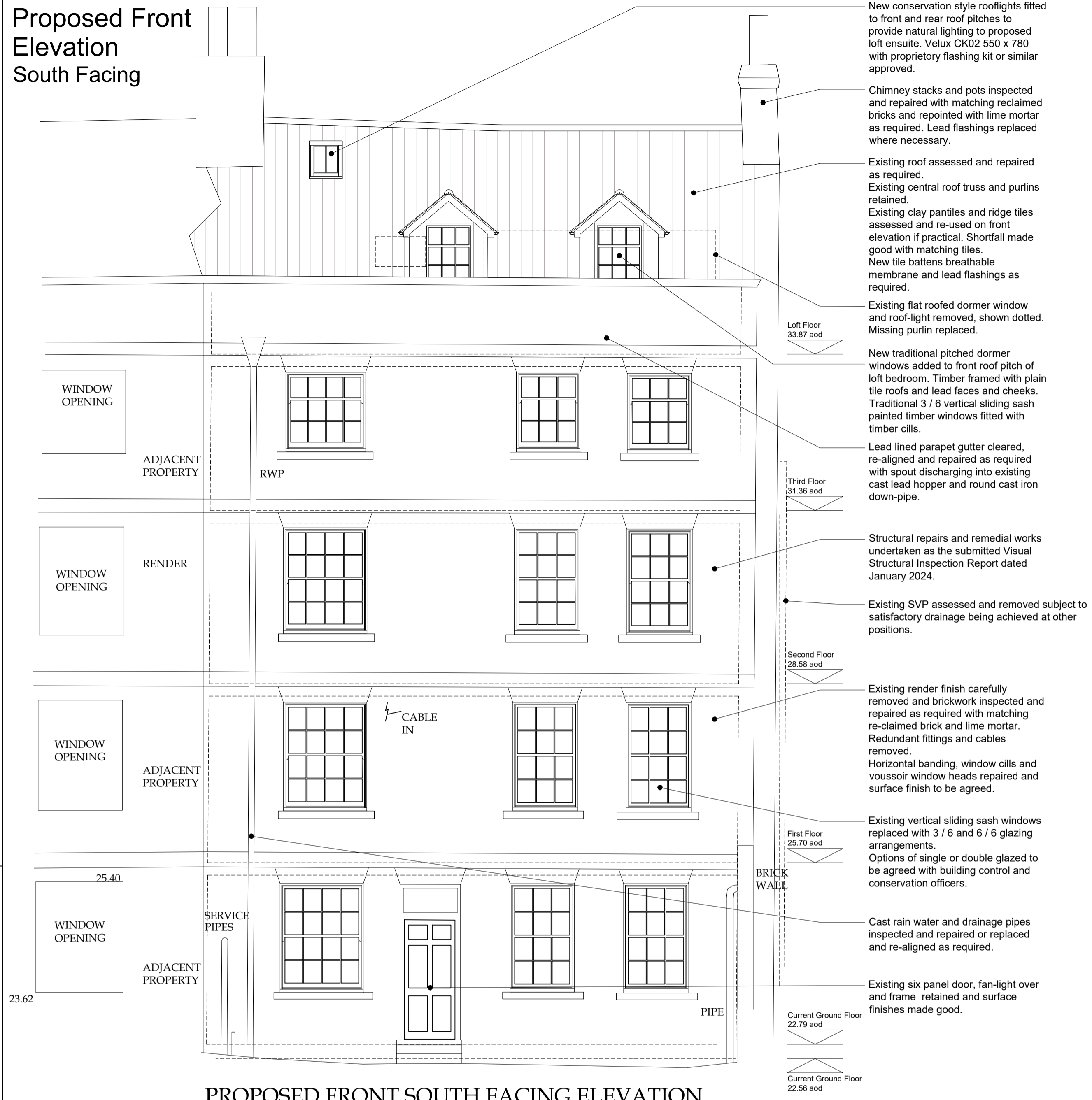
