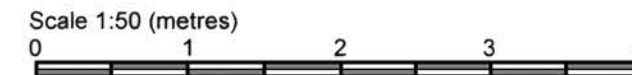


1. Assumed line of existing fw drain to mains.
2. Lay new inspection chambers and 100 Osma pipe at 1:40 falls to makers' recommendations.
3. Infill garage door opening with matching cavity masonry recessed 40 behind existing wall face. Dritherm 32 full fill cavity insulation. Incorporate custom made treated sw double glazed sash window (U value > 1.4w/m2). All on min 250 thick concrete strip foundations 600w founded nlt 800 below GL or as required on site by building control. Should adverse conditions be encountered specialist advice to be sought.
4. Wall mounted fan with min.30 litre/sec extract rate. 10 air gap under door.
5. Inject cavity insulation if required by specialist installer.
6. Remove roller shutter door; modify opening and install new slide/fold doors 3.0m w under new lintel.
7. Above ground drainage to BS EN12056.
8. Velux rooflight over type MKO4 780 x978 all to makers' recommendations. Trim gang nail trusses to truss manufacturer's details.
9. 47x97 C24 sw studwork at nlt 400c/c clad both sides with 15 plasterboard + skim finish + sound deadening fibreglass quilt infill in stud voids.
10. Wine cellar under: raise hatch door to new floor level.
11. Line gable wall with 75+9 Gyproc ThermaLine combined PIR + plasterboard + skim finish.

:: Proposed Layout :: 1:50 at A3 ::



**Conversion of Garage to Accommodation
at 14 Wharton Street Bungay
for Mr and Mrs David Trafford**

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**Proposed Floor Layout
Scale: 1:50 at A3
Drg.No.2341.5**