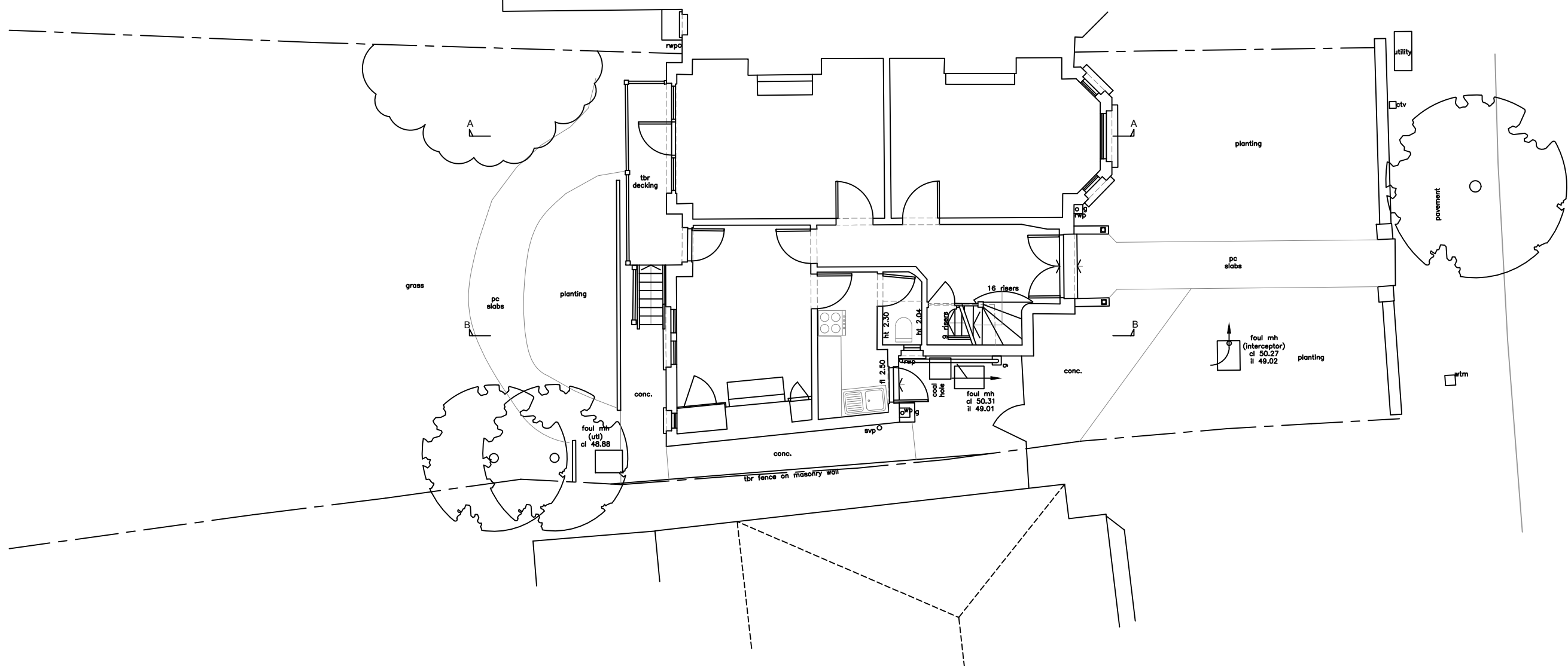
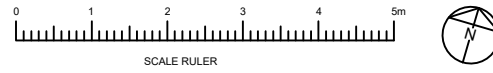


- Notes:
- Planners can scale from this drawing.
 - Contractor to verify all dimensions on site.
 - Any discrepancy to be reported to the architect for clarification.
 - Drawing and specifications to be read in conjunction with information from all other design consultants and contractors.
 - Drawings and specifications to be read in conjunction with Designer's Hazard and Environment Assessment Record in accordance with current CDM regulations.
 - All works to be carried out in accordance with the latest appropriate codes of practice and to comply with current building regulations.

Ground Floor Plan
As Proposed



rev	details	date
project		
59 Queens Avenue N3 2NN		
drawing		
Site Plan As Proposed Loft Conversion		
job no	drawing no	rev
2444	302	
status		
Planning		
date	scale @ A3	
11/03/24	1:100	
HARK ARCHITECTURE LTD		
E: info@harkarchitecture.co.uk T: 02081234620		