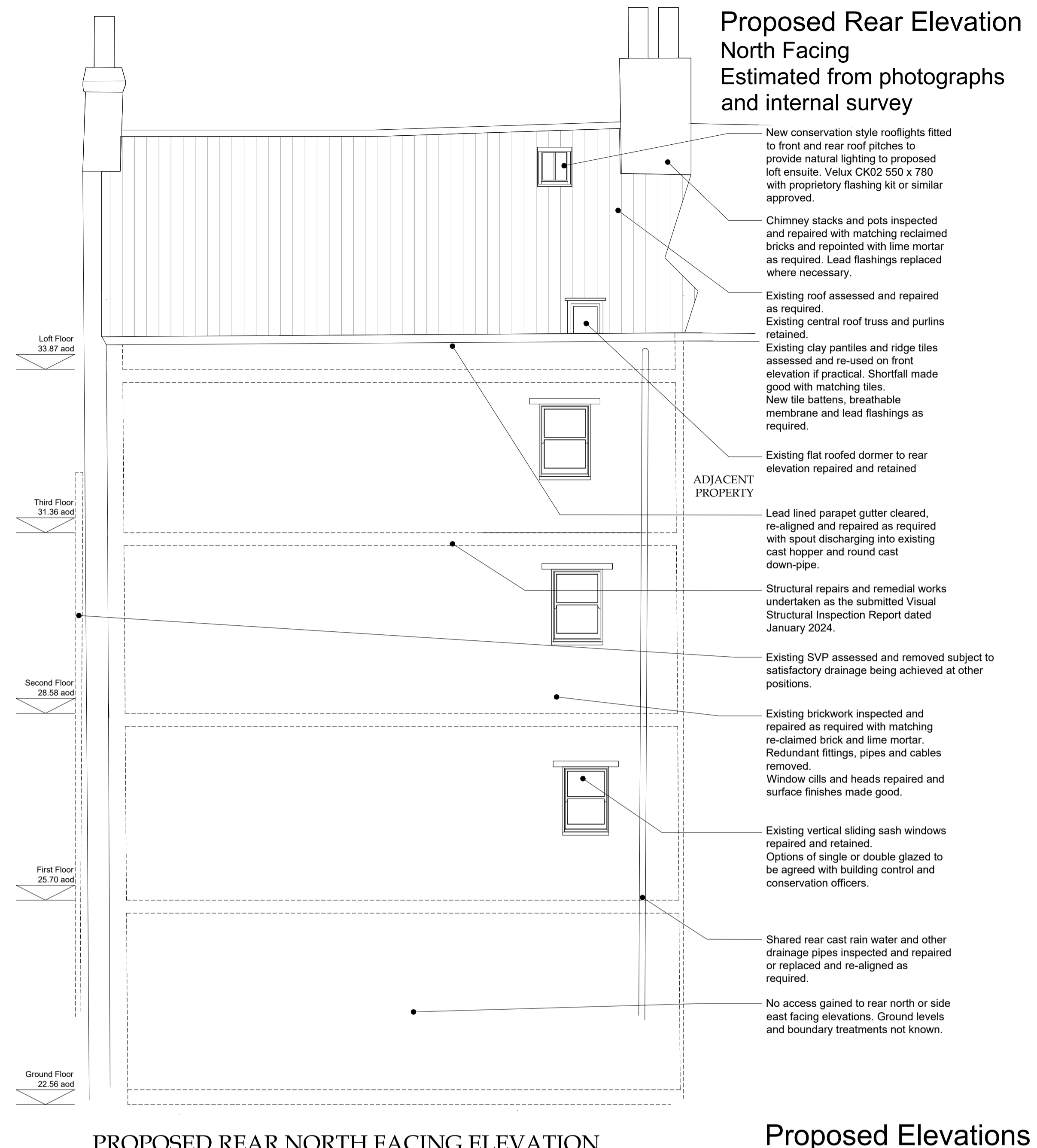


