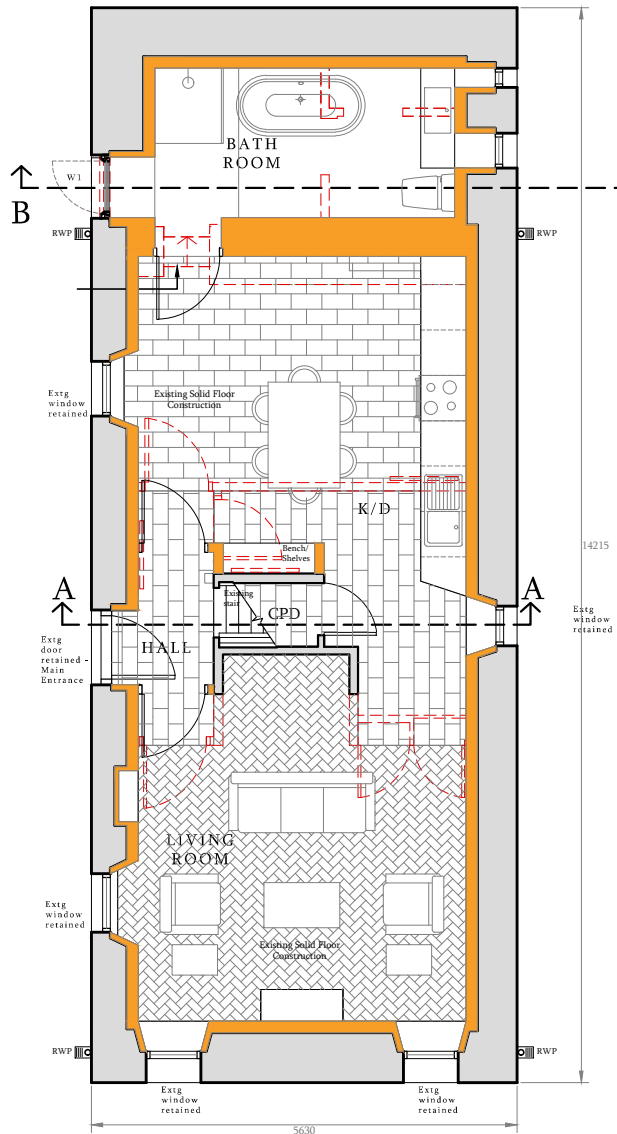
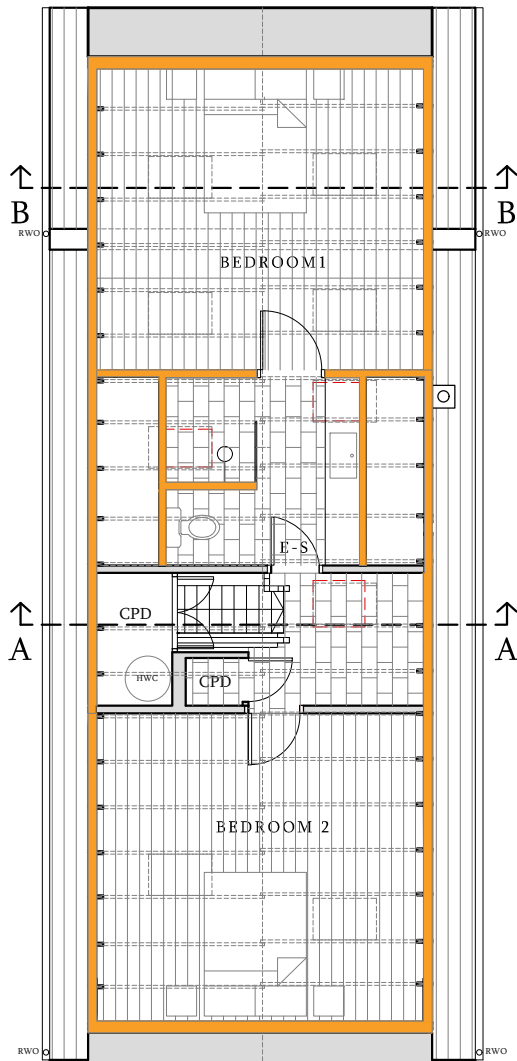


