



PHOTOGRAPHIC SURVEY & SUPPORTING DOCUMENT

PLANNING/LISTED BUILDING CONSENT

No. 10
Crovie
Aberdeenshire

aka
Annie Kenyon | Architects Ltd

Annie Kenyon Architects Ltd
North Gate Lodge
Haddo
Inverkeithny
Aberdeenshire
AB54 7XB
01464 851621
www.akenyonarchitects.com

CONTENTS

1. SUPPORTING STATEMENT

2. GROUND FLOOR PLAN

3. INTERIOR PHOTOS

4. FIRST FLOOR PLAN

5. INTERIOR PHOTOS

SIMPLE NOT COMPLICATED

DON'T MAKE SOMETHING
UNLESS IT'S BOTH
NECESSARY AND USEFUL;
BUT IF IT'S BOTH NECESSARY
AND USEFUL, DON'T HESITATE
TO MAKE IT BEAUTIFUL

1. SUPPORTING STATEMENT

This statement has been prepared to support the Planning and Listed building Consent Applications to Aberdeenshire Council with regards to the proposed internal & external alterations to Number 10, Crovie.

Built Heritage have highlighted that ‘it is difficult to determine the acceptability of alterations to a listed building without a thorough understanding of the evolution of the property especially when evaluating the proposed remodelling of its interior. Indeed, the existing floor plan and fittings are often important in defining their special interest and perceived value which gave rise to its original designation.

The interior of a listed building is therefore afforded statutory protection irrespective of the list description not making specific reference to individual architectural fixtures. A proposal for interior alteration therefore requires careful consideration and should be based on an overriding premise to retain fittings that are judged to contribute to the character and architectural significance of the property. This is not restricted solely to original elements but later interventions which show how the building has adapted to meet social and cultural need as well as influenced by advances in technology and changes in fashion.’

Please refer to the photographs within which documents the interior including all those elements subject to removal or change to allow Built Heritage to make an informed judgement on the acceptability of the proposed works.

We provide the following qualifications to support the proposed internal and external alterations and how they adhere with the overriding premise of needing to respect the unique characteristics and special interest of the listed building.

Internal Alterations

The proposed internal alterations predominantly involve the removal of non-original later additions, thereby returning the floor plan back to a layout that more closely resembles the original plan. A different floor pattern/finish could be proposed as a physical historic recording of where the down-takings are proposed for prosperity, highlighting the development of the plan and its return to a more open plan arrangement.

The opening up of the ground floor creates more useable and accessible space that reflects how the building continually needs to adapt to meet social and cultural requirements, as well as advances in technology and changes in fashion. The existing kitchen is small and lacks daylight, views and has no immediate connection to the living/dining space. It is disconnected both physically and socially. It is also directly adjacent to the bathroom and wc. Having an open plan kitchen located within the centre of the plan, rather than disconnected at the rear, provides a social hub and reflects modern day requirements. A healthy space to gather, to eat, share conversation, and socially connected with friends & family within a central open space.

The current floor creates a series of internal inner rooms, and consideration needs to be given to creating a safer layout, in terms of fire escape. The proposals do this by removing inner rooms and providing multiple routes for escape.

The current rear extension is also a non-original later addition. It currently has an internal stepped non-accessible layout. The proposal to lower the existing internal floor to allow for a fully accessible layout, form an intermediate floor and erect a new roof replacing the existing asbestos roof with scotch slate to match existing. This allows for a fully accessible bathroom at ground level located in a more private part of the floor plan towards the rear.

The existing rear gable and chimney is to be removed and rebuilt in light weight construction to match existing.

1. SUPPORTING STATEMENT

At first floor level, the existing stair is to be retained and refurbished, and the existing bedroom is to be altered to allow for an en-suite and extended to the rear.