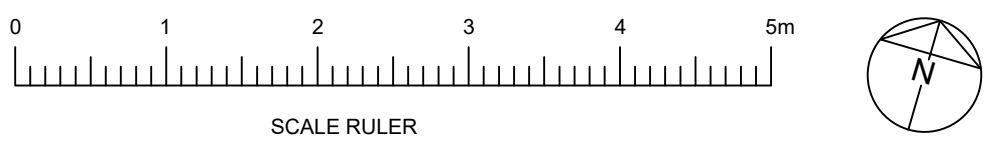
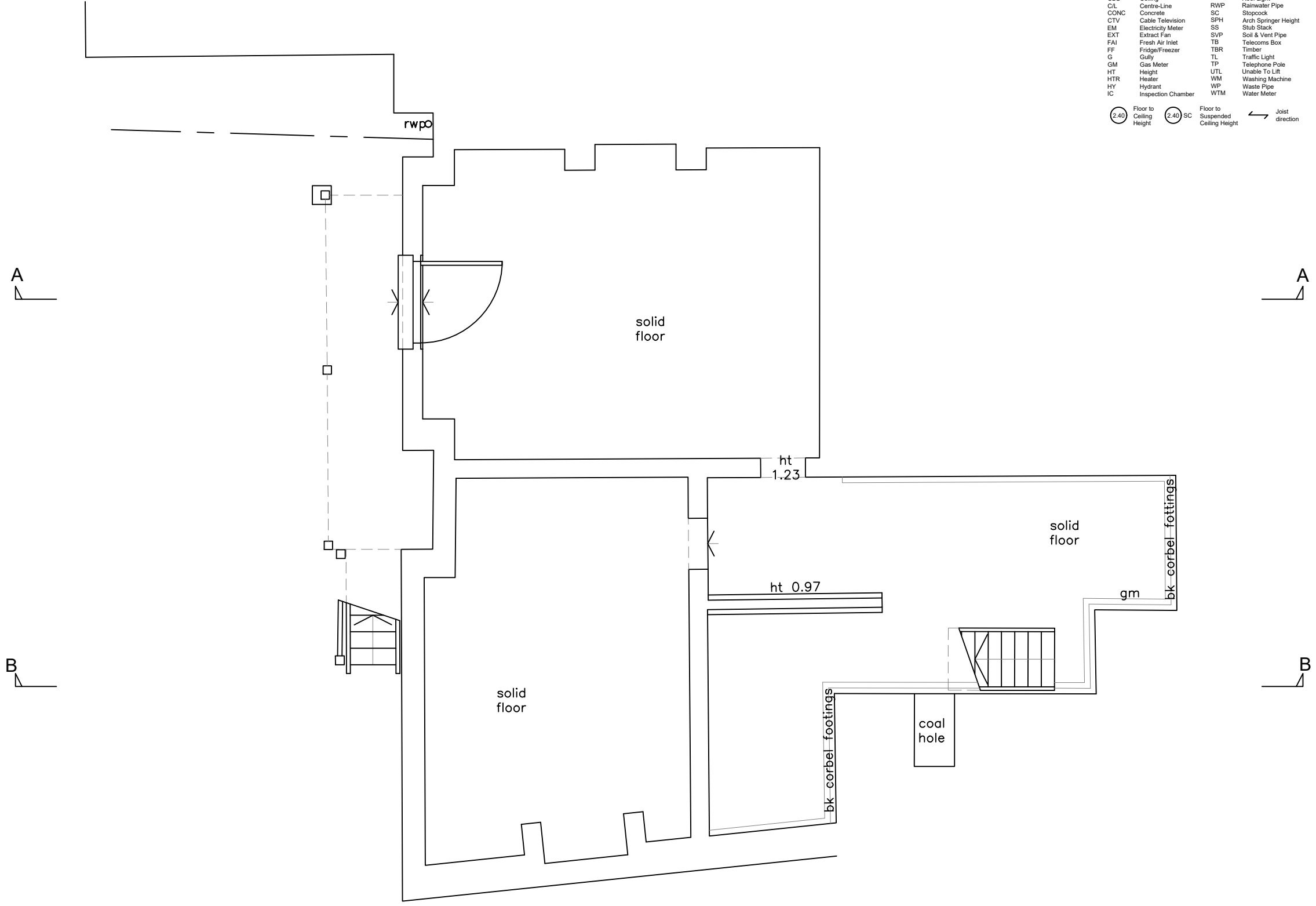
Basement Floor Plan As Proposed

Abbreviations (Where Applicable)

ACO	ACO Channel	IL	Invert Level
AH	Arch Height	LH	Loft Hatch
BL	Bollard	LP	Lamp Post
BWK	Brickwork	MH	Manhole
C	Cill Height	MW	Mat Well
CCU	Consumer Control Unit	OY	Oven
C-H	Cill to Head Height	PC	Pre-Cast
CHL	Chainlink	RAD	Radiator
CL	Cover Level	RE	Rodding Eye
CLG	Ceiling	RL	Roof Light
C/L	Centre-Line	RWP	Rainwater Pipe
CONC	Concrete	SC	Stopcock
CTV	Cable Television	SPH	Arch Springing Height
EM	Electricity Meter	SS	Stub Stack
EXT	Extract Fan	SVP	Soil & Vent Pipe
FAI	Fresh Air Inlet	TB	Telecoms Box
FF	Fridge/Freezer	TBR	Timber
G	Gully	TL	Traffic Light
GM	Gas Meter	TP	Telephone Pole
HT	Height	UTL	Unable To Lift
HTR	Heater	WM	Washing Machine
HY	Hydrant	WP	Waste Pipe
IC	Inspection Chamber	WTM	Water Meter

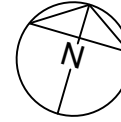
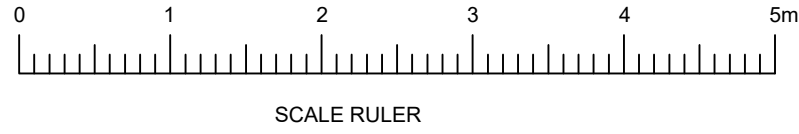
2.40 Floor to Ceiling Height
 2.40 SC Floor to Suspended Ceiling Height
 ↗ Joist direction

- Notes:**
- Planners can scale from this drawing.
 - Contractor to verify all dimensions on site.
 - Any discrepancy to be reported to the architect for clarification.
 - Drawing and specifications to be read in conjunction with information from all other design consultants and contractors.
 - Drawings and specifications to be read in conjunction with Designer's Hazard and Environment Assessment Record in accordance with current CDM regulations.
 - All works to be carried out in accordance with the latest appropriate codes of practice and to comply with current building regulations.