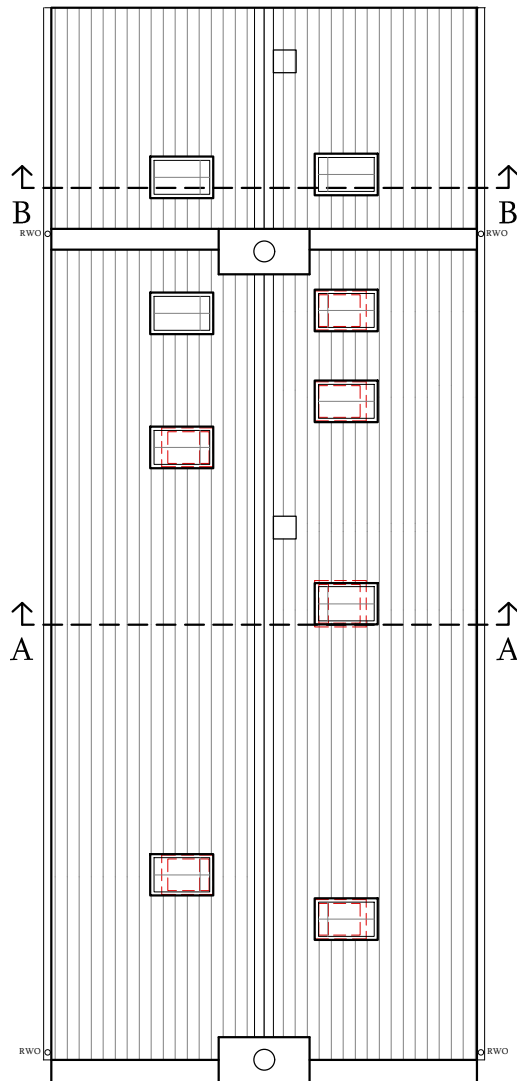
- PLANNING NOTES:**
- Alterations and works to restore existing cottage;
 - Allow for new lowered floor, new intermediate floor, and new roof within existing rear extension.
 - Excavate existing concrete/ earth floor. Lay in compacted and blinded hardcore, rigid insulation, Damp proof membrane and form reinforced concrete slab for underfloor heating and floor finish.
 - Allow for replacing any existing defective external lintels in new/ reclaimed sandstone.
 - Allow for replacing all existing defective timber safe lintels in precast pre-stressed concrete lintels.
 - Allow for replacement skewes in new or reclaimed stone to match existing.
 - Allow for removal of existing cement re-harl and add new external finish of traditional lime harl render with traditional lime wash finish - colour to be 'off-white'.
 - Form new roof using timber attic style trusses, with timber sarking, breathable roofing membrane and Scotch slate to match existing.
 - Insulate between and under rafters and finish in plasterboard.
 - All flashings and valleys to be in Code 6 Lead to LSA traditional written details.
 - Rainwater goods to be in traditional cast iron with gloss paint finish colour 'Blue'.
 - New rooflights to be double glazed top hung conservation rooflights by the Rooflight company.Semi-gloss paint finish in Black RAL 9005 colour. If available allow for stainless steel frame due to coastal location.
 - New window W1 to be timber framed with slimline double glazed sash & case and casement design, with ovolo moulded astragals, and concealed trickle ventilation - see detail.
 - All existing refurbished and new windows & doors to be finished externally in Dulux Heritage exterior use gloss paint - colour 'Boathouse Blue'.
 - All existing timber linings to be white-washed with eggshell white coloured paint. All existing plasterboard finish to be made good, and skim plaster finish.
 - New timber facings/ architraves/ skirtings to be moulded redwood with eggshell painted finish.
 - Existing timber stair with timber handrail to be retained and made good.
 - Erect new internal partitions in timber stud with sound insulation between studs and finished both sides in plasterboard for painted finish.
 - Supply and install new sanitary fittings as shown.
 - Connect to existing foulwater drainage - public sewer.
 - Heating and hot water to be electric system with rads and underfloor heating.
 - Allow for new electrical consumer unit and layout.
 - Floors to be finished with alternative materials to help define historic plan arrangement.



