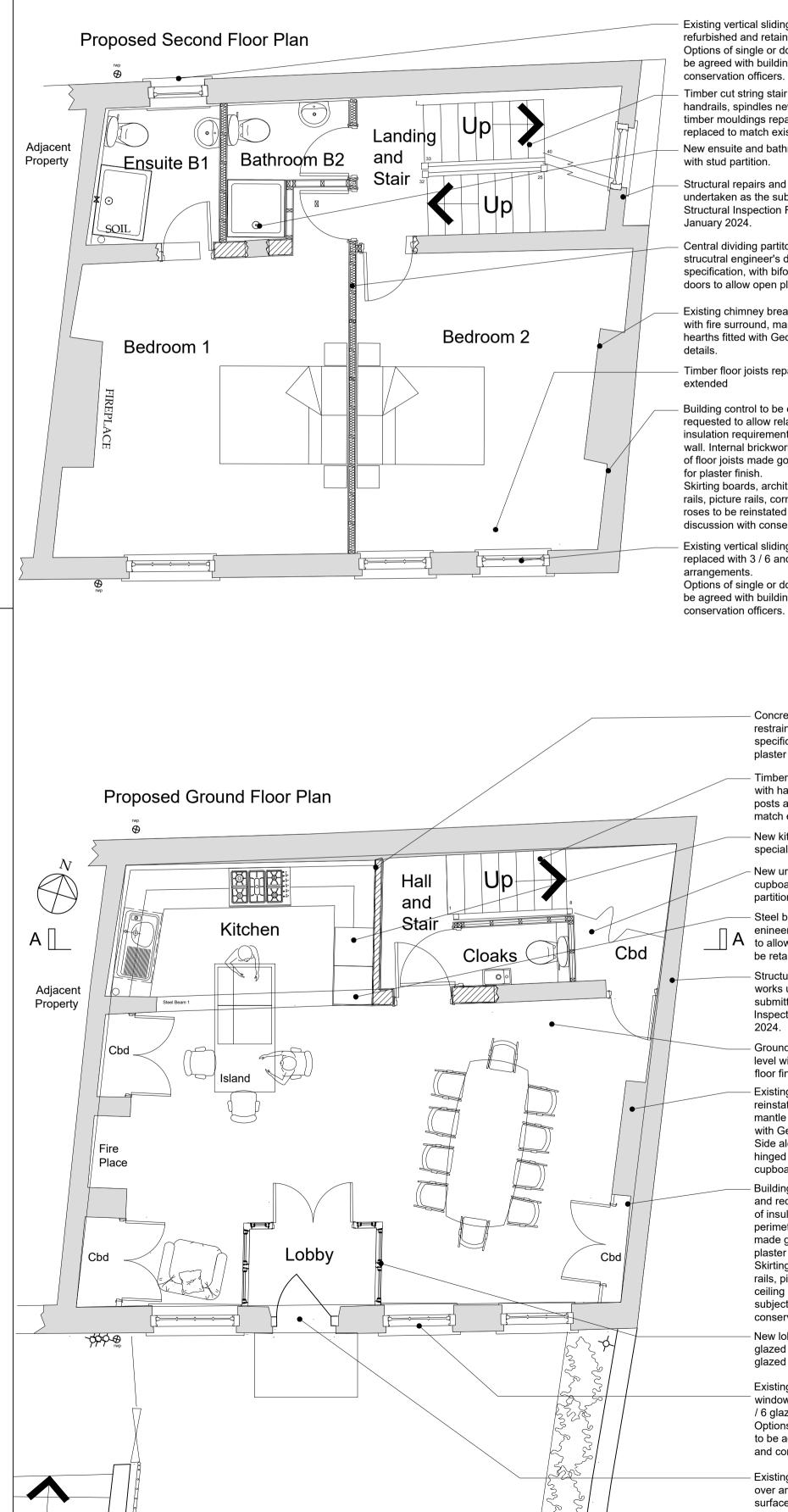
# Proposed Plans

Scale 1:50 @ A1



Existing vertical sliding sash window refurbished and retained. Options of single or double glazed to be agreed with building control and

Timber cut string stair reinstated with handrails, spindles newel posts and timber mouldings repaired and replaced to match existing.

New ensuite and bathroom formed with stud partition.

Adjacent

Property

Structural repairs and remedial works undertaken as the submitted Visual Structural Inspection Report dated January 2024.

Central dividing partiton formed to strucutral engineer's detail and specification, with bifolding hinged doors to allow open plan option.

