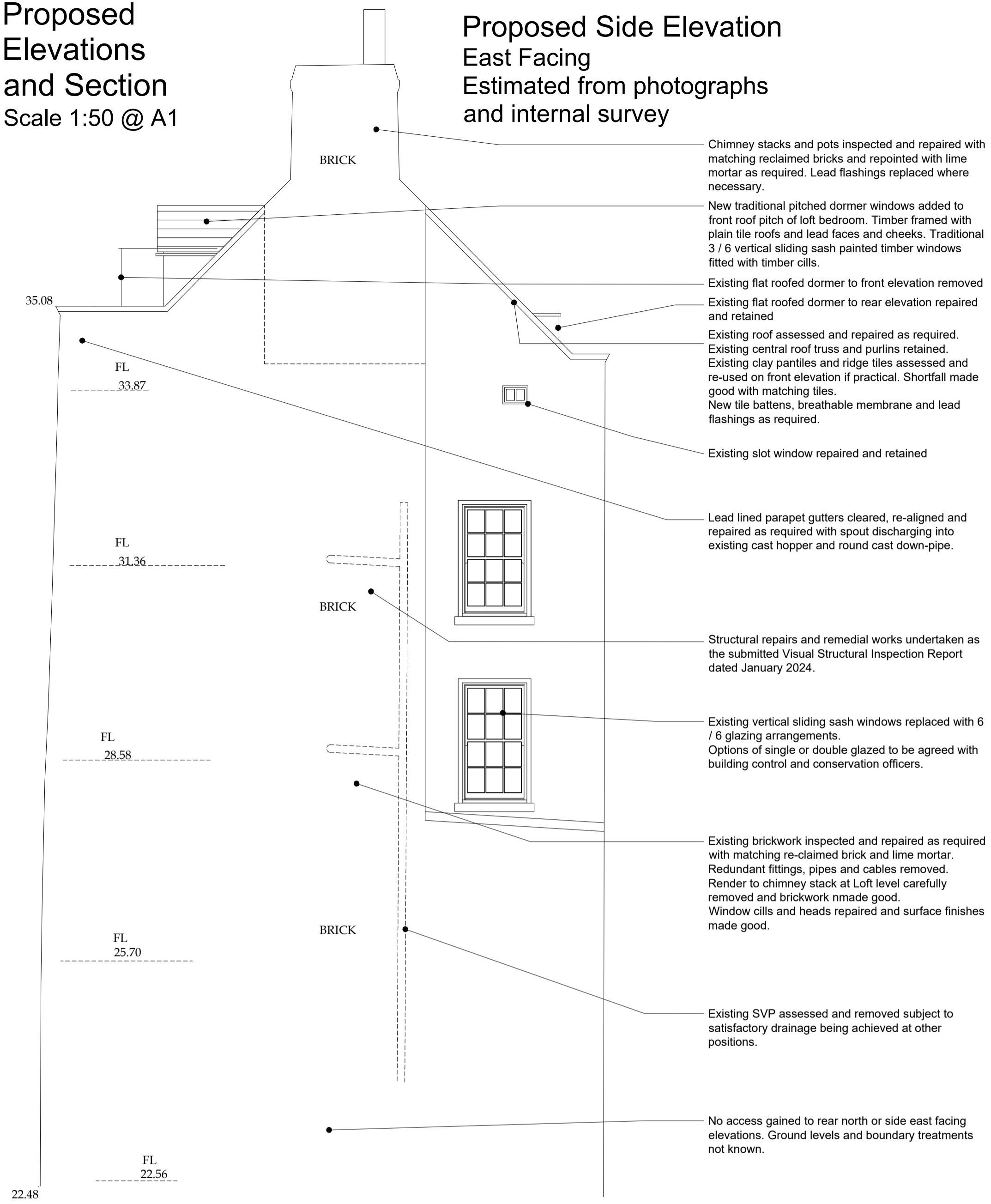


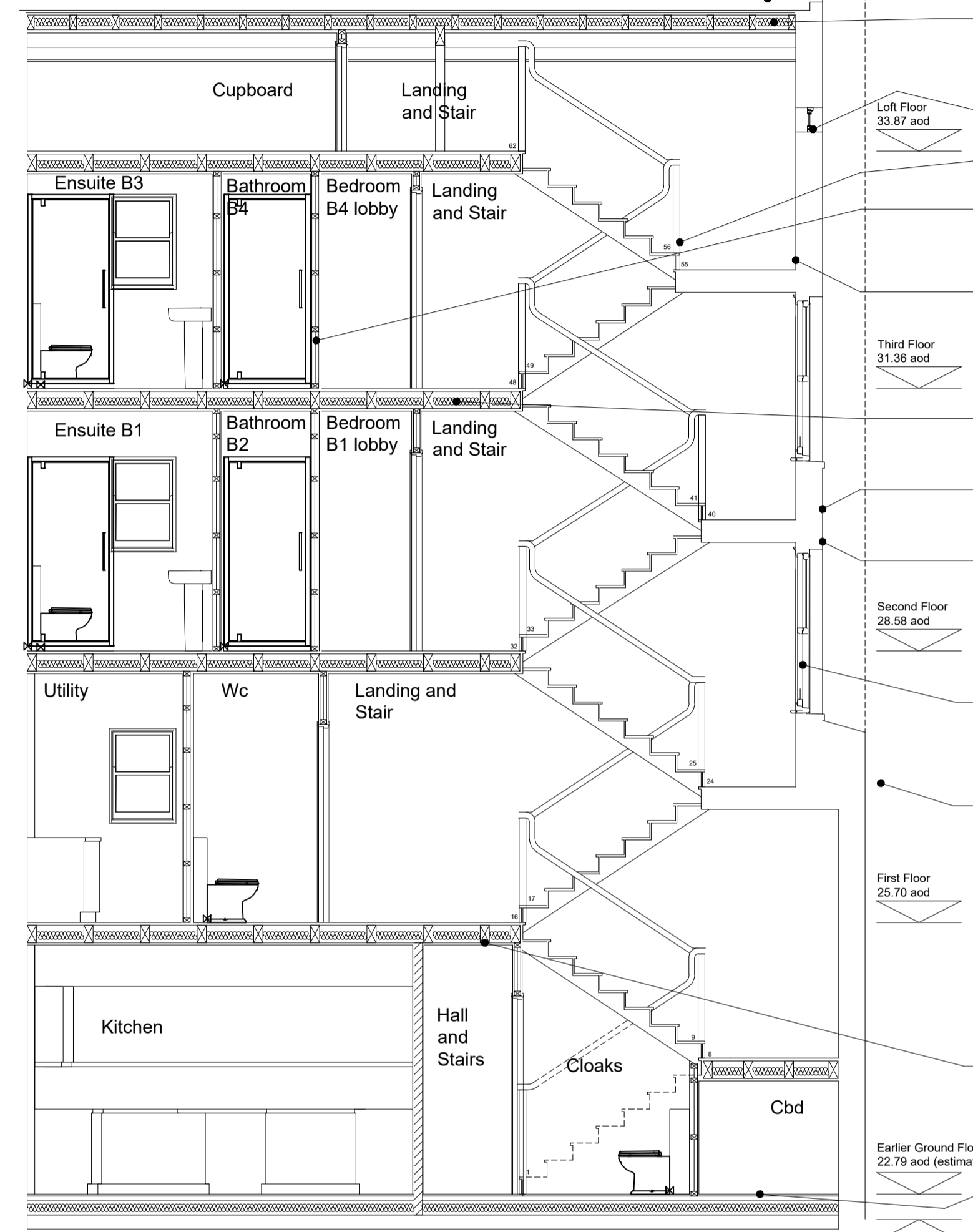
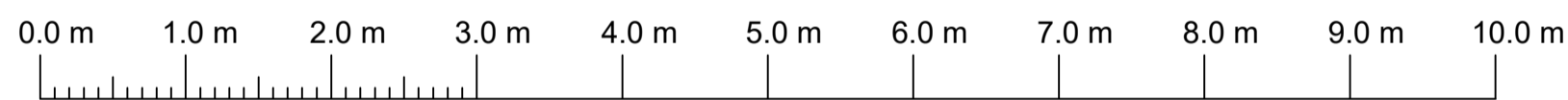
**Proposed Elevations and Section**  
Scale 1:50 @ A1