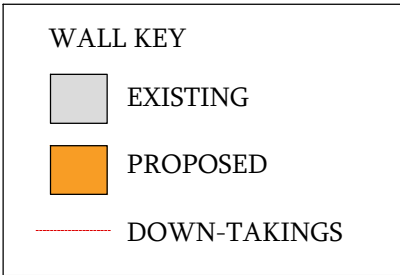
Ground Floor Plan 1:100



First Floor Plan 1:100

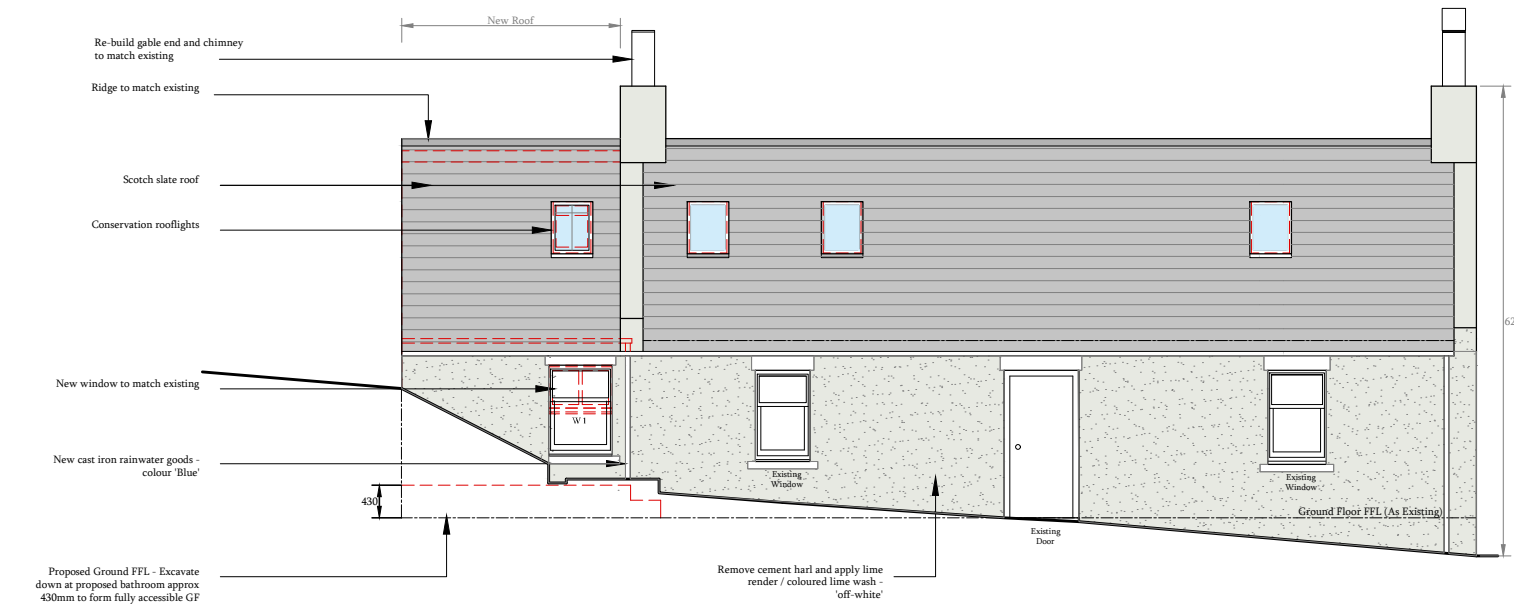


Roof Plan 1:100

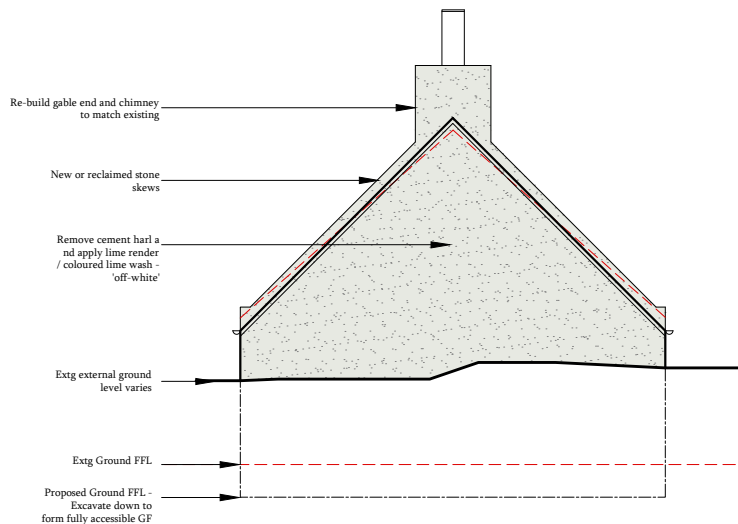


- PLANNING NOTES:**
- For the existing walls we would propose that the existing timber wall linings are carefully taken down in a methodical manner to allow for some vapour permeable wood fibre insulation to be installed behind, maintaining an air cavity. Propose to then re-fit all the existing linings back in place. This will allow a careful inspection on site behind the existing timber linings and to repair/address any hidden issues such as damp etc.
 - For the existing floor we would propose to remove the existing carpet finish and lay a 10mm thick ultratherm aerogel board with 3mm impact layer, and new floor finish on top.
 - For the existing roof we would propose to remove the plasterboard finish and install vapour permeable wood fibre insulation between joists and reinstate plasterboard finish. All the existing exposed timber trusses/rafters to remain.