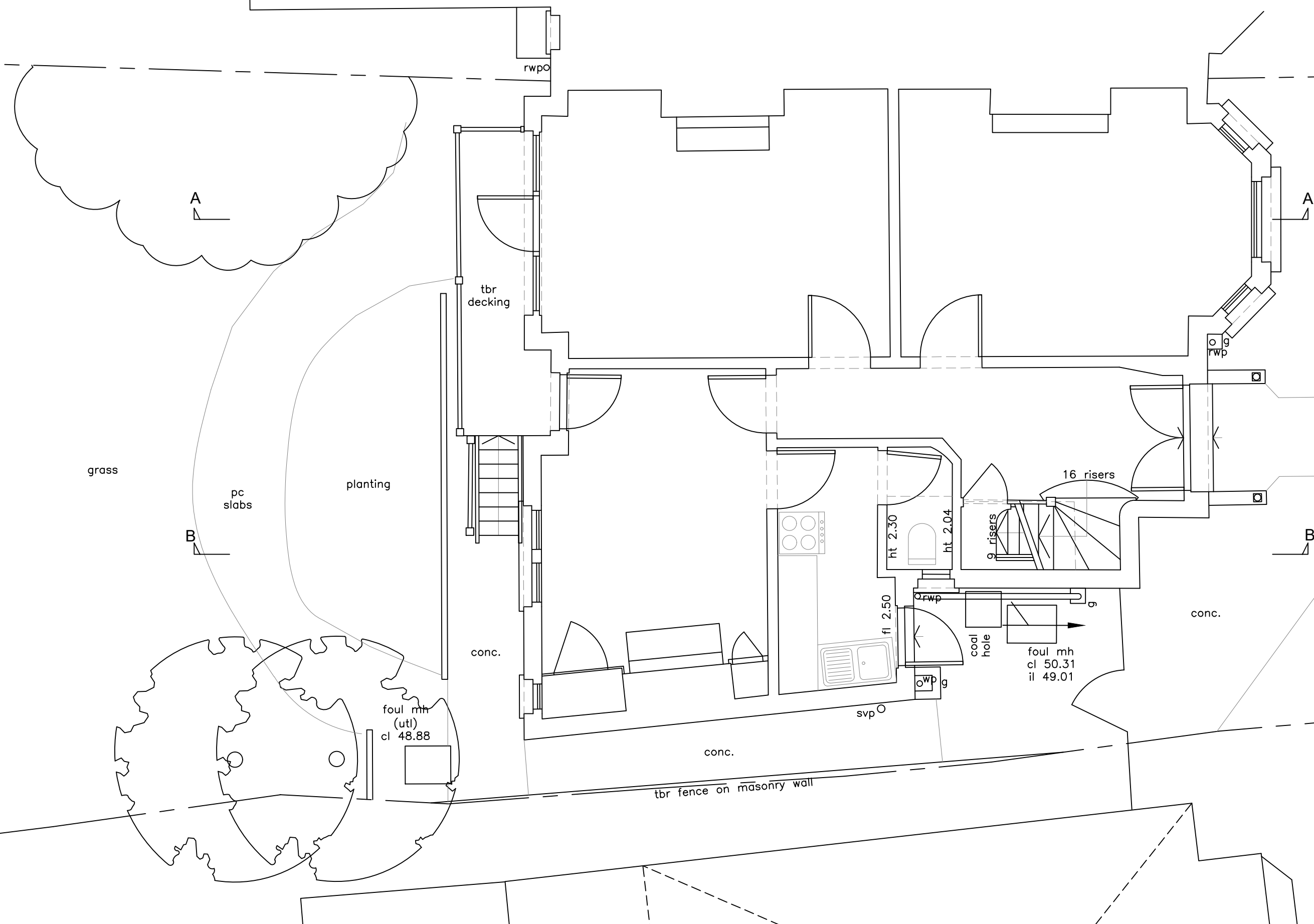


rev	details	date
project	59 Queens Avenue N3 2NN	
drawing	Basement Floor Plan As Proposed Loft Conversion	
job no	drawing no	rev
2444	303	
status Planning		
date	scale @ A3	
11/03/24	1:50	
HARK ARCHITECTURE LTD		
E: info@harkarchitecture.co.uk T: 02081234620		

Ground Floor Plan As Proposed



- Notes:
- Planners can scale from this drawing.
 - Contractor to verify all dimensions on site.
 - Any discrepancy to be reported to the architect for clarification.
 - Drawing and specifications to be read in conjunction with information from all other design consultants and contractors.
 - Drawings and specifications to be read in conjunction with Designer's Hazard and Environment Assessment Record in accordance with current CDM regulations.
 - All works to be carried out in accordance with the latest appropriate codes of practice and to comply with current building regulations.

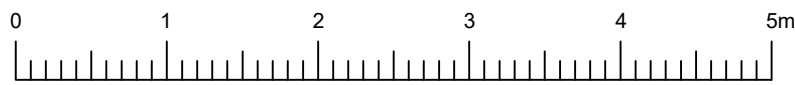


rev	details	date
project		
59 Queens Avenue N3 2NN		
drawing		
Ground Floor Plan As Proposed Loft Conversion		
job no	drawing no	rev
2444	304	
status		
Planning		
date	scale @ A3	
11/03/24	1:50	
HARK ARCHITECTURE LTD		
E: info@harkarchitecture.co.uk T: 02081234620		

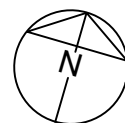
First Floor Plan

As Proposed

- Notes:
- Planners can scale from this drawing.
 - Contractor to verify all dimensions on site.
 - Any discrepancy to be reported to the architect for clarification.
 - Drawing and specifications to be read in conjunction with information from all other design consultants and contractors.
 - Drawings and specifications to be read in conjunction with Designer's Hazard and Environment Assessment Record in accordance with current CDM regulations.
 - All works to be carried out in accordance with the latest appropriate codes of practice and to comply with current building regulations.



