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**ERECTION OF AN EXTENSION AT FIRST FLOOR**

**AT**

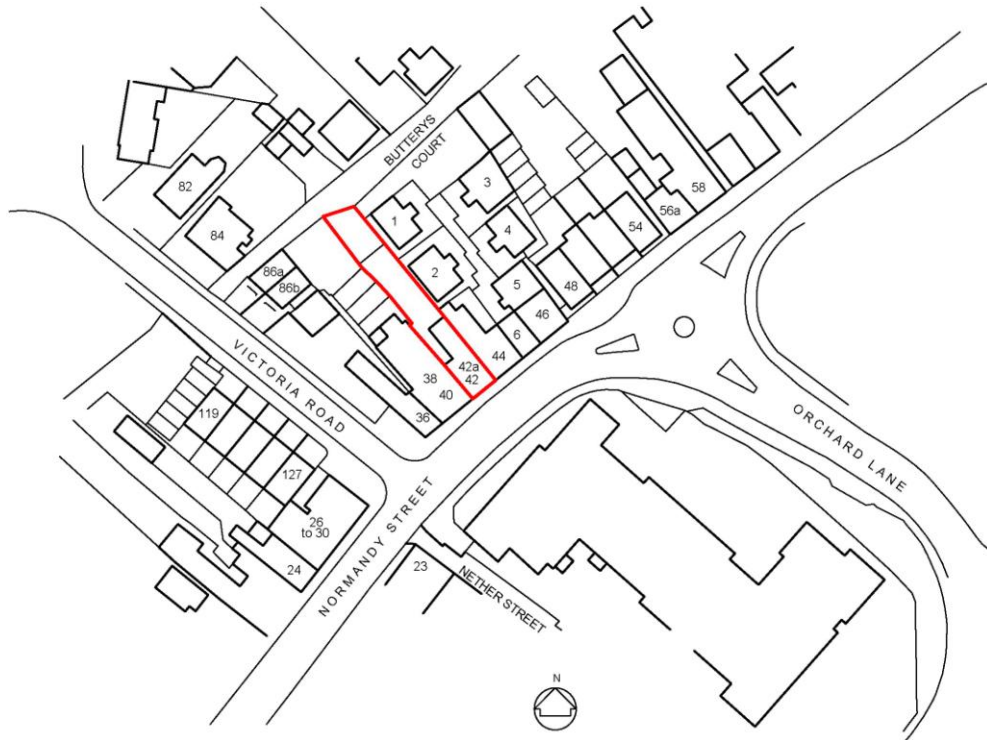
**42A NORMANDY STREET ALTON GU34 1DE**

**HERITAGE STATEMENT**

**March 2024**

## 1.00 THE SITE

1.01 The site (edged in red below) is located on the north side of Normandy Street in Alton, within the Alton Conservation Area.



SITE LOCATION PLAN

1.02 The site is occupied by a two storey terraced building fronting onto Normandy Street with painted render walls and slate roof, built in the 19th century.



VIEW OF No 42 & 42A FROM NORMANDY STREET

1.03 The ground floor of the building comprises a one bed flat (No 42) with its main access directly from Normandy Street and the first floor (No 42A) is a one bed flat with its access from the rear.

1.04 The first floor flat (No 42A) is approached from the rear, down a narrow passageway and up a metal staircase.



VIEW OF THE REAR OF No 42 & 42A NORMANDY STREET

1.05 There is a pedestrian roof terrace with wooden balustrade over a single storey rear addition which is accessed from a patio door in the living room of the first floor flat (No 42A)

1.06 There is an area for the parking of cars at the north of the site with access from Butlers Court and Victoria Road.

## 2.00 THE CONSERVATION AREA

2.01 The Alton Conservation Area was designated in 1970 and established in 1982. It covers the centre of Alton arranged around the main roads through the town of High Street, Normandy Street, Market Street, Lenten Street and Church Street

2.02 No 42 & 42A Normandy Street is located on the northern edge of the Conservation Area.

2.03 There are no listed buildings in close proximity to the site. The nearest listed buildings are at 26, 28 & 30 Normandy Street, some 27metres away and the former United Reform Church on the corner of Orchard Lane some 60 metres away.

## 3.00 THE DESIGN

3.01 It is proposed to erect a small extension at first floor over part of the existing roof terrace. The remainder of the roof terrace will remain as amenity area for the first floor flat (No 42A)



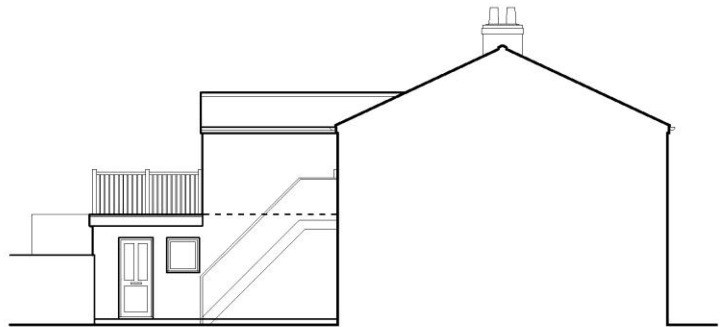
VIEW OF ROOF TERRACE

3.02 There are similar rear first floor extensions in the same terrace at No 38 and 36 Normandy Street as can be seen in the photograph above. The proposed extension will be similar to these other extensions in the terrace.





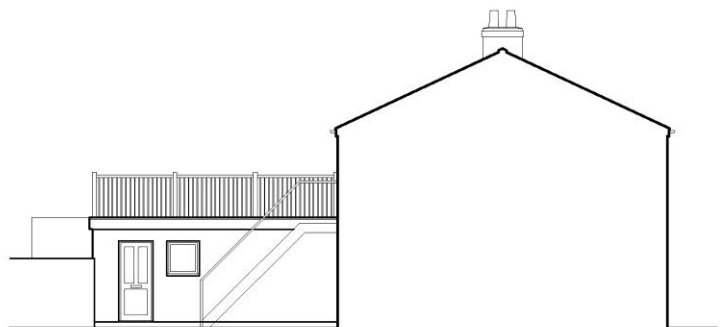
PROPOSED NORTH



PROPOSED WEST



EXISTING NORTH



EXISTING WEST

### PROPOSED AND EXISTING ELEVATIONS

3.03 The proposed first floor extension is modest in bulk, scale and height and will not dominate the appearance of the terrace being subservient to the main building.

3.04 These proposals will enhance the appearance of the building and conservation area through the use of materials and architectural details which are sympathetic to the historic building and terrace. In particular, the following materials will be used:

- Slate roof covering to match existing
- White render to walls to match existing
- UPVC doors with white frames similar to others used in the terrace
- Conservation roof window flush with the roof slates

3.05 The proposed first floor extension will not result in the loss of or damage to any historic features of the building and so will not unduly affect the historic environment of terrace and the conservation area.

## 4.00 CONCLUSION

4.01 The above statement sets out the proposals for erection a first floor single storey extension at 42A Normandy Street in Alton.

These proposals ensure that:

- The proposed extension will complement and enhance the character and appearance of the existing building, the terrace and conservation area through the use of appropriate materials and architectural details.
- The proposed extension is modest in size and scale and so will not have an adverse impact on existing terrace, being subservient to the existing building. It has been designed to complement the existing historic building and terrace in which it is located.
- The proposed extension fits easily into its surroundings with a design and appearance similar to other first floor extensions in the terrace.
- The proposed extension will not result in the loss of any historic features and is not near any listed buildings, so it will therefore not unduly affect the historic environment.

We trust that you will concur with these thoughts and that you will be able to recommend that planning permission is granted.