 - Wall construction Type 02 - Existing harled walls - Thermal Upgrade
 - Lime harling/linewash (existing cement harl removed),
 - Existing stone wall,
 - Air cavity,
 - 75mm Pavatherm insulation behind existing linings (or thickness of timber battens),
 - Existing internal linings all retained/re-instated
 - Roof Type 02 - Scotch Slate (House) - Thermal Upgrade
 - Existing Scotch slate,
 - Existing breather membrane,
 - Existing sarking boards,
 - Full fill Pavatherm insulation between existing rafters,
 - 50mm Isolair multi insulation over rafters to prevent cold bridging,
 - 25mm battens to provide service cavity,
 - 12.5mm plasterboard, skim plaster finish
 - Floor Construction Type 02 - Ground Floor (House) - Thermal Upgrade
 - Flooring (tbc by client),
 - 3mm high impact layer bonded to,
 - 10mm thick ultratherm aerogel insulation boards,
 - Existing concrete slab

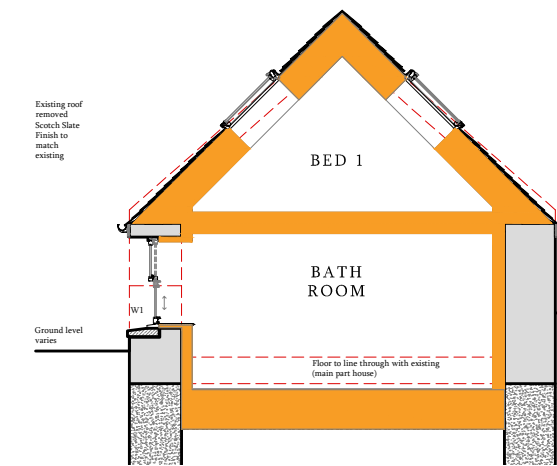
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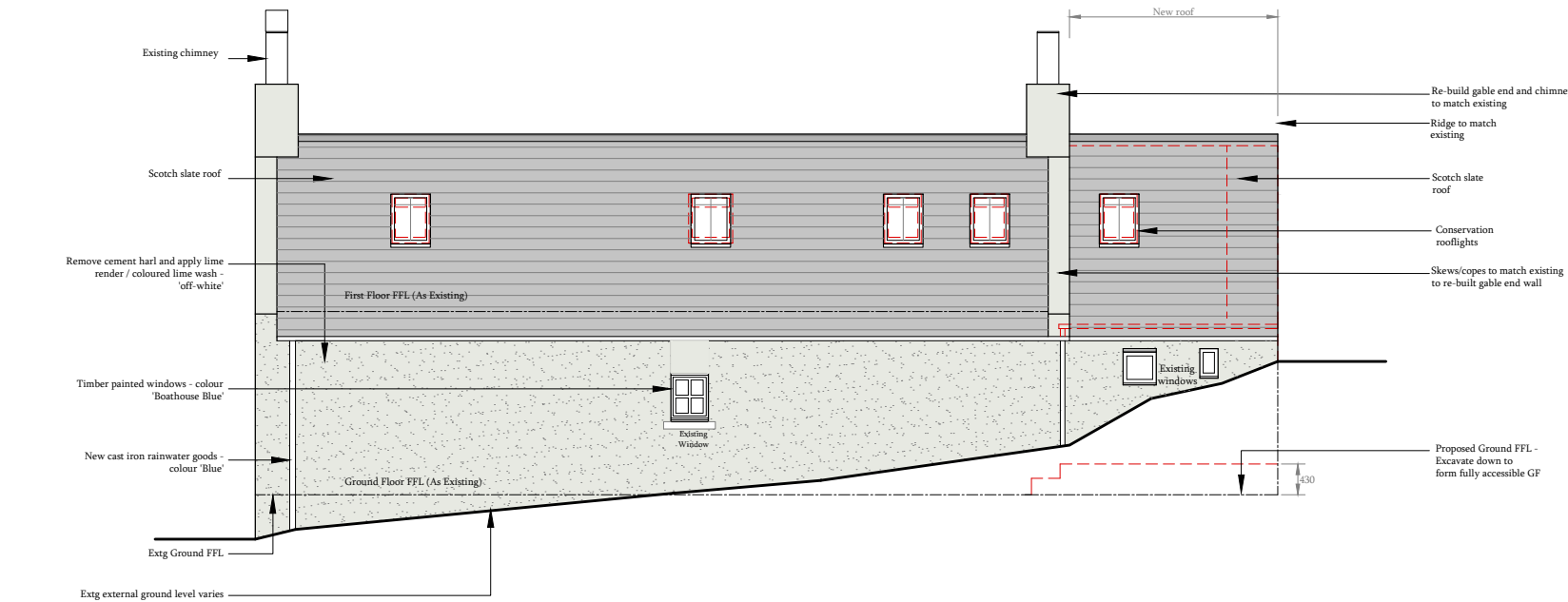
North East Elevation 1:100