SCALE RULER

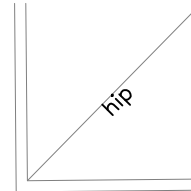


rev	details	date
project		
59 Queens Avenue N3 2NN		
drawing		
First Floor Plan As Proposed Loft Conversion		
job no	drawing no	rev
2444	305	
status		
Planning		
date	scale @ A3	
11/03/24	1:50	

HARK ARCHITECTURE LTD
 E: info@harkarchitecture.co.uk
 T: 02081234620

Loft Plan

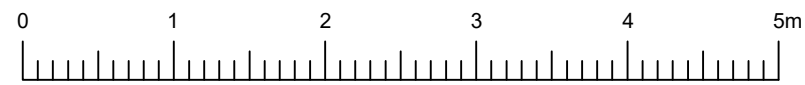
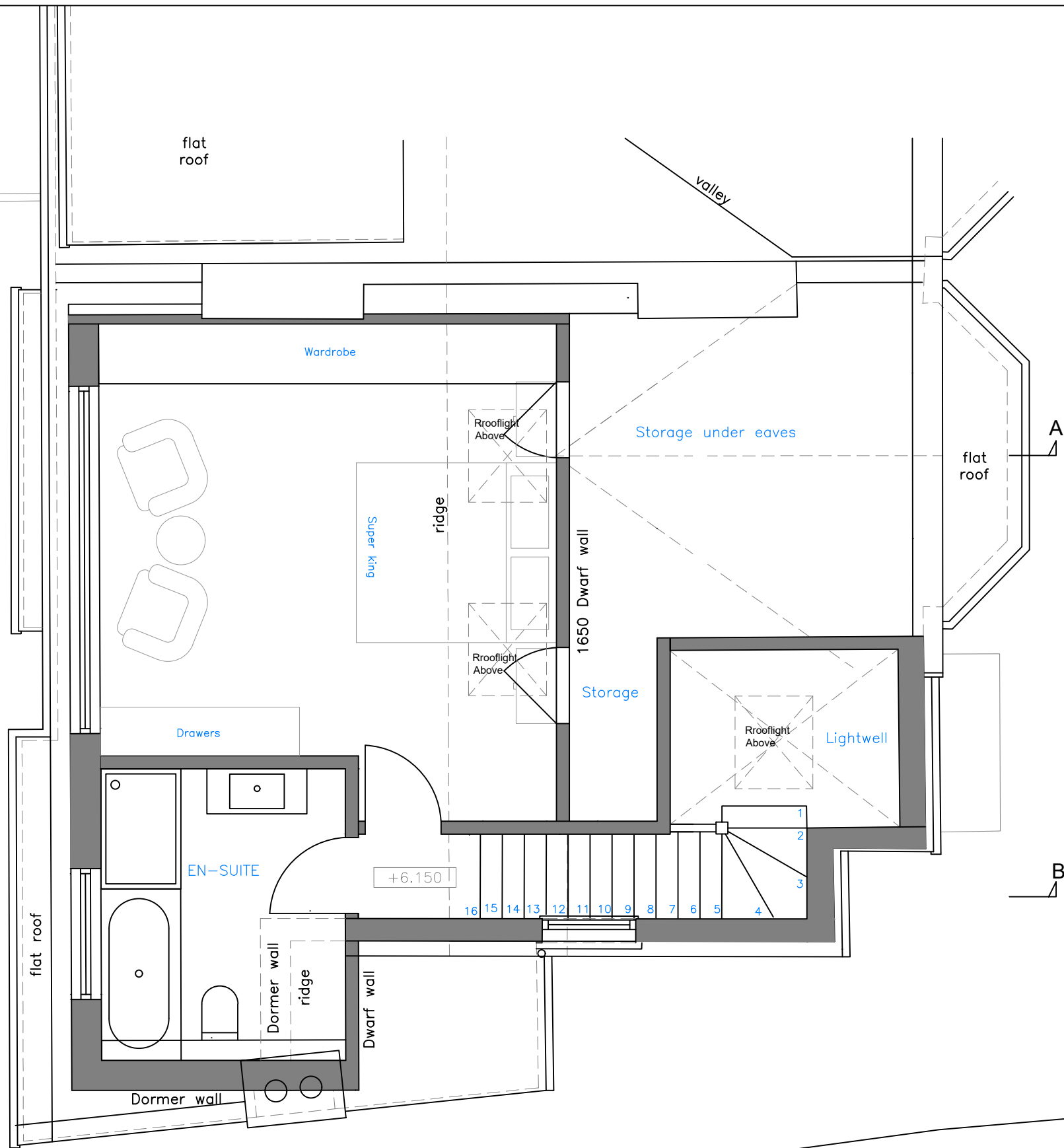
As Proposed



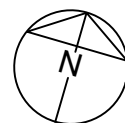
- Notes:
- Planners can scale from this drawing.
 - Contractor to verify all dimensions on site.
 - Any discrepancy to be reported to the architect for clarification.
 - Drawing and specifications to be read in conjunction with information from all other design consultants and contractors.
 - Drawings and specifications to be read in conjunction with Designer's Hazard and Environment Assessment Record in accordance with current CDM regulations.
 - All works to be carried out in accordance with the latest appropriate codes of practice and to comply with current building regulations.

A

B



SCALE RULER



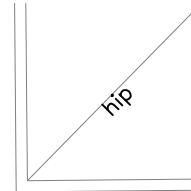
rev	details	date
project	59 Queens Avenue N3 2NN	
drawing	Loft Floor Plan As Proposed Loft Conversion	
job no	drawing no	rev
2444	306	
status	Planning	
date	scale @ A3	
11/03/24	1:50	