Existing chimney breasts reinstated with fire surround, mantle piece, and hearths fitted with Georgian period

Timber floor joists repaired and

Building control to be consulted and requested to allow relaxation of insulation requirement to perimeter wall. Internal brickwork and underside of floor joists made good and prepare for plaster finish.

Skirting boards, architraves, dado rails, picture rails, cornices and ceiling roses to be reinstated subject to discussion with conservation officer

Existing vertical sliding sash windows replaced with 3 / 6 and 6 / 6 glazing arrangements. Options of single or double glazed to

be agreed with building control and conservation officers.

> Concrete block wall with additional restraints to structural engineer's specification and detail with plaster finish.

> Timber cut string stair reinstated with handrails, spindles and newel posts and timber mouldings to match existing.

New kitchen and island unit to specialists design and detail

New under stair cloak room and cupboard formed with stud partition.

Steel beam 1 to structural enineer's specification and detail A to allow open plan ground floor to be retained.

> Structural repairs and remedial works undertaken as the submitted Visual Structural Inspection Report dated January 2024.

Ground floor reinstated at correct level with insulated floor slab and floor finish to Client's approval.

Existing chimney breasts reinstated with fire surround, mantle piece, and hearths fitted with Georgian period details. Side alcoves fitted with pairs of hinged doors to form storage cupboards.

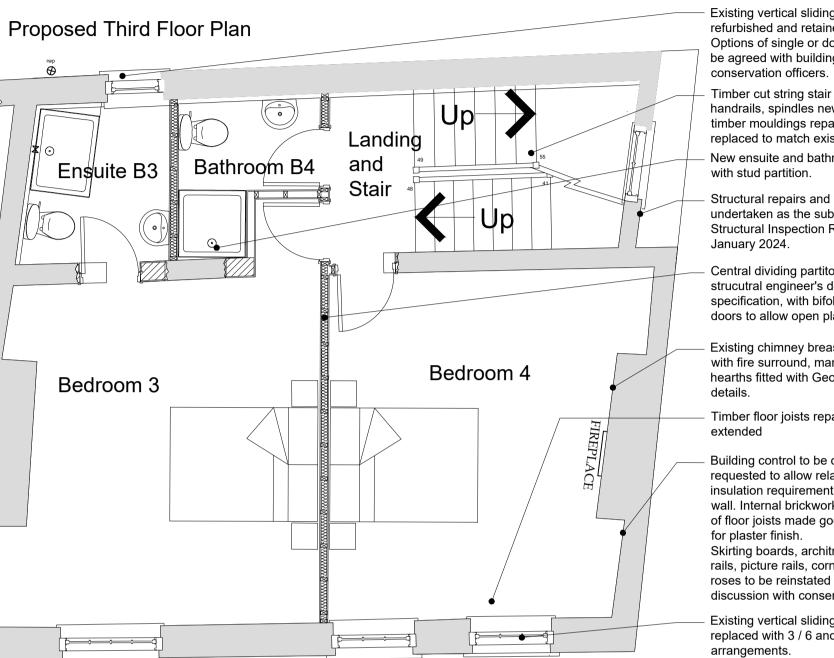
Building control to be consulted and requested to allow relaxation of insulation requirement to perimeter wall. Internal brickwork made good and prepared for plaster finish.

Skirting boards, architraves, dado rails, picture rails, cornices and ceiling roses to be reinstated subject to discussion with conservation officer

New lobby formed with fixed glazed panel partitions and pair of glazed internal doors.

Existing vertical sliding sash windows replaced with 3 / 6 and 6 / 6 glazing arrangements. Options of single or double glazed to be agreed with building control and conservation officers.

Existing six panel door, fan-light over and frame retained and surface finishes made good.



Existing vertical sliding sash window refurbished and retained. Options of single or double glazed to be agreed with building control and

Timber cut string stair reinstated with handrails, spindles newel posts and timber mouldings repaired and replaced to match existing.

New ensuite and bathroom formed with stud partition.

Structural repairs and remedial works undertaken as the submitted Visual Structural Inspection Report dated January 2024.

Central dividing partiton formed to strucutral engineer's detail and specification, with bifolding hinged doors to allow open plan option.

Existing chimney breasts reinstated with fire surround, mantle piece, and hearths fitted with Georgian period details.