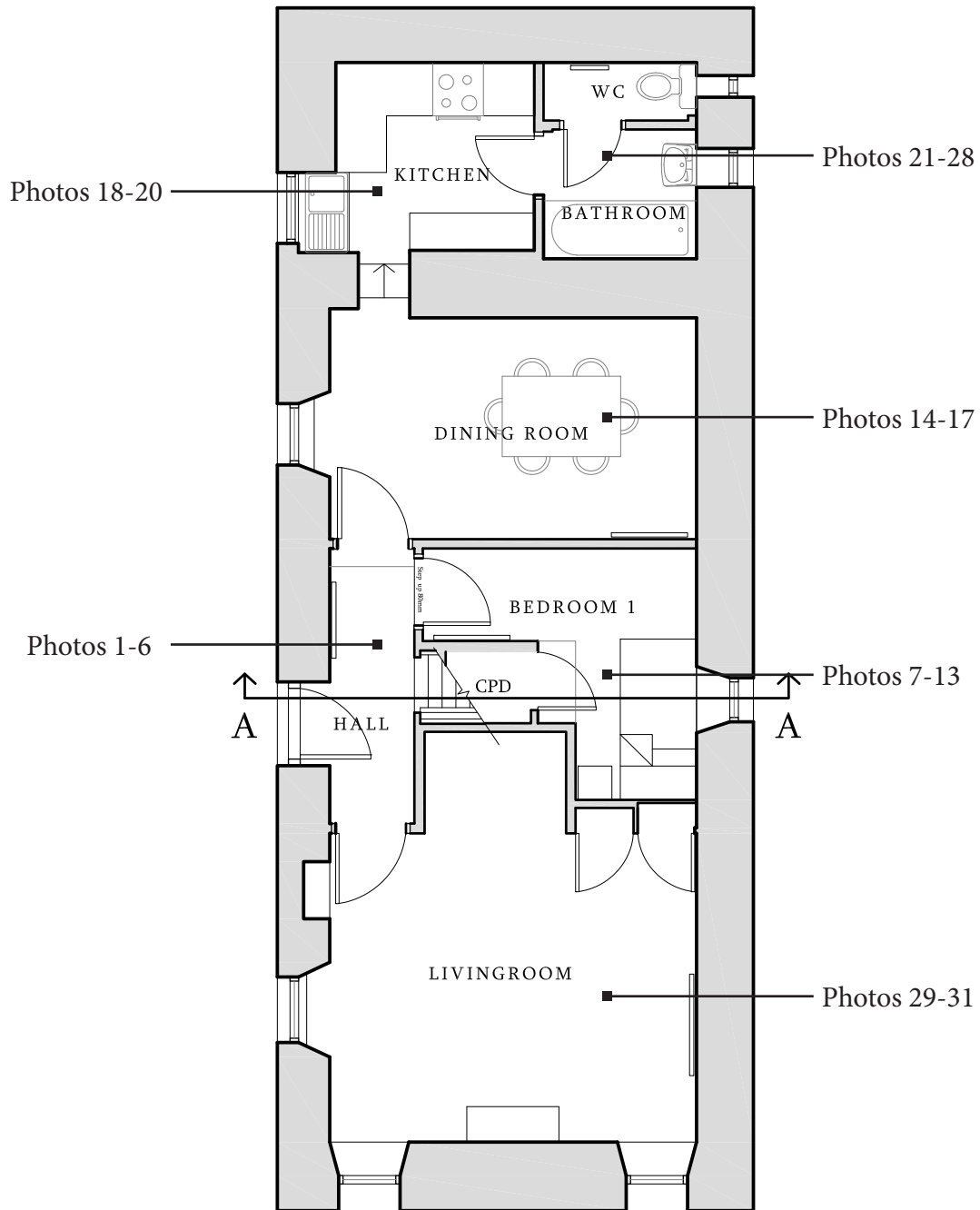
Internally it is proposed to sympathetically refurbish all fixtures and finishes where possible, with new kitchen and sanitaryware, new flooring, new joinery to match existing with well-considered detailing, and fully decorated to a high standard. All existing timber linings are to be retained, sanded down, and white-washed. Internal walls to receive skim plaster finish.

Exterior

Externally it is proposed to remove all the existing concrete re-harling and add a lime render to be white/off-white with light blue coloured reveals to openings. The existing rainwater goods are to be replaced with new cast iron goods which will have a gloss paint finish colour blue. The existing sheet roof above the extension is to be removed and will be replaced with a new slate finish to match existing main roof. All existing refurbished and new windows & doors to be finished externally in Dulux professional exterior gloss paint -Dulux heritage colour – ‘Boathouse Blue’.

In summary it is considered that the proposals are sympathetic, modest in scale, traditional, and would be a positive contribution to the conservation area of .

