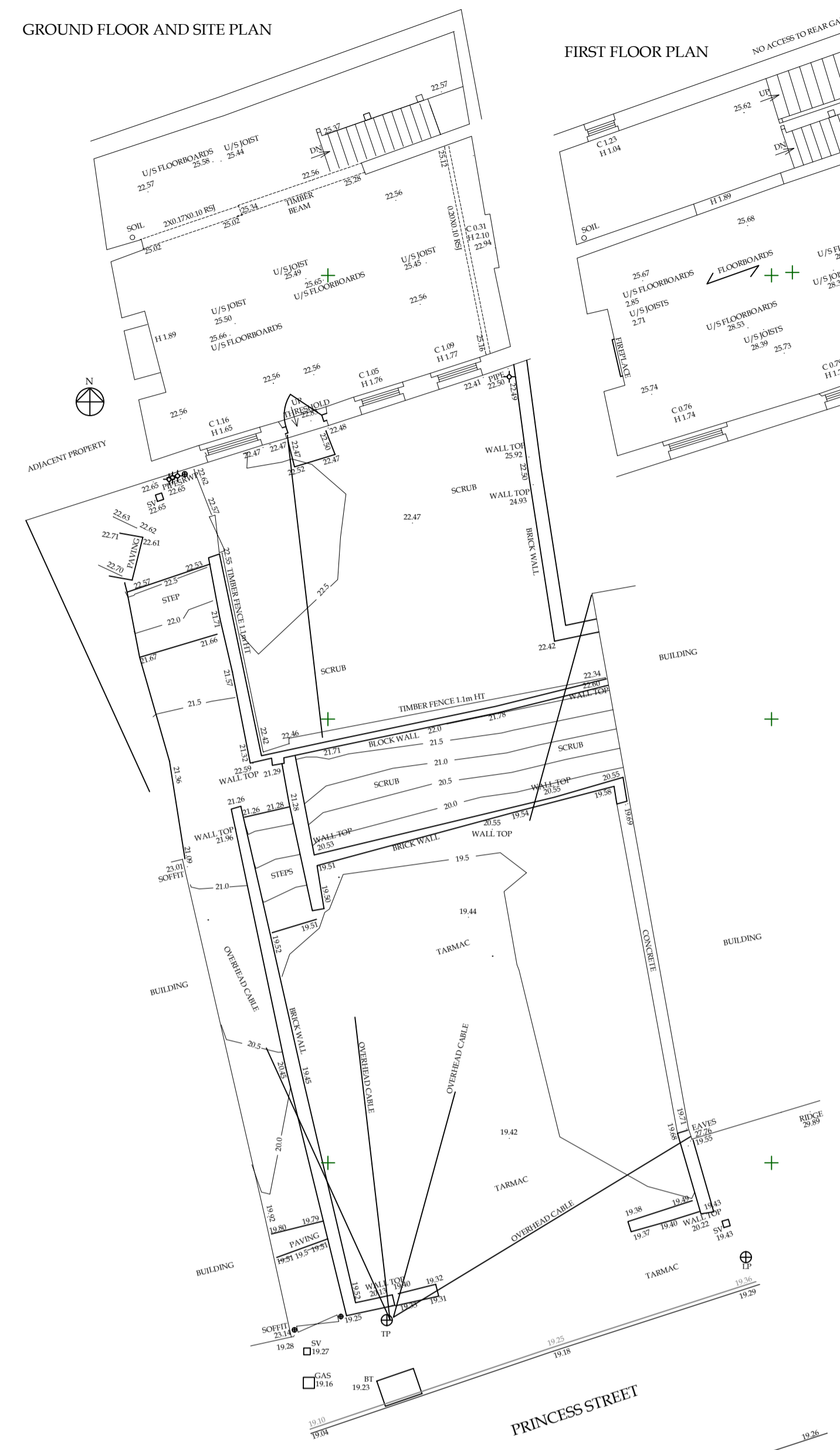


Proposed Site Plan
Scale 1:100 @ A1



Existing Plans
Scale 1:100 @ A1

FIRST FLOOR PLAN

SECOND FLOOR PLAN

THIRD FLOOR PLAN

LOFT PLAN

Existing Elevations
Scale 1:100 @ A1



PLEASE NOTE:
Do not take any measurements from this drawing for construction purposes. All dimensions for fabrication and manufacture must be checked on site. Scheduling of items must be checked & cross referenced with all information available to avoid mistakes when ordering. Any drawing discrepancies must be reported immediately. This drawing is protected by copyright and must not be copied or reproduced without the written consent of The Planning & Design Associates.

WARNING TO HOME PURCHASERS:
PROPERTY MISDESCRIPTIONS ACT 1991
Buyers are warned that this is a working drawing and is not intended to be used as a descriptive material describing, in relation to any particular property or development, any of the specified matters provided by order made under the above act. The contents of this drawing may be subject to change at any time and alterations and variations can occur during the progress of the works without revision of the drawing. Consequently the layout, form, content and dimensions of the finished construction may differ materially from those shown. No disclaimer of this drawing constitutes a contract, part of a contract or a warranty.

THE PARTY WALL ACT 1996

The Party Wall Act does not affect any requirement for Planning Permission or Building Regulations Approval for any work undertaken. Following Planning Permission and/or Building Regulations Approval does not negate the requirements under the Party Wall Act. The Party Wall Act 1996 gives you rights and responsibilities which cover the side of the wall you are on i.e. whether you are planning/doing work on a relevant structure or if your neighbour is.

The Party Wall Act comes into effect if someone is planning to do work on a relevant structure, for the purposes of the Act 'party wall' does not just mean the wall between two semi-detached properties, it covers:

- * A wall forming part of only one building but which is on the boundary line between two (or more) properties.
- * A wall which is common to two (or more) properties, this includes where someone builds a wall and a neighbour subsequently builds something butting up to it.
- * A garden wall, where the wall is across the boundary line for both up against it and used to separate the properties but is not part of any building.
- * Floors and cellars of flats etc.
- * Excavation near to a neighbouring property.

As with all work affecting neighbours, it is always better to reach a friendly agreement rather than resort to law. Even when the work requires a notice to be served, it is better to informally discuss the intended work, consider the neighbours concerns, and amend your plans (if approved) before serving the notice. If there is any doubt please consult The Planning & Design Associates or a party wall surveyor.

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Client	Home From Home Yorkshire Ltd. Windrush, Strensall, York. YO32 5XQ	
Project	Restoration of 34 Princess Street Scarborough YO11 1QR	
Drawing	Proposed Site Plan, Existing Topographical Plans and Elevations	
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Scale	1:50, 1:100 @ A1	Rev.
Status	Planning	
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