Timber floor joists repaired and extended

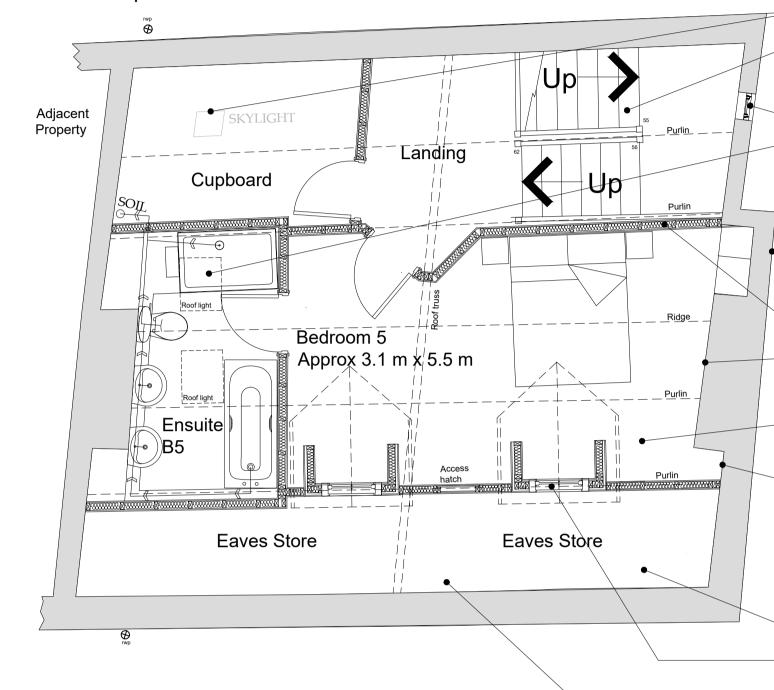
Building control to be consulted and requested to allow relaxation of insulation requirement to perimeter wall. Internal brickwork and underside of floor joists made good and prepared for plaster finish.

Skirting boards, architraves, dado rails, picture rails, cornices and ceiling roses to be reinstated subject to discussion with conservation officer

Existing vertical sliding sash windows replaced with 3 / 6 and 6 / 6 glazing arrangements. Options of single or double glazed to

be agreed with building control and conservation officers.

### Proposed Loft Floor Plan



- Existing vertical sliding sash window refurbished and retained. Options of single or double glazed to be agreed with building control and conservation officers.

Timber cut string stair reinstated with handrails, spindles newel posts and timber mouldings repaired and replaced to match existing.

New Wc and utility / laundry formed with stud partition.

Structural repairs and remedial works undertaken as the submitted Visual Structural Inspection Report dated January 2024.

Central dividing partiton formed to strucutral engineer's detail and specification, with bifolding hinged doors to allow open plan option.

- Existing chimney breasts reinstated with fire surround, mantle piece, and hearths fitted with Georgian period details.

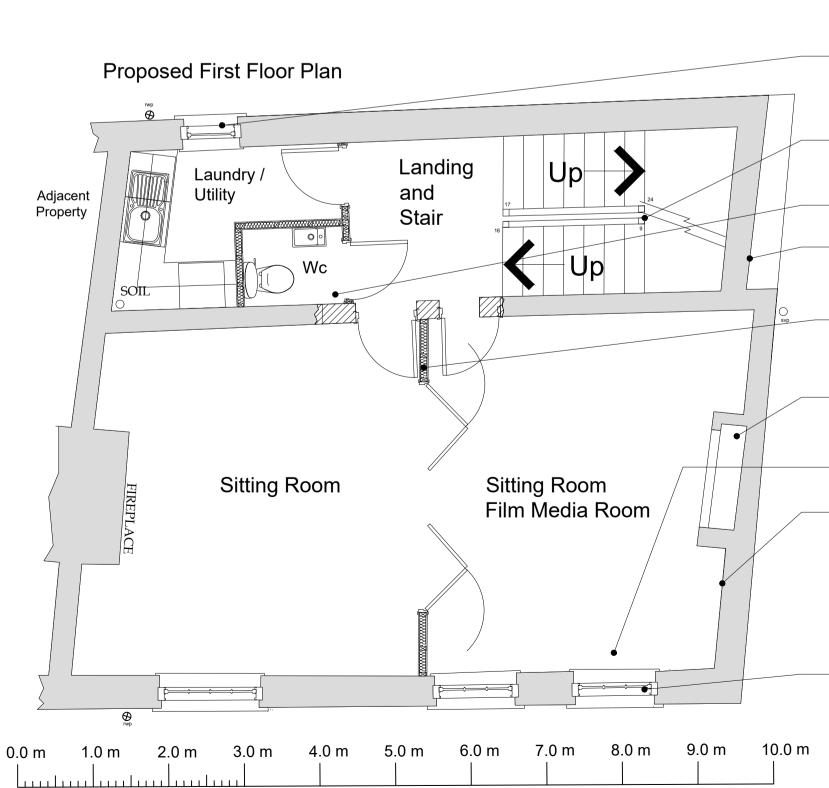
Timber floor joists repaired and extended

- Building control to be consulted and requested to allow relaxation of insulation requirement to perimeter wall. Internal brickwork and underside of floor joists made good and prepared for plaster finish.