2. FLOOR PLAN



Ground Floor Plan 1:100

2. INTERIOR PHOTOS



PHOTO 01

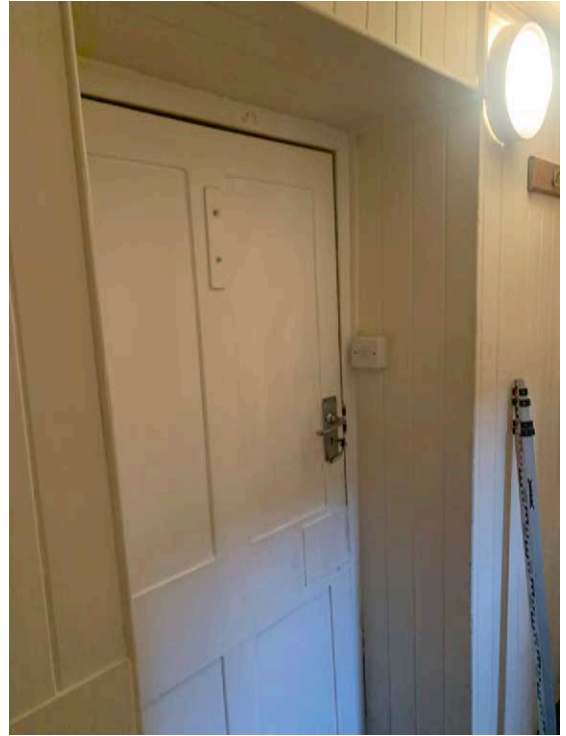


PHOTO 02



PHOTO 03

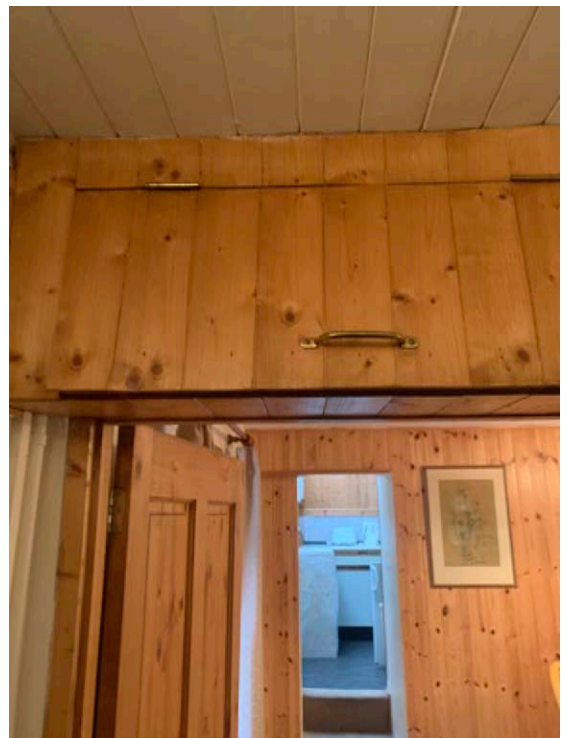


PHOTO 04

2. INTERIOR PHOTOS



PHOTO 05



PHOTO 06



PHOTO 07



PHOTO 08