Proposed Front Elevation South Facing



Proposed Rear Elevation North Facing Estimated from photographs and internal survey



PLEASE NOTE: Do not scale any measurements from this drawing for construction purposes. All dimensions for fabrication and manufacture must be checked on site. Scheduling of items must be checked & cross referenced with all information available to avoid mistakes when ordering. Any drawing discrepancies must be reported immediately. This drawing is protected by copyright and must not be copied or reproduced without the written consent of The Planning & Design Associates.

WARNING TO HOUSEBUYERS: PROPERTY MISREPRESENTATION ACT 1991
It is noted that this is a working drawing and is not intended to be treated as a descriptive or promotional document. It is intended to provide a visual impression of the proposed works. It is not intended to be used as a basis for any contract or warranty. The contents of this drawing may be subject to change at any time and alterations and variations can occur during the progress of the works without revision of the drawing. Consequently the layout, form, content and dimensions of the finished construction may differ materially from those shown. Nor do the contents of this drawing constitute a contract, part of a contract or a warranty.

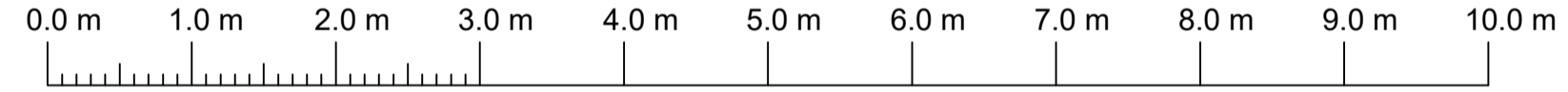
THE PARTY WALL ACT 1996
The Party Wall Act does not affect any requirement for Planning Permission or Building Regulation Approval for any work undertaken. However, having Planning Permission and/or Building Regulation Approval does not exempt the requirements under the Party Wall Act. The Party Wall Act 1996 gives you rights and responsibilities whatever the side of the wall you are on or whether you are carrying out work on a relevant structure or if your neighbour is.

The Party Wall Act comes into effect if someone is planning to do work on a relevant structure, for the purposes of the Act 'party wall' does not just mean the wall between two undivided properties, it covers:

- * A wall forming part of only one building but which is on the boundary line between two (or more) properties.
- * A wall which is common to two (or more) properties, this includes where someone built a wall and a neighbour subsequently built something butting up to it.
- * A garden wall, where the wall is inside the boundary line but butts up against it and is used to separate the properties but is not part of any building.
- * Floor and ceiling of a flat.
- * Excavation near to a neighbouring property.