**Proposed Side Elevation East Facing**  
Estimated from photographs and internal survey

**Typical Section AA**



**PROPOSED EAST FACING ELEVATION**

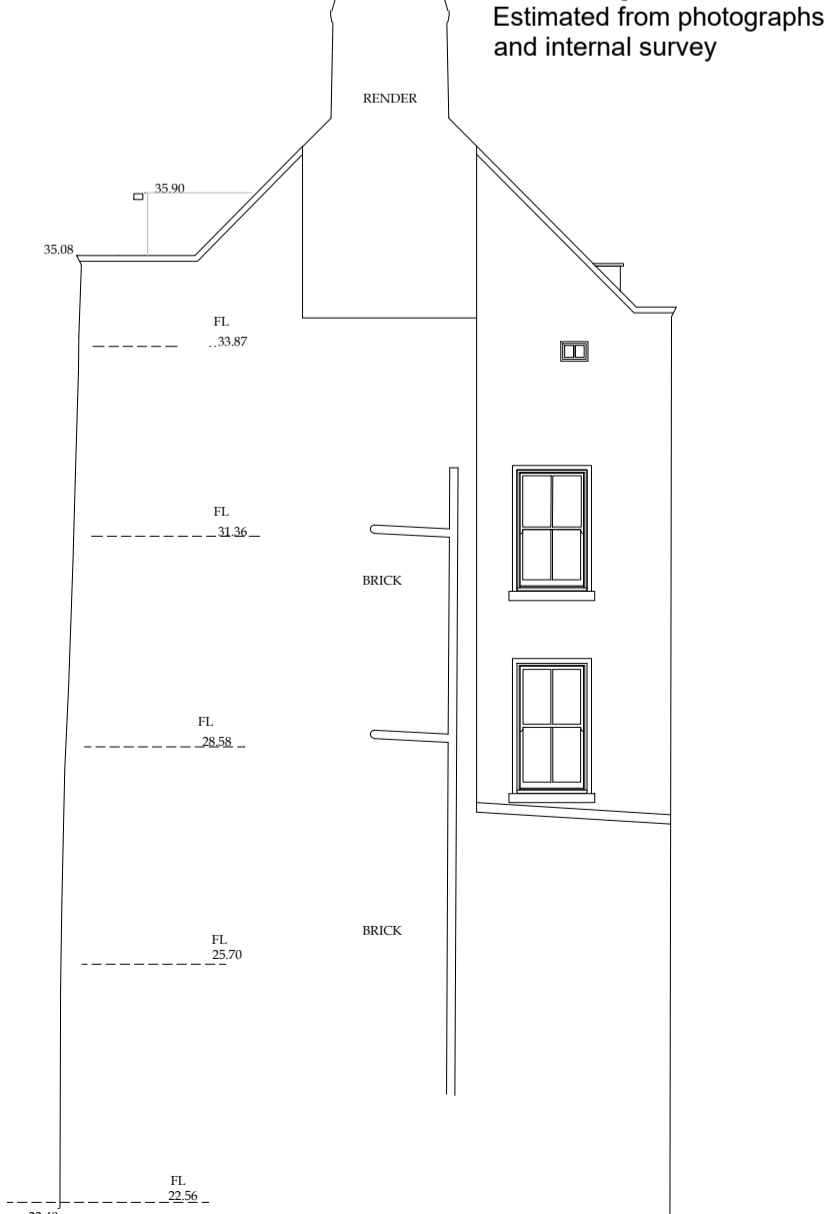


- Chimney stacks and pots inspected and repaired with matching reclaimed bricks and repointed with lime mortar as required. Lead flashings replaced where necessary. Not shown here
- Existing roof assessed and repaired as required. New and existing timbers treated to specialists requirement.
- Existing central roof truss and purlins retained. Existing clay pantiles and ridge tiles assessed and re-used on front elevation if practical. Shortfall made good with matching tiles.
- New tile battens, breathable membrane and lead flashings as required.
- Insulation to roof to be agreed with building control and conservation officers. Provisionally 125 mm Kingspan K107 between Rafter and 37.5 mm K118 beneath, with plaster skim finish to achieve U value of 0.13 W/m<sup>2</sup>K.
- Existing slot window repaired and retained
- Timber cut string stair reinstated with handrails, spindles, newel posts and timber mouldings repaired and replaced to match existing.
- New stud partitions fitted to SE detail and specification to form bathrooms, ensuites, bedrooms and cupboards. Acoustic insulation to voids.
- Building control to be consulted and requested to allow relaxation of insulation requirement to perimeter wall. Provisionally 62.5 mm K118 inslated plasterboard on 25 mm battens, with plaster skim finish to achieve U value of 0.30 W/m<sup>2</sup>K.