HARK ARCHITECTURE LTD

E: info@harkarchitecture.co.uk
T: 02081234620

Roof Plan

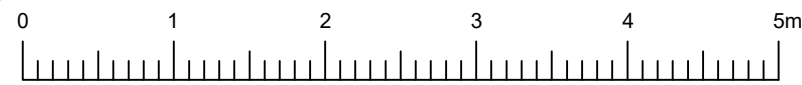
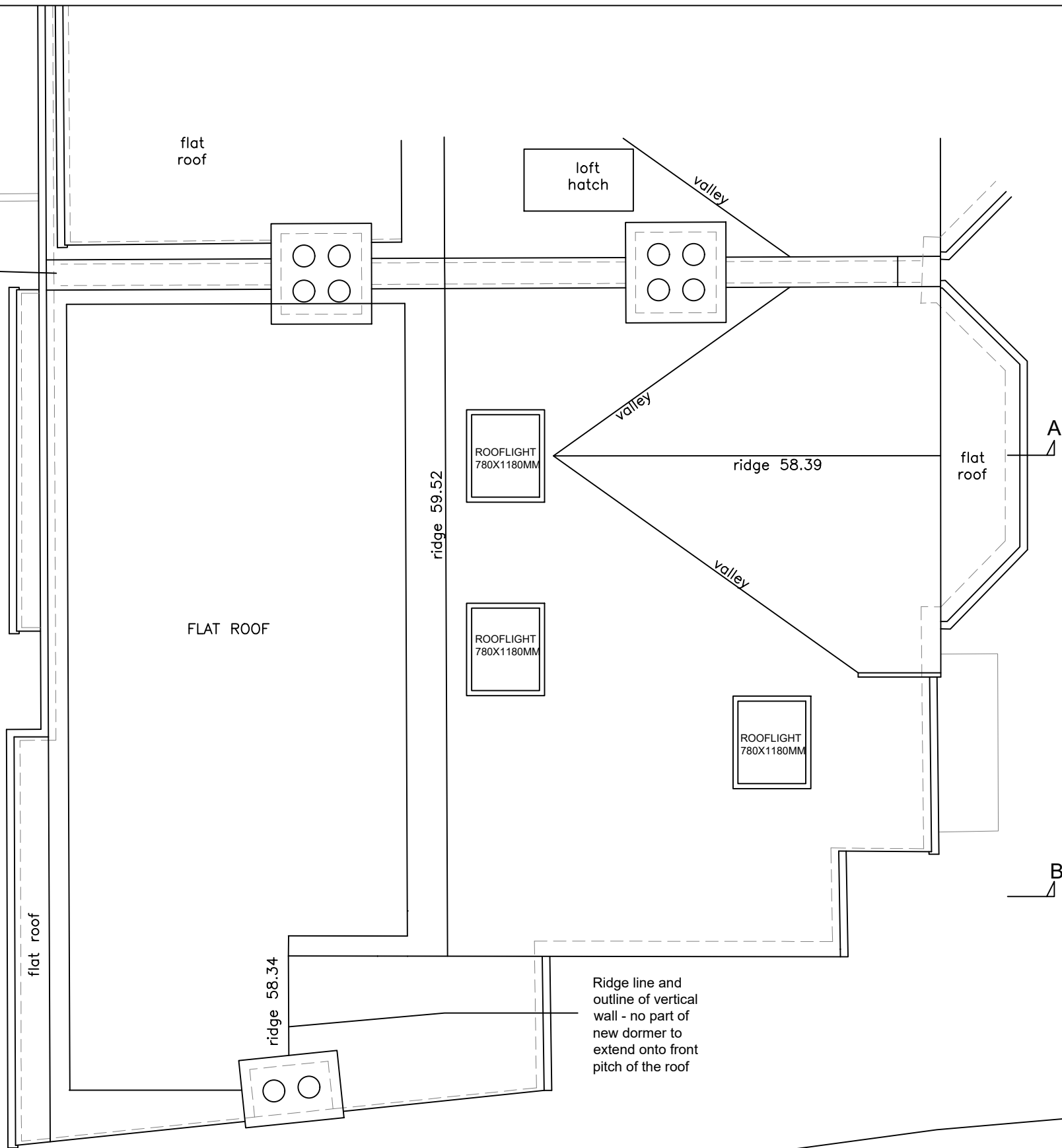
As Proposed



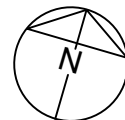
- Notes:
- Planners can scale from this drawing.
 - Contractor to verify all dimensions on site.
 - Any discrepancy to be reported to the architect for clarification.
 - Drawing and specifications to be read in conjunction with information from all other design consultants and contractors.
 - Drawings and specifications to be read in conjunction with Designer's Hazard and Environment Assessment Record in accordance with current CDM regulations.
 - All works to be carried out in accordance with the latest appropriate codes of practice and to comply with current building regulations.

A

B



SCALE RULER



rev	details	date
project		
59 Queens Avenue N3 2NN		
drawing		
Roof Plan As Proposed Loft Conversion		
job no	drawing no	rev
2444	307	
status		
Planning		
date	scale @ A3	
11/03/24	1:50	

HARK ARCHITECTURE LTD

E: info@harkarchitecture.co.uk
T: 02081234620

- Notes:
- Planners can scale from this drawing.
 - Contractor to verify all dimensions on site.
 - Any discrepancy to be reported to the architect for clarification.
 - Drawing and specifications to be read in conjunction with information from all other design consultants and contractors.
 - Drawings and specifications to be read in conjunction with Designer's Hazard and Environment Assessment Record in accordance with current CDM regulations.
 - All works to be carried out in accordance with the latest appropriate codes of practice and to comply with current building regulations.

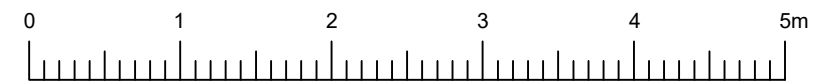
New flat roof dormer
Tiles to match existing

Hip to gable loft conversion

Ridge line and outline of vertical wall - no part of new dormer to extend onto front pitch of the roof



Front (East) Elevation
As Proposed



SCALE RULER

rev	details	date
project		
59 Queens Avenue N3 2NN		
drawing		
Front Elevation As Proposed Loft Conversion		
job no	drawing no	rev
2444	308	
status		
Planning		
date	scale @ A3	
11/03/24	1:50	
HARK ARCHITECTURE LTD		
E: info@harkarchitecture.co.uk T: 02081234620		



- Notes:
- Planners can scale from this drawing.
 - Contractor to verify all dimensions on site.
 - Any discrepancy to be reported to the architect for clarification.
 - Drawing and specifications to be read in conjunction with information from all other design consultants and contractors.
 - Drawings and specifications to be read in conjunction with Designer's Hazard and Environment Assessment Record in accordance with current CDM regulations.
 - All works to be carried out in accordance with the latest appropriate codes of practice and to comply with current building regulations.