Skirting boards, architraves, dado rails, picture rails, cornices and ceiling roses to be reinstated subject to discussion with conservation officer

- Existing vertical sliding sash windows replaced with 3 / 6 and 6 / 6 glazing arrangements.

Options of single or double glazed to be agreed with building control and conservation officers.



PLEASE NOTE: Do not scale any measurements from this drawing for cor ction purposes. All dimensions for fabrication and manufacture must be checked on site. Scheduling of items must be checked & cross referenced with all information available to avoid mistakes when ordering. Any drawing discrepan restered with an information available of whom instances when ordering. Any drawing userchain must be reported immediately. This drawing is protected by copyright and must not be copied or reproduced without the written consent of The Planning & Design Associates. WARNING TO HOUSE-PURCHASERS

## PROPERTY MISDESCRIPTIONS ACT 1991 Buyers are warned that this is a working drawing and is not intended to be treated as descriptive

material describing, in relation to any particular property or development, any of the specified matters prescribed by order made under the above act. The contents of this drawing may be subject to change at any time and alterations and variations can occur during the progress of the works without revision of the drawing. Consequently the layout, form, content and dimensions of the finished construction may differ materially from those shown. Nor do the contents of this drawing constitute a contract, part of a

# THE PARTY WALL ACT 1996

The Party Wall Act does not affect any requirement for Planning Permission or Building Regulation Approval for any work undertaken. Likewise, having Planning Permission and/or Building Regulation Approval does not negate the requirements under the Party Wall Act. The Party Wall Act 1996 gives you rights and responsibilities whichever the side of the 'wall' you are on i.e. whether you are planning/doing work on a relevant structure or if your neighbour is.

The Party Wall Act comes into effect if someone is planning to do work on a relevant structure, for the purposes of the Act 'party wall' does not just mean the wall between two semi-detached properties, it

\* A wall forming part of only one building but which is on the boundary line between two (or more) \* A wall which is common to two (or more) properties, this includes where someone built a wall and neighbour subsequent built something butting up to it. \* A garden wall, where the wall is astride the boundary line (or butts up against it) and is used to parate the properties but is not part of any building.

\* Floors and ceilings of flats etc. \* Excavation near to a neighbouring property

As with all work affecting neighbours, it is always better to reach a friendly agreement rather than resor to any law. Even where the work requires a notice to be served, it is better to informally discuss the intended work, consider the neighbours comments, and amend your plans (if appropriate) before serving the notice. If there is any doubt please consult The Planning & Design Associates or a party wall

#### -Existing flat roofed dormer window repaired and retained.

Timber cut string stair reinstated with handrails, spindles, newel posts and timber mouldings repaired and replaced to match existing.

Existing slot window repaired and retained

New conservation style rooflights fitted to front and rear roof pitches to provide natural lighting to proposed loft ensuite. Velux CK02 550 x 780 with proprietory flashing kit or similar approved.

Structural repairs and remedial works undertaken as the submitted Visual Structural Inspection Report dated January 2024.

New stud partitions fitted to SE detail and specification to form bedroom, eaves stores, ensuite and cupboard Existing chimney breasts reinstated with fire surround, mantle piece, and hearths fitted with Georgian period details.

Existing flat roofed dormer window and roof-light removed, missing purlin replaced.

Building control to be consulted and requested to allow relaxation of insulation requirement to perimeter wall. Internal brickwork and underside of floor joists made good and prepared for plaster finish.

Skirting boards and architraves to be reinstated subject to discussion with conservation officer

Timber floor joists repaired and extended at all floor levels

New traditional pitched dormer windows added to front roof pitch of loft bedroom. Timber framed with plain tile roofs and lead faces and cheeks. Traditional 3 / 6 vertical sliding sash painted timber windows fitted with timber cills.

Lead lined parapet gutter cleared, re-aligned and repaired as required with spout discharging into existing cast lead hopper and round cast iron down-pipe.

#### The Planning & Design Associates PLANNING..ARCHITECTURE..INTERIORS..LANDSCAPE

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Client	Home From Home Yorkshire Ltd. Windrush, Strensall, York. YO32 5XQ	
Project	Restoration of 34 Princess Street Scarborough YO11 1QR	
Drawing	Proposed Plans	
Date	February 2024	Drawn sd
Scale	1:50 @ A1	Rev.
Status	Planning	
Drwg. No.	UPL-479-15-07	