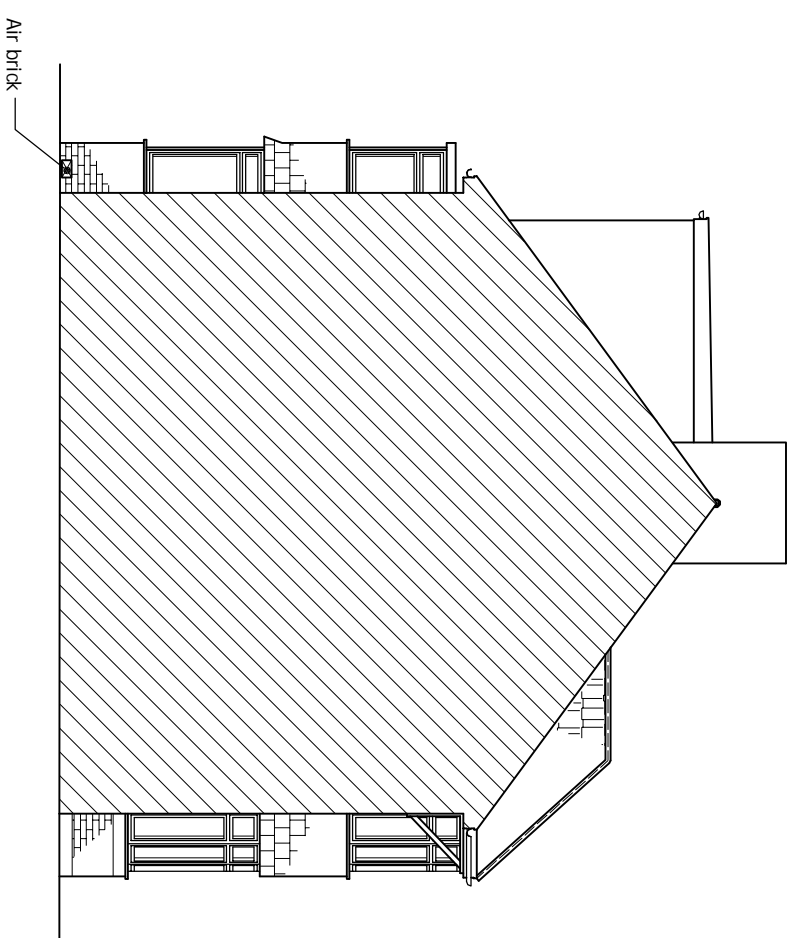
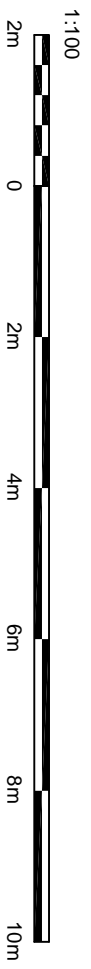


EXISTING REAR ELEVATION
Scale 1:100



EXISTING Adj. SIDE ELEVATION
Scale 1:100



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DRAWING STATUS	PLANNING		
REV.	DATE	NAME	DESCRIPTION

Architectural Design Studio
4 ST ANNES, DORIC WAY,
EUSTON, LONDON NW1 1LG
+44 07838 135 957

GENERAL NOTES:

1. Any dimensions shown are indicative only and are subject to verification on site. The contractor to set out, check and co-ordinate all dimensions on site during the course of the works and prior to setting out on site. This drawing is to be read in conjunction with all other Architect's and Engineer's drawings, Structural Engineers' calculations and any specialist supplier's drawings. Homeowner is responsible and should ensure that all working drawings and calculations are completed, approved by Building Control or Planning Departments & that they are the current revised drawings before any works start on site.
2. Inform the Building Control department that the works are about to commence on site after receiving an approved decision from planning / building control in writing for your proposed works.
3. Verify boundary lines & ground conditions including checking positions and new connections of all gas, water, electricity, drainage, etc. before commencing works. Homeowner is responsible for all gas, water, electricity, drainage, etc. connections. Owner is responsible for establishing own boundary lines as DPL are not responsible for checking land ownership even if drawings have been approved by the homeowner/contractor.
4. DPL are not responsible for builders changing design methods from proposed works. The client is responsible for any changes to the design methods from proposed works.
5. Owner is responsible for providing suitable and safe working conditions including providing suitable and safe access to the site for any additional structural design change on site from the start to end of building works requested by building control or any other third party's instruction during building works.
6. Request a copy of the Party Wall Award where works affect party wall or involve excavations within 3 meters of adjoining buildings or building over a public sewer. (Client's responsibility)

7. Where works involve demolition to ensure that all elements of the building and

7. Where works involve demolition to ensure that all elements of the building and adjoining structures are accounted for and that all necessary propping and temporary supports are in place. Do not scale off this drawing as the scaling may be off.
8. Works carried out under a building notice or prior to approval of drawings are at the contractor's/owner's risk. (All DPL drawings must be approved before works commence)
9. Any discrepancies, either between written and site dimensions or between this drawing and other consultant's or supplier's drawings, should be brought to the immediate attention of DPL before executing the structural, drainage, mechanical and electrical works. Homeowner is responsible for ensuring that all dimensions are correct and that the works are carried out in accordance with the drawings. Homeowner is responsible for the purchase of materials to be used on an alternative design can be checked and approved by building control or the engineer before works can commence.
10. All of DPL's structural designs are subject to loading being in line with the existing structure. If the existing structure is not in line with the design, the existing foundation type and building control will need to advise on a different method of construction. If required by an engineer, a lift or piled foundation, this will need to be approved by building control before works can commence.
11. All steelwork to be used on site must be approved by building control before purchase of steel/s. If non-load bearing then steel should not be ordered. No railing or column can be given against DPL on the design/materials changed for these steel/s.

OTHER NOTES:

1. All new proposed roof and wall finishes on this drawing to match existing materials. All new proposed roof and wall finishes should be specified in the drawings. All new proposed roof and wall finishes should be specified in the drawings. All new proposed roof and wall finishes should be specified in the drawings.
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12. All drawings connections is assumed & is subject for checking by builder, Homeowner & building control, Homeowner is responsible for ensuring that all connections are correct and that the works are carried out in accordance with the drawings. Homeowner is responsible for the purchase of materials to be used on an alternative design can be checked and approved by building control or the engineer before works can commence.

ALL STRUCTURAL ELEMENTS (such as beams, lintels, joists, rafters, columns, walls, foundations and etc.) SHOWN ON DRAWINGS ARE ONLY INDICATIVE. THEY ARE SUBJECT TO FURTHER STRUCTURAL ENGINEER'S CONSIDERATION.

SITE ADDRESS	
16 RALEIGH DRIVE, WHESTSTONE, LONDON, N20 0UU	
DRAWING TITLE	
EXISTING DRAWINGS	
DRAWN AT	HEAD OFFICE
SCALE	AS SHOWN
DRAWING NO.	10. APRIL, 2024
DRAWN BY	
REVISION	
DPL.03.	WWW.DISCOUNTPLANS.LTD.COM