Rear (West) Elevation
As Proposed

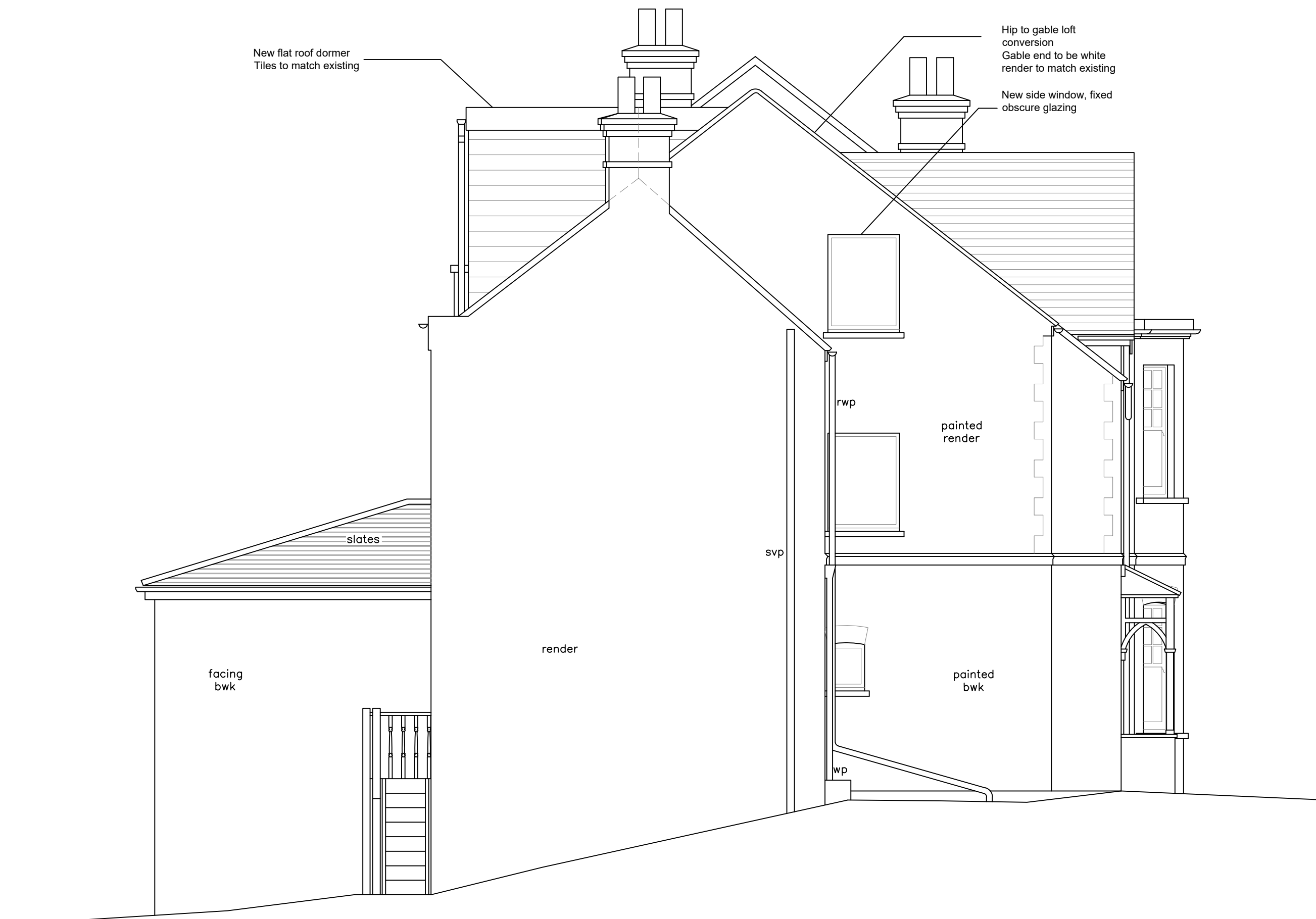
rev	details	date
project		
59 Queens Avenue N3 2NN		
drawing		
Rear Elevation As Proposed Loft Conversion		
job no	drawing no	rev
2444	309	
status		
Planning		
date	scale @ A3	
11/03/24	1:50	
HARK ARCHITECTURE LTD		
E: info@harkarchitecture.co.uk T: 02081234620		

New flat roof dormer
Tiles to match existing

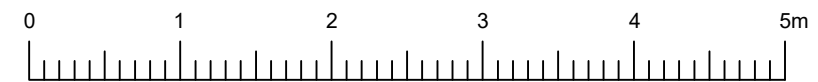
Hip to gable loft conversion
Gable end to be white render to match existing

New side window, fixed obscure glazing

- Notes:
- Planners can scale from this drawing.
 - Contractor to verify all dimensions on site.
 - Any discrepancy to be reported to the architect for clarification.
 - Drawing and specifications to be read in conjunction with information from all other design consultants and contractors.
 - Drawings and specifications to be read in conjunction with Designer's Hazard and Environment Assessment Record in accordance with current CDM regulations.
 - All works to be carried out in accordance with the latest appropriate codes of practice and to comply with current building regulations.