2. INTERIOR PHOTOS



PHOTO 09

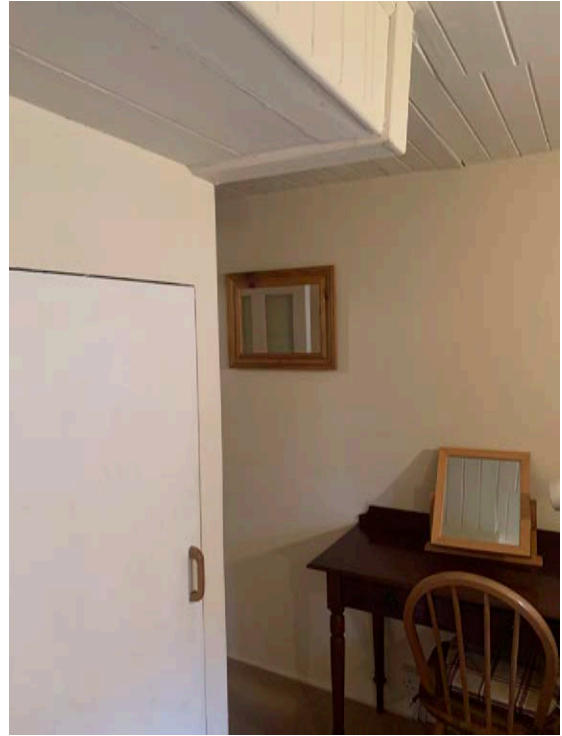


PHOTO 10



PHOTO 11



PHOTO 12

2. INTERIOR PHOTOS



PHOTO 13



PHOTO 14



PHOTO 15



PHOTO 16

2. INTERIOR PHOTOS



PHOTO 17



PHOTO 18



PHOTO 19



PHOTO 20

2. INTERIOR PHOTOS