- Existing floor joists repaired, extended, treated and with additional restraints and monitoring system to structural engineers details and specification.
- Structural repairs and remedial works undertaken as the submitted Visual Structural Inspection Report dated January 2024.
- Existing render finish carefully removed and brickwork inspected and repaired as required with matching re-claimed brick and lime mortar.
- Redundant fittings and cables removed. Horizontal banding, window cills and voussoir window heads repaired and surface finish to be agreed.
- Existing vertical sliding sash windows replaced with 6 / 6 glazing arrangements. Options of single or double glazed to be agreed with building control and conservation officers.
- Existing SVP assessed and removed subject to satisfactory drainage being achieved at other positions. Not shown here
- Internal brickwork and underside of floor joists made good and prepared for plaster finish. Skirting boards, architraves, dado rails, picture rails, cornices and ceiling roses to be reinstated subject to discussion with conservation officer
- Original ground floor level to be established and new insulated floor slab installed to suit. Floor finishes to Client's approval. Provisionally on 100 mm Kingspan TF70 to achieve U value of 0.16 W/m<sup>2</sup>K to improve area weighted calculations.

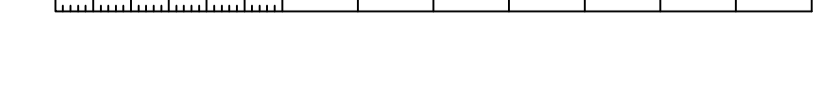


**Location Plan**  
Scale 1:1250 @ A1

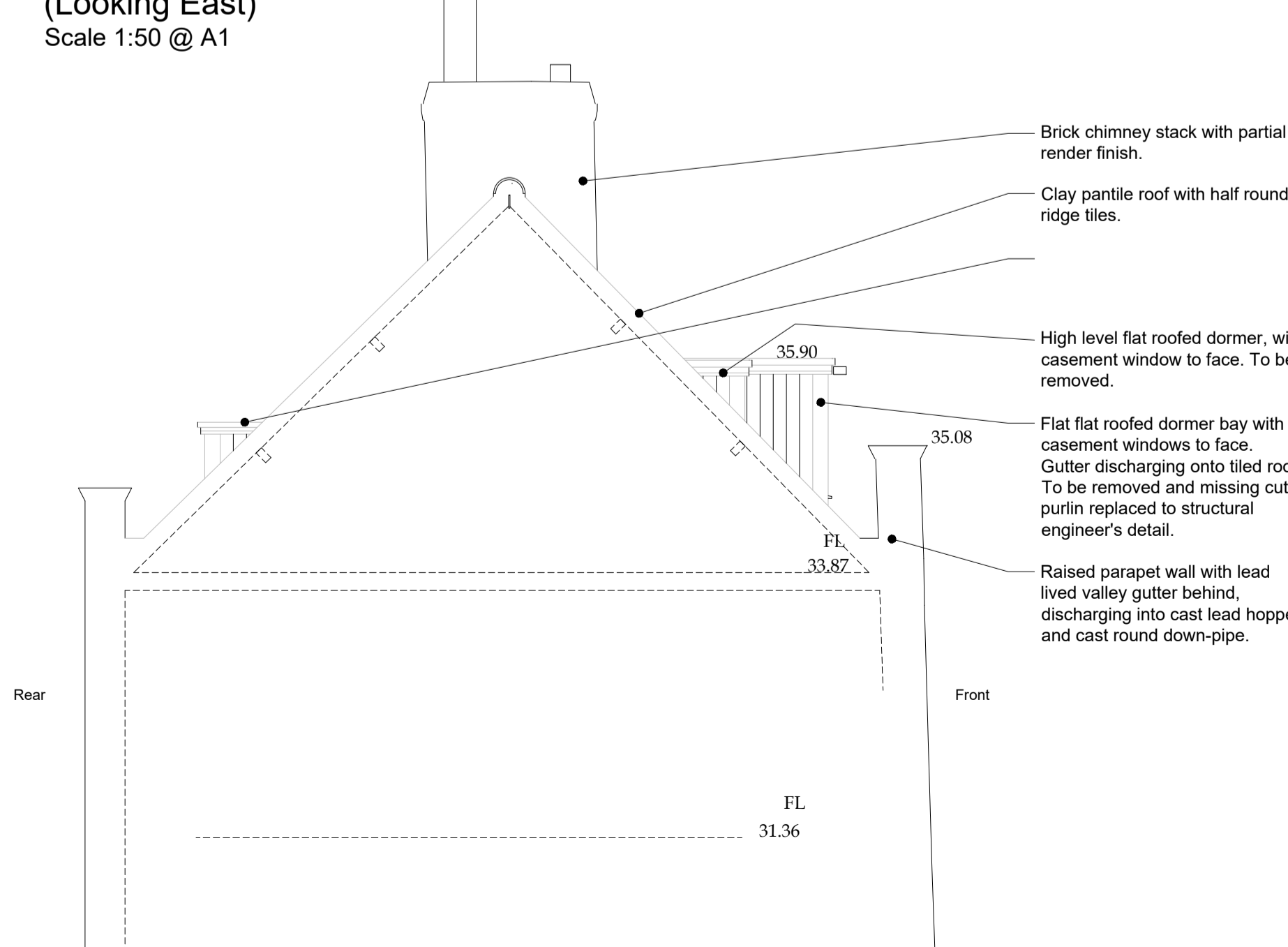
**Existing Elevation**  
Scale 1:100 @ A1