Side (South) Elevation
As Proposed

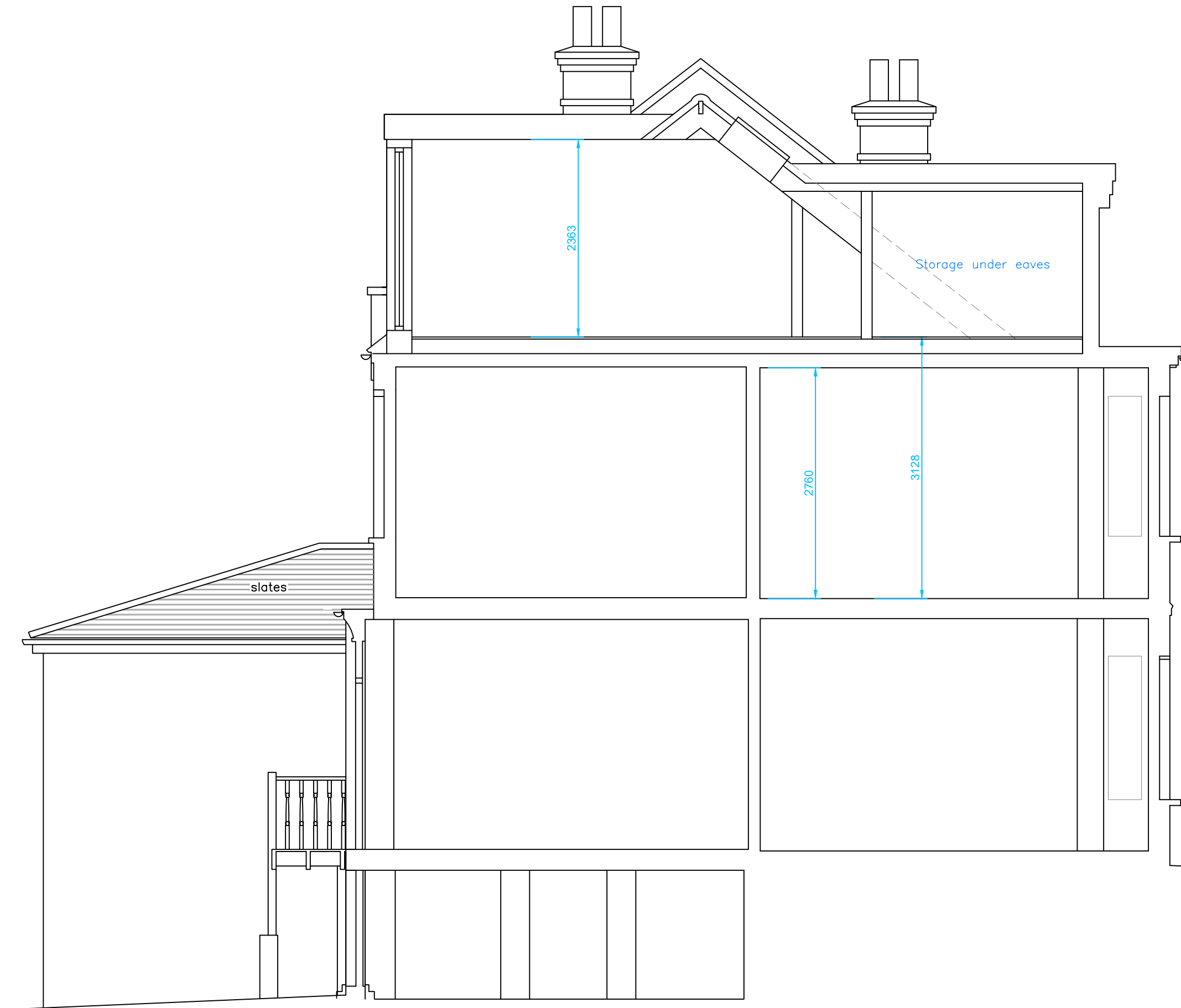


SCALE RULER

rev	details	date
project		
59 Queens Avenue N3 2NN		
drawing		
Side Elevation As Proposed Loft Conversion		
job no	drawing no	rev
2444	310	
status		
Planning		
date	scale @ A3	
11/03/24	1:50	

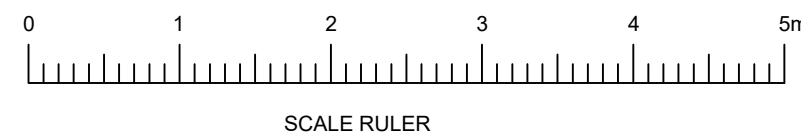
HARK ARCHITECTURE LTD

E: info@harkarchitecture.co.uk
T: 02081234620

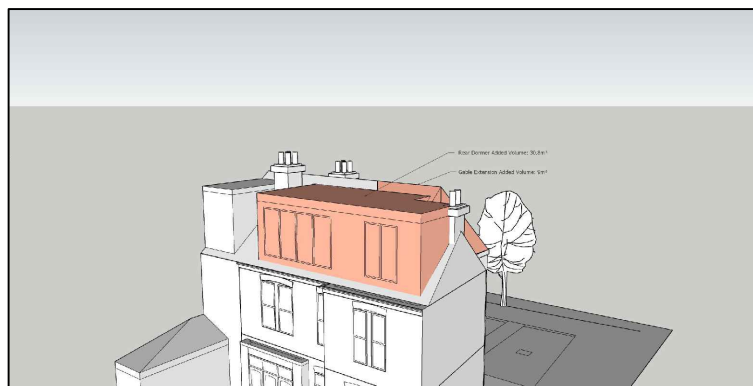
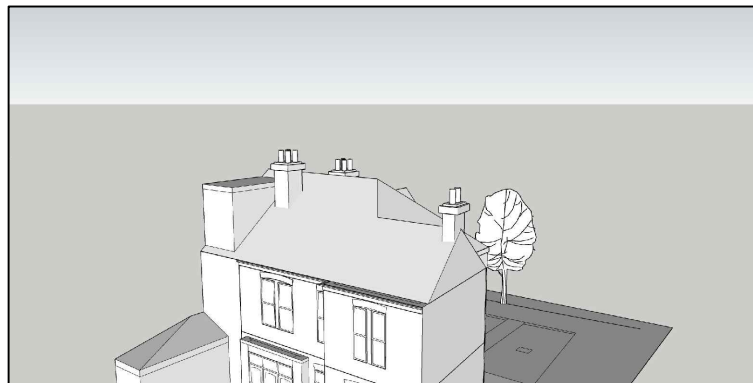


- Notes:
- Planners can scale from this drawing.
 - Contractor to verify all dimensions on site.
 - Any discrepancy to be reported to the architect for clarification.
 - Drawing and specifications to be read in conjunction with information from all other design consultants and contractors.
 - Drawings and specifications to be read in conjunction with Designer's Hazard and Environment Assessment Record in accordance with current CDM regulations.
 - All works to be carried out in accordance with the latest appropriate codes of practice and to comply with current building regulations.