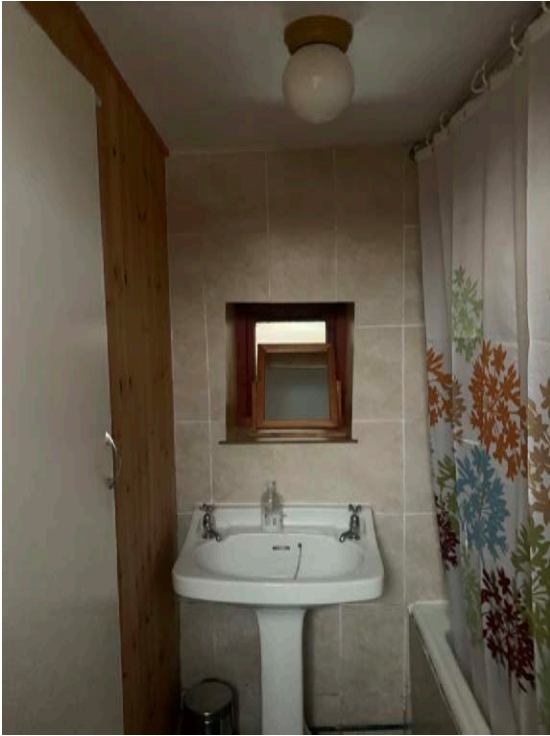


PHOTO 21

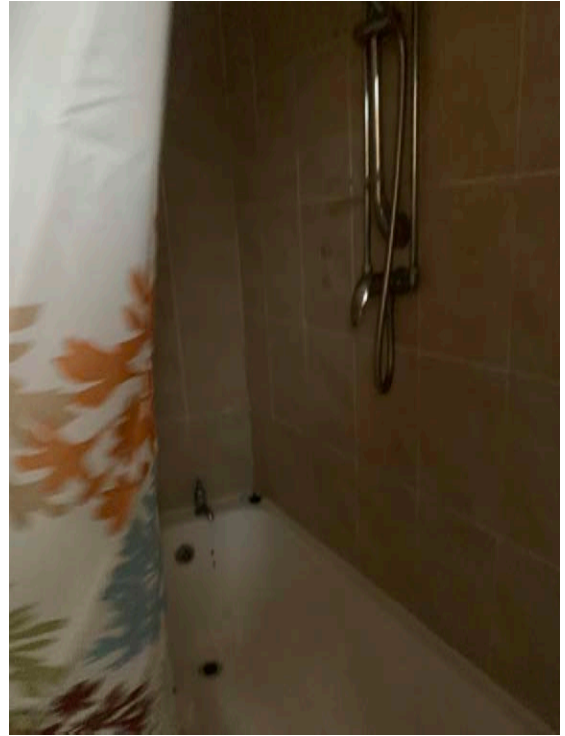


PHOTO 22



PHOTO 23



PHOTO 24

2. INTERIOR PHOTOS



PHOTO 25

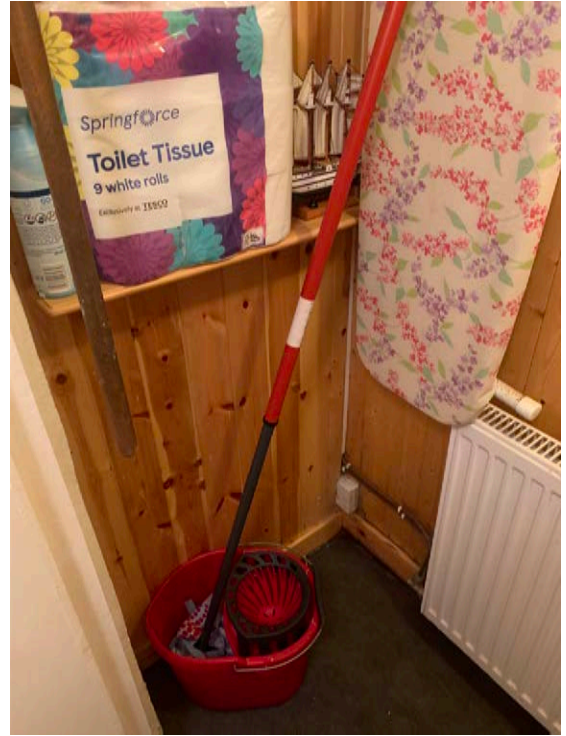


PHOTO 26



PHOTO 27

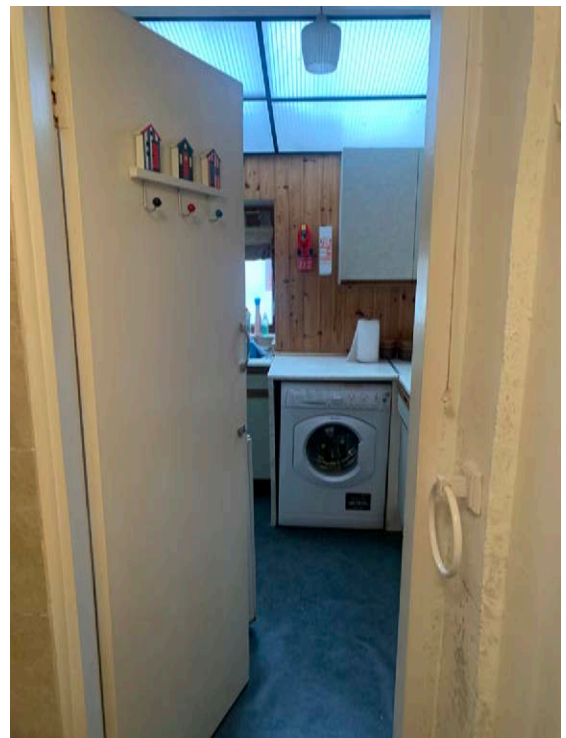


PHOTO 28