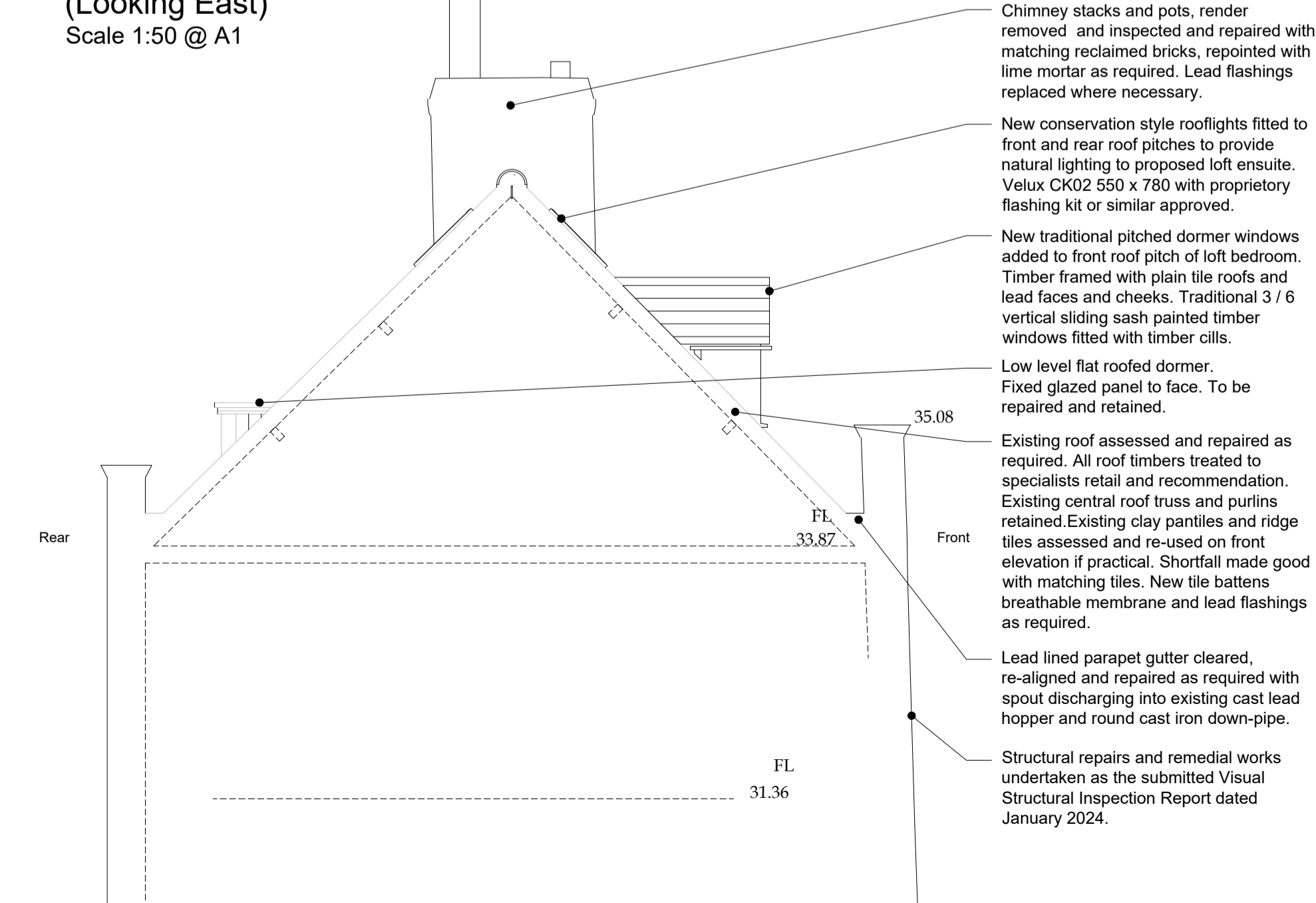
**EXISTING EAST FACING ELEVATION**



**Existing Section (Looking East)**  
Scale 1:50 @ A1



**Proposed Section (Looking East)**  
Scale 1:50 @ A1



**PLEASE NOTE:**  
Do not scale any measurements from this drawing for construction purposes. All dimensions for fabrication and manufacture must be checked on site. Scheduling of items must be checked to cross reference with all information available to avoid clashes when ordering. Any drawing discrepancy must be reported immediately. This drawing is provided by copyright and must not be copied or reproduced without the written consent of The Planning & Design Associates.

**WARNING TO HOUSEBUYERS/PURCHASERS**  
**PROPERTY MISDESCRIPTIONS ACT 1991**  
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**THE PARTY WALL ACT 1996**  
The Party Wall Act does not affect any requirement for Planning Permission or Building Regulation Approval for any work undertaken. Likewise, having Planning Permission and/or Building Regulation Approval does not negate the requirements under the Party Wall Act. The Party Wall Act 1996 gives you rights and responsibilities whenever the side of the 'half' wall are on or to, whether you are planning/digging work on a relevant structure or if your neighbour is.

The Party Wall Act creates an effect if someone is planning to do work on a relevant structure, for the purposes of the Act 'party wall' does not just mean the wall between two constructed properties, it covers:  
\* A wall forming part of only one building but which is on the boundary line between two (or more) properties.  
\* A wall which is common to two (or more) properties, this includes where someone built a wall and another built an adjacent building abutting against it as a  
\* A garden wall, where the wall is inside the boundary line for both up against it and is used to separate the properties for a part of any building.  
\* Fences and railings of fences.  
\* Excavation near to a neighbouring property.

As with all work affecting neighbours, it is always better to reach a friendly agreement rather than resort to any law. Even where the work requires a notice to be served, it is better to informally discuss the intended work, consider the neighbour's comments, and attend any plans if appropriate before serving the notice. If there is any doubt please consult The Planning & Design Associates or a party wall surveyor.

09-04-24 Existing and proposed sections looking east showing dormer windows, added as validation officer request

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Client	Home From Home Yorkshire Ltd. Windrush, Strensall, York. YO32 5XQ		
Project	Restoration of 34 Princess Street Scarborough YO11 1QR		
Drawing	Existing and Proposed Side Elevation, Typical Section and Location Plan		
Date	February 2024	Drawn	sd
Scale	1:50, 1:100, 1:1250 @ A1	Rev.	A
Status	Planning		
Dwg. No.	UPL-479-15-06		