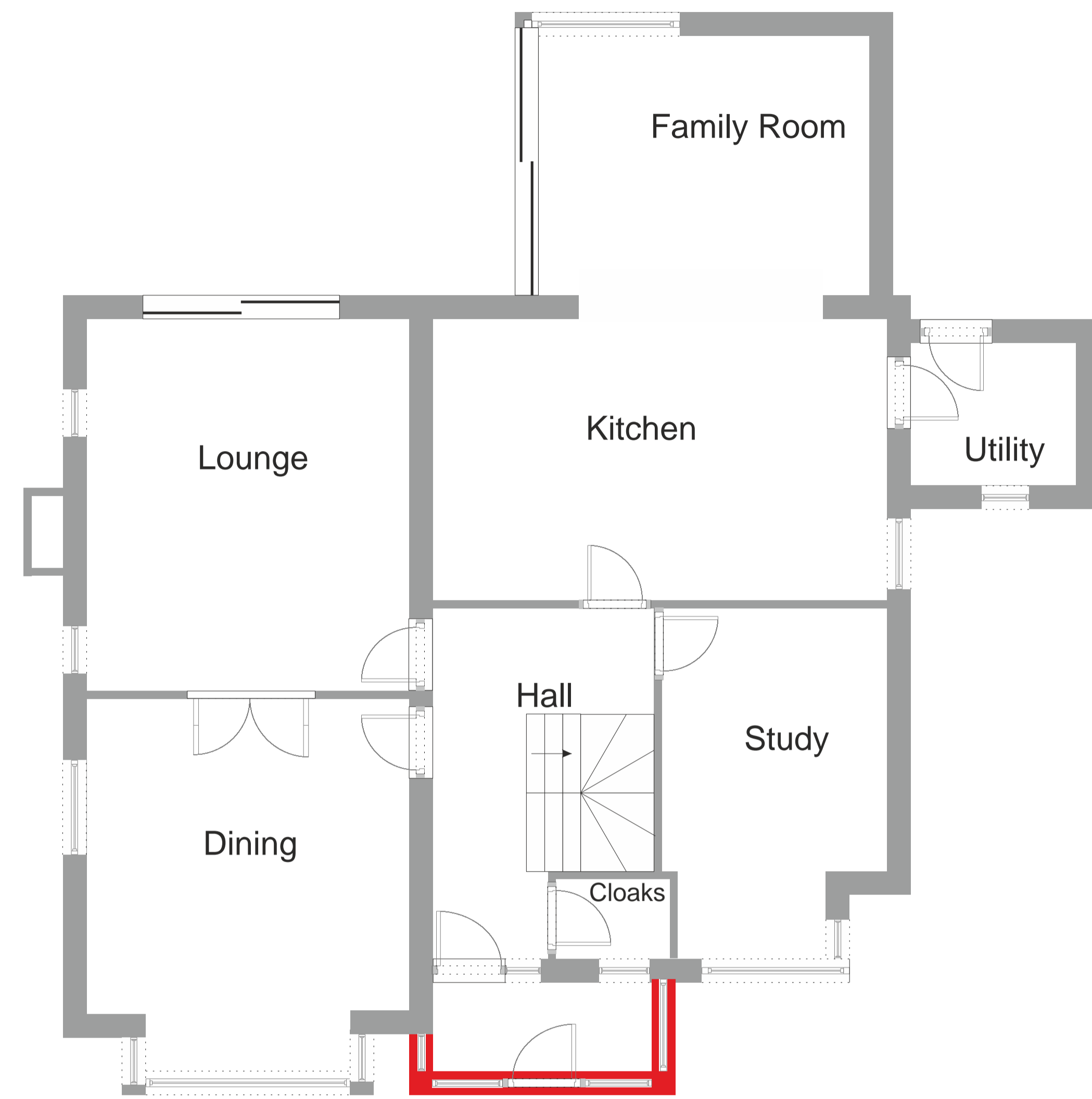


Client: Mr & Mrs L Todd  
 Address: 238 Springvale Road  
 Kings Worthy  
 Winchester  
 SO23 7LF  
 Project: Porch to Front  
 Details: Elevations  
 Scale: 1:50 on A0  
 Drawn by: LA Todd  
 Drawing: 238 Springvale Road Elevations  
 and Floor Plans.pdf  
 Date: 4/4/2023

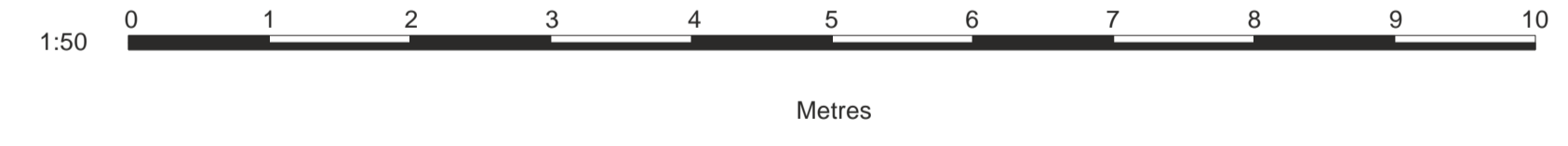




Existing Ground Floor Plan



Proposed Ground Floor Plan



Notes:

1. The proposed construction is a porch, ie, not a habitable space.
2. External walls to be of cavity construction with cavity insulation.
3. Bricks to match brick used in existing building. As Butterley Capel Multi Stock Red bricks are no longer manufactured, Oakthorp Red Multi is to be used as closest alternative.
4. Roof style and tiles to match original building, ie, Dreadnought Country Brown tiles. Valley tiles to be used where the new porch gable roof abuts lean-to roof to front of house, above study & entrance door.
5. Extant main entry door is worn and will be replaced with a similar door meeting current building regulation standards but at least 800mm wide to ensure wheelchair compatibility.
6. Additional built footprint of the new porch is over the asphalt/slab drive so there will be no adverse impact on of surface water drainage at the property.
7. The main parking area is to the north of the dwelling so the new porch will make no material difference to vehicle parking and turning arrangements.
8. Ventilation in the cloakroom which will be enclosed by the new porch structure will be augmented by a ceiling vent ducted to a new roof vent tile.

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Date:	4/4/2023