2. INTERIOR PHOTOS



PHOTO 29

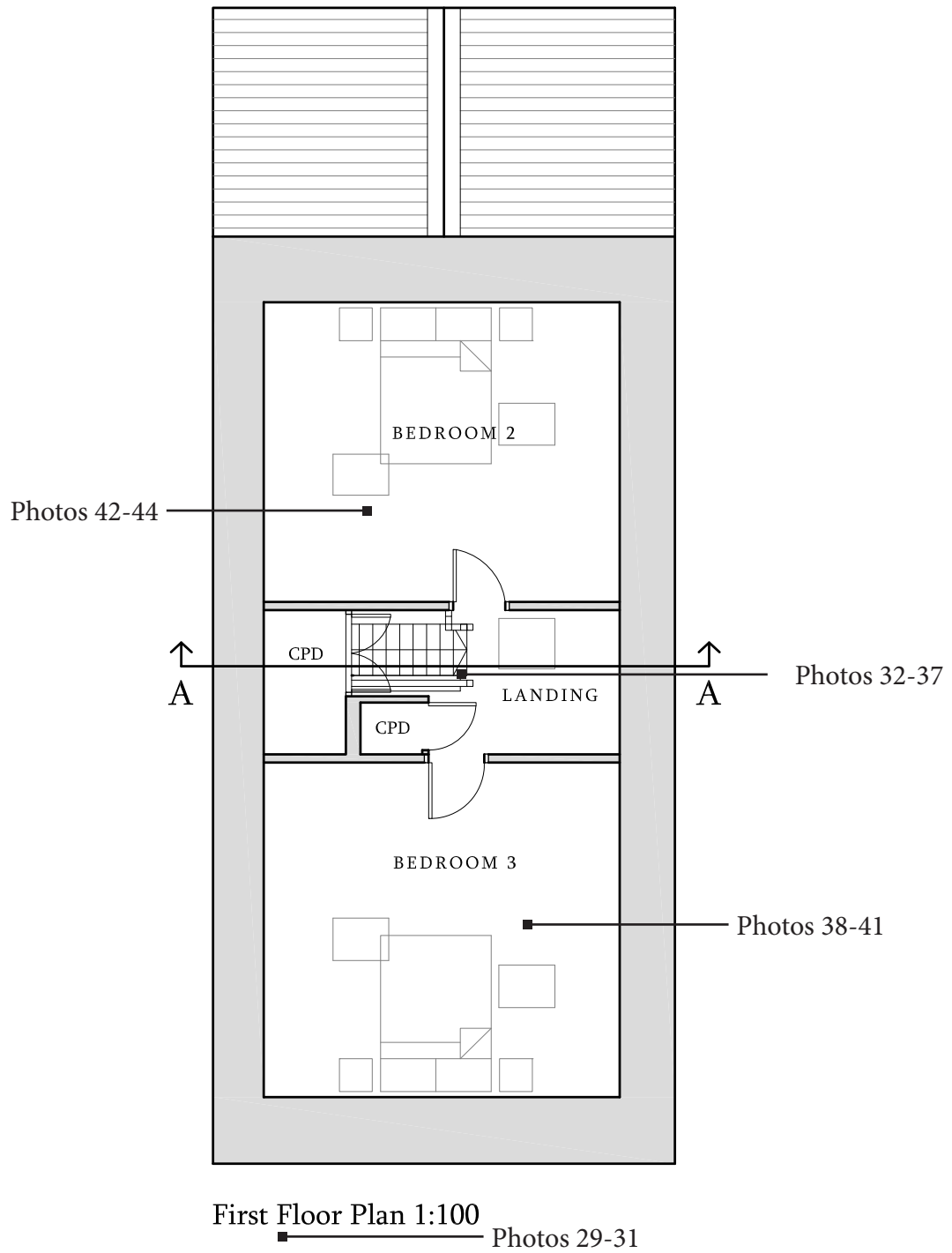


PHOTO 30



PHOTO 31

3. FIRST FLOOR



4. INTERIOR PHOTOS



PHOTO 32



PHOTO 33



PHOTO 34



PHOTO 35

4. INTERIOR PHOTOS



PHOTO 36

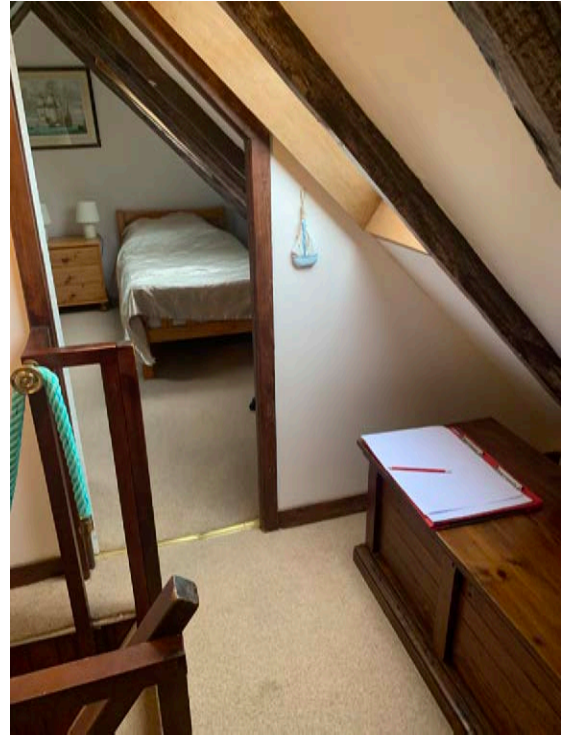


PHOTO 37



PHOTO 38