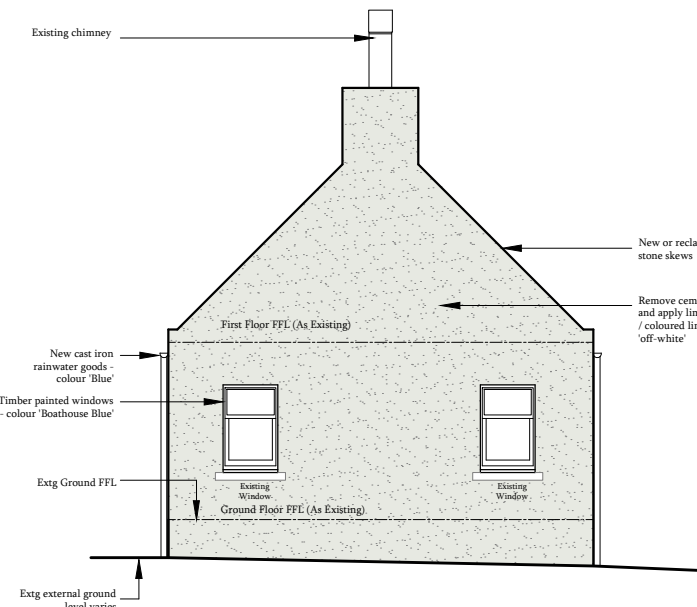
South East Elevation 1:100



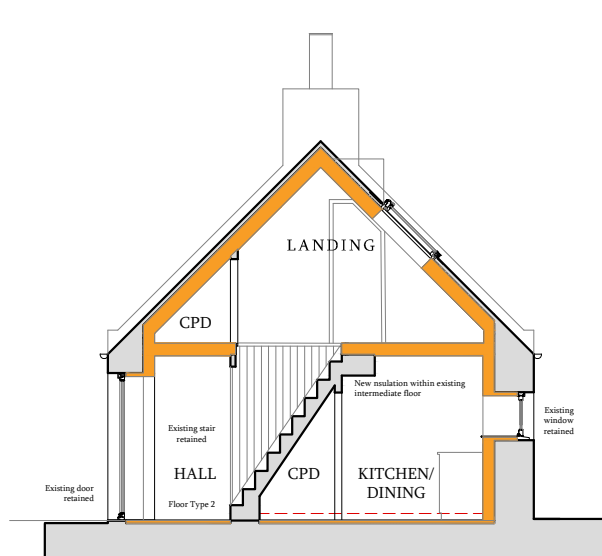
Site Section B-B 1:100



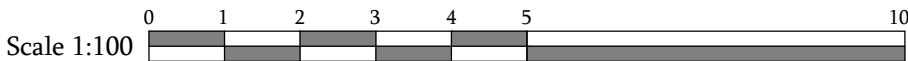
South West Elevation 1:100



North West Elevation 1:100



Site Section A-A 1:100



PLANNING

Rev	Description	Date
	 North Gate Lodge Haddo, Inverkeithny Huntly, Aberdeenshire AB54 7XB tel/fax: 01464 851 621 www.akenyonarchitects.com info@akenyonarchitects.com	
Client Alastair Price, Crovie Ltd.		
Job Title No.10 Crovie Aberdeenshire		
Drawing Title As Proposed Plans, Sections, & Elevations		
CAD Reference		
Scale at A2 1:100	Drawn AW	Chk Date APR 24
Job No. 790	Drawing No. P-05	Revision No. (-)