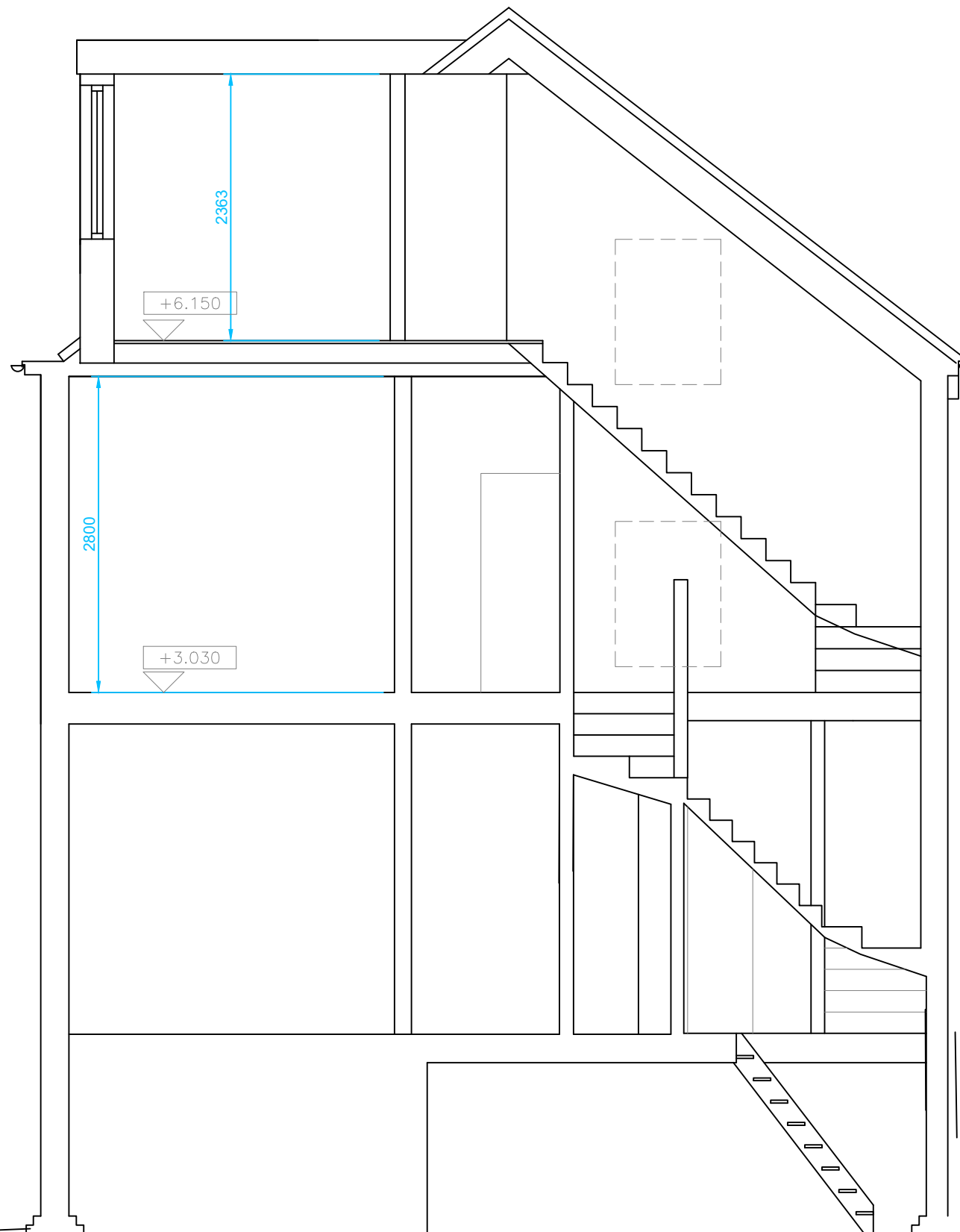
Section A-A
As Proposed



rev	details	date
project		
59 Queens Avenue N3 2NN		
drawing		
Section AA As Proposed Loft Conversion		
job no	drawing no	rev
2444	311	
status		
Planning		
date	scale @ A3	
11/03/24	1:50	
HARK ARCHITECTURE LTD		
E: info@harkarchitecture.co.uk T: 02081234620		



Additional Volume Calculation:
39.8 m³



- Notes:
- Planners can scale from this drawing.
 - Contractor to verify all dimensions on site.
 - Any discrepancy to be reported to the architect for clarification.
 - Drawing and specifications to be read in conjunction with information from all other design consultants and contractors.
 - Drawings and specifications to be read in conjunction with Designer's Hazard and Environment Assessment Record in accordance with current CDM regulations.
 - All works to be carried out in accordance with the latest appropriate codes of practice and to comply with current building regulations.

Section B-B As Proposed

rev	details	date
project		
59 Queens Avenue N3 2NN		
drawing		
Section BB As Proposed Loft Conversion		
job no	drawing no	rev
2444	312	
status		
Planning		
date	scale @ A3	
11/03/24	1:50	
HARK ARCHITECTURE LTD		
E: info@harkarchitecture.co.uk T: 02081234620		