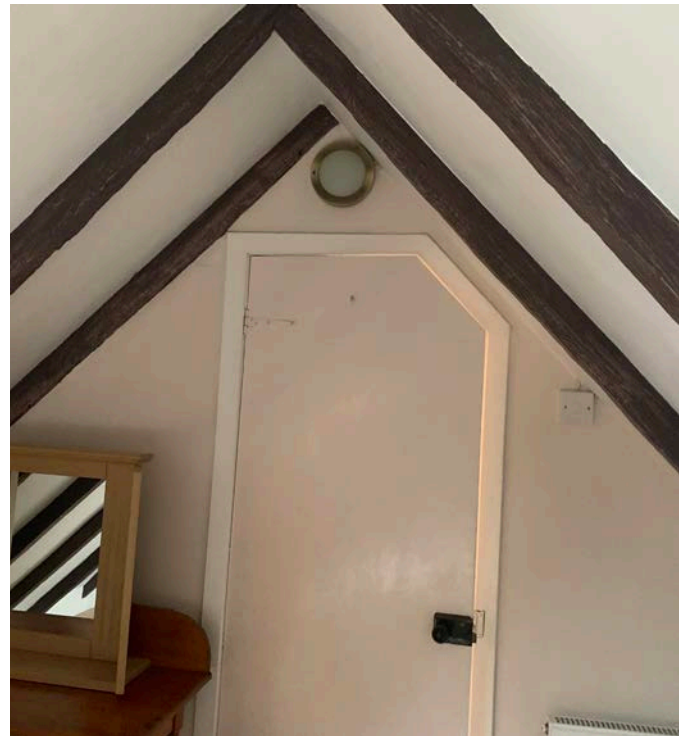


PHOTO 39

4. INTERIOR PHOTOS



PHOTO 40



PHOTO 41



PHOTO 42



PHOTO 43

4. INTERIOR PHOTOS



PHOTO 41



PHOTO 42

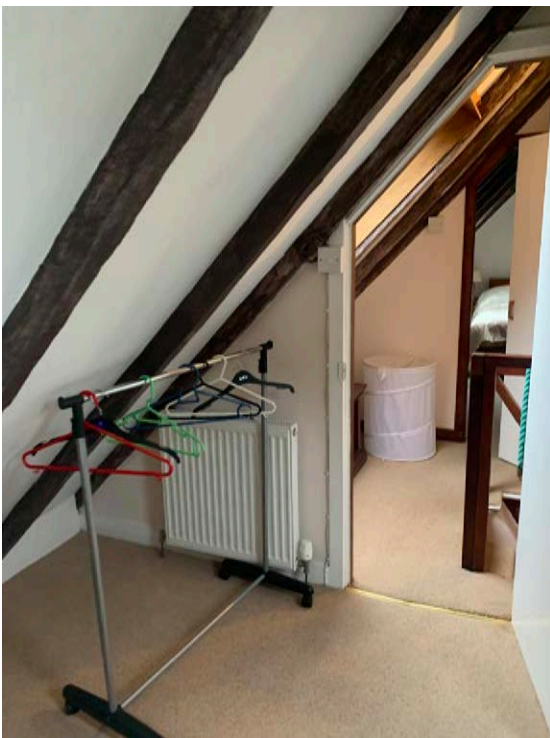


PHOTO 43

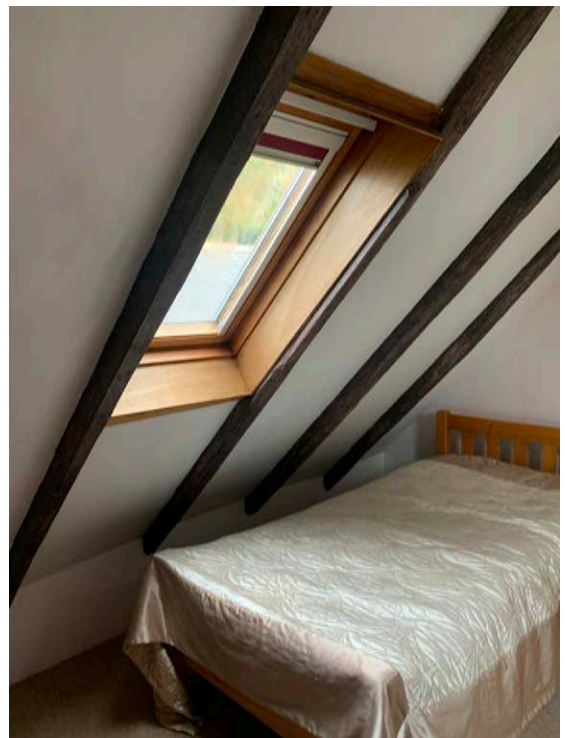


PHOTO 44