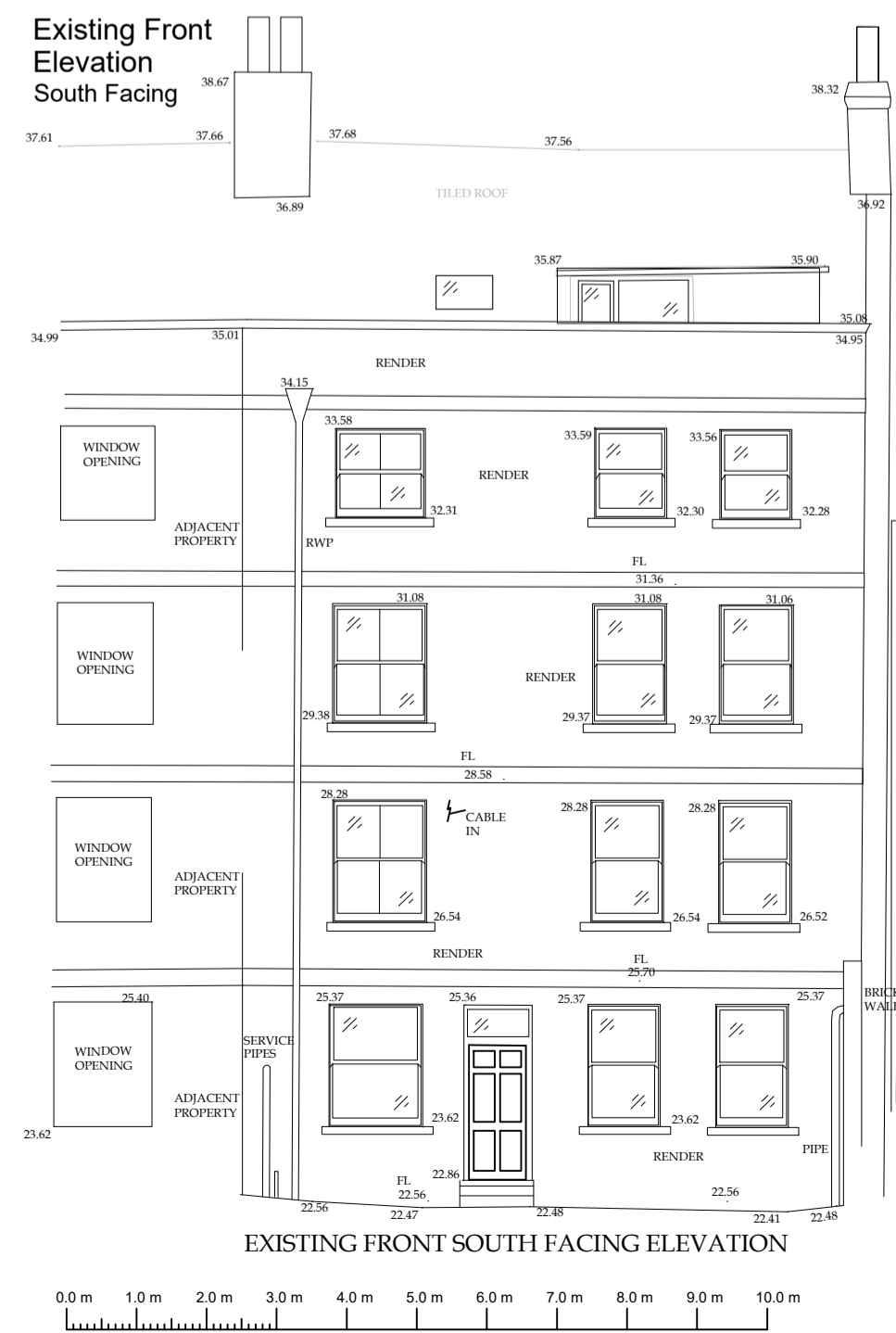
As with all work affecting neighbours, it is always better to reach a friendly agreement rather than resort to any law. Even where the work requires a notice to be served, it is better to informally discuss the intended work, consider the neighbour's concerns, and amend your plans if agreed before serving the notice. If there is any doubt please consult The Planning & Design Associates or a party wall surveyor.

