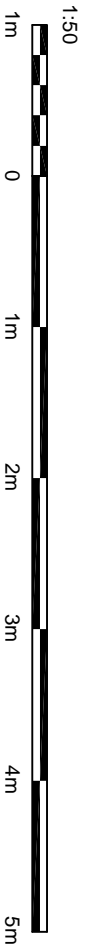


PROPOSED Adj. SIDE ELEVATION

Scale 1:50



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ALL STRUCTURAL ELEMENTS (such as beams, lintels, joists, rafters, columns, walls, foundations and etc.) SHOWN ON DRAWINGS ARE ONLY INDICATIVE. THEY ARE SUBJECTED TO FURTHER STRUCTURAL ENGINEER'S CONSIDERATION.

DRAWING STATUS	PLANNING
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REV.	DATE	NAME	DESCRIPTION
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Architectural Design Studio
4 ST ANNES, DORIC WAY,
EUSTON, LONDON NW1 1LG
+44 07838 135 957

GENERAL NOTES:

- Any dimensions shown are indicative only and are subject to verification on site. The contractor to set out, check and co-ordinate all dimensions on site during the course of the works and prior to setting out on site. This drawing to be read in conjunction with all other Architect's and Engineer's drawings, Structural Engineer's calculations and any specialist supplier's drawings. Homeowner is responsible and should ensure that all working drawings and calculations are completed, approved by Building Control or Planning Departments & that they are the current revised drawings before any works start on site.
- Inform the Building Control department that the works are about to commence on site after receiving an approved decision from planning / building control in writing for your proposed works.
- Verify boundary lines & ground conditions including checking positions and new connections of all gas, electric, water, drainage, etc. before commencing works. Homeowner is responsible for all gas, electric, water, drainage, etc. connections. Owner is responsible for establishing own boundary lines on DPL, are not responsible for checking land ownership even if drawings have been approved by the planning and building control departments. If uncertain a land search should be carried out by the homeowner/contractor.
- DPL are not responsible for builders changing design methods from proposed works. The client is responsible for ensuring that any changes to the design are approved by the planning and building control departments. If uncertain a land search should be carried out by the homeowner/contractor.
- Owner is responsible for providing suitable access for the proposed works. Building Control may require any additional structural design change on site from the start to end of building works requested by building control or any other third party's instruction during building works.
- Request a copy of the Party Wall Award where works affect party wall or involve excavations within 3 meters of adjoining buildings or building over a public sewer. (Client's responsibility)

OTHER NOTES:

- Where works involve demolition to ensure that all elements of the building and adjoining structures are accounted for and that all necessary propping and temporary supports are in place. Do not scale off this drawing as the scaling may be off.
- Works carried out under a building notice or prior to approval of drawings are at the contractor's/owner's risk. (All DPL drawings must be approved before works commence)
- Homeowner is responsible for providing suitable access for the proposed works. Building Control may require any additional structural design change on site from the start to end of building works requested by building control or any other third party's instruction during building works.
- Request a copy of the Party Wall Award where works affect party wall or involve excavations within 3 meters of adjoining buildings or building over a public sewer. (Client's responsibility)

OTHER NOTES:

- All new proposed roof and wall finishes on this drawing to match existing materials. All new proposed roof finishes to be confirmed by the contractor. All new proposed wall finishes to be confirmed by the contractor. Proposed window shown on this drawing which overlook other property's are designed to be non opening and of obscure glazing. For a permitted development left design the former designed on this drawing is set back from the street by 20mm, this note is a confirmation that it is designed this way. All works to be carried out in accordance with the latest applicable codes of practice and to comply with current building regulations.
- No inspection of the underground drainage was not possible on survey. Contractor should check drainage runs and ensure they are in good condition. ALL DRAWINGS SHOWN IS ASSUMED AND MUST BE VERIFIED BY CONTRACTOR.
- THIS DRAWING CONTENT INCLUDING NOTES IS BOUND TO SIGNED AGREED CONTRACT BETWEEN CLIENT & DISCOUNT PLANS LTD

SITE ADDRESS
16 RALEIGH DRIVE,
WHESTSTONE, LONDON, N20 0UU

DRAWING TITLE
PROPOSED DRAWINGS

DRAWN AT HEAD OFFICE

SCALE AS SHOWN

DRAWING NO.

DPL. 10.

DRAWN BY

10. APRIL, 2024

REVISION

www.discountplansltd.com