PROPOSED FRONT SOUTH FACING ELEVATION

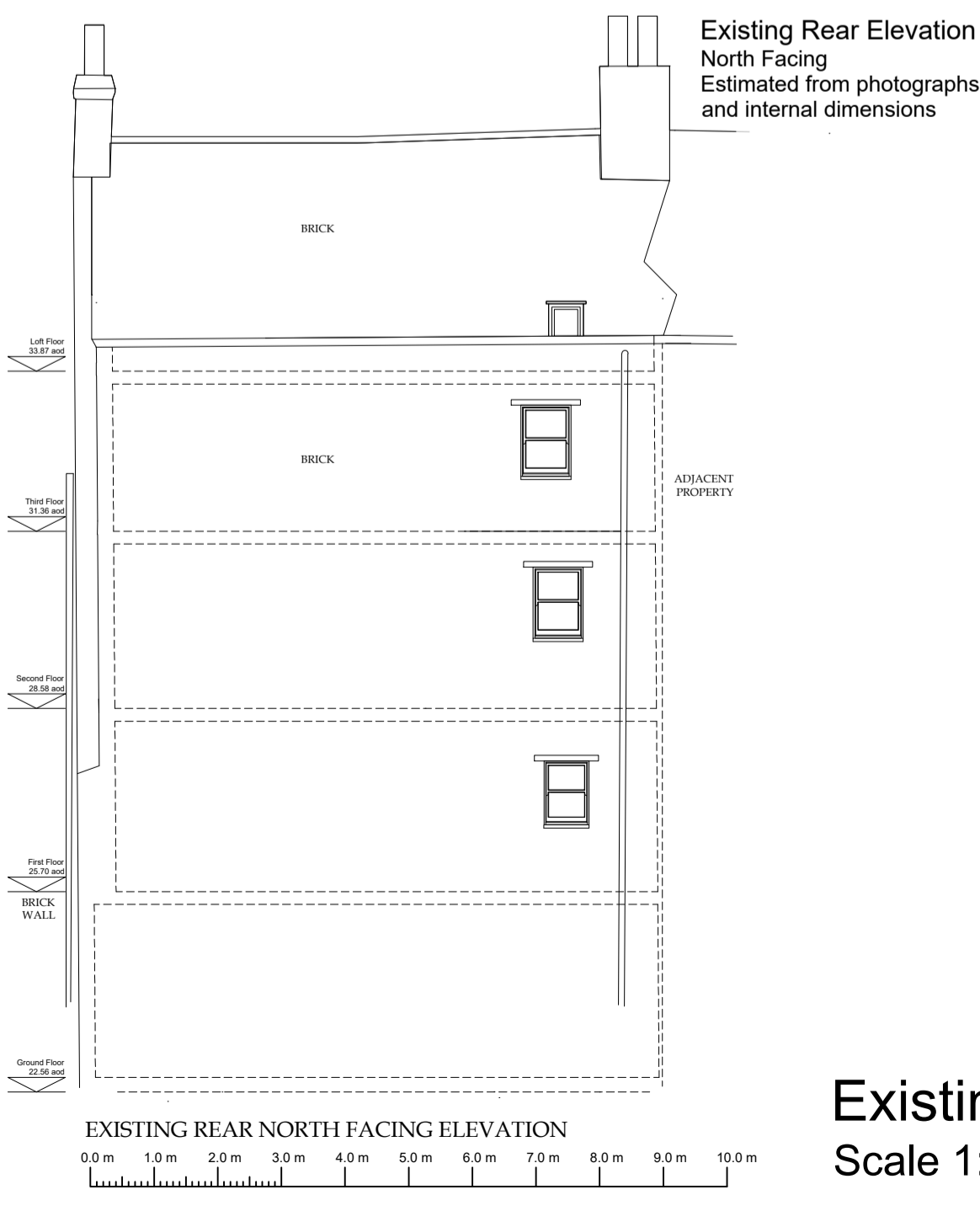
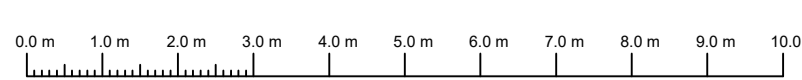


PROPOSED REAR NORTH FACING ELEVATION

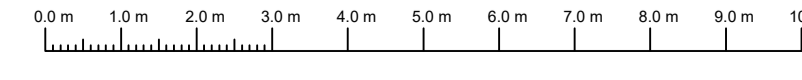
Proposed Elevations Scale 1:50 @ A1



EXISTING FRONT SOUTH FACING ELEVATION



EXISTING REAR NORTH FACING ELEVATION



Existing Elevations Scale 1:100 @ A1

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Client	Home From Home Yorkshire Ltd. Windrush, Strensall, York. YO32 5XQ		
Project	Restoration of 34 Princess Street Scarborough YO11 1QR		
Drawing	Existing and Proposed Front and Rear Elevations		
Date	February 2024	Drawn	sd
Scale	1:50, 1:100 @ A1	Rev.	
Status	Planning		
Dwg. No.	UPL-479-15-05		