

## Heritage, Design and Access Statement

### Address

15 Clifford Avenue,  
Ilkley, West Yorkshire  
LS29 0AS



Figure 1: Existing Front Elevation

### General Context

The site is currently a 5-bedroom house on the cul-de-sac of Clifford Avenue, on the North side of Ilkley. The street is a quiet, private family residential community. The majority of dwellings in the area are large, detached family dwellings with generous gardens.

15 Clifford Ave is a two-storey detached dwelling with attached garage. The property is stone fronted with painted render to the sides and rear. There are 4 double bedrooms and a large master suite. The ground floor houses a open plan kitchen/ diner, a separate living space, utility room and small WC. The ground floor has some unfunctional spaces and lacks connection between the indoor and outdoor living spaces.

The site sits within the Middleton conservation area. Middleton has a distinct leafy character and layout with many buildings that are comparable in character and architectural form to those in neighbouring Ilkley Conservation area.

Most houses in the Middleton Conservation Area have been built alone or as a very small group by local builders. This accounts for the slight differences in age, aspect, style, size and shape of dwellings along the same street. These differences make the unifying contribution made using natural materials more noticeable and therefore important to the image of Middleton conservation area.

Although the natural beauty of trees, the riverside, and the topography of Wharfedale dominate Middleton, the quality, siting and interest of its buildings is a crucial element that accounts for the designation of Middleton Conservation Area. The design, decoration and craftsmanship of the buildings are all factors in determining their significance, however buildings that are good examples of a particular age, building type, style or technique and those that are evocative of a given region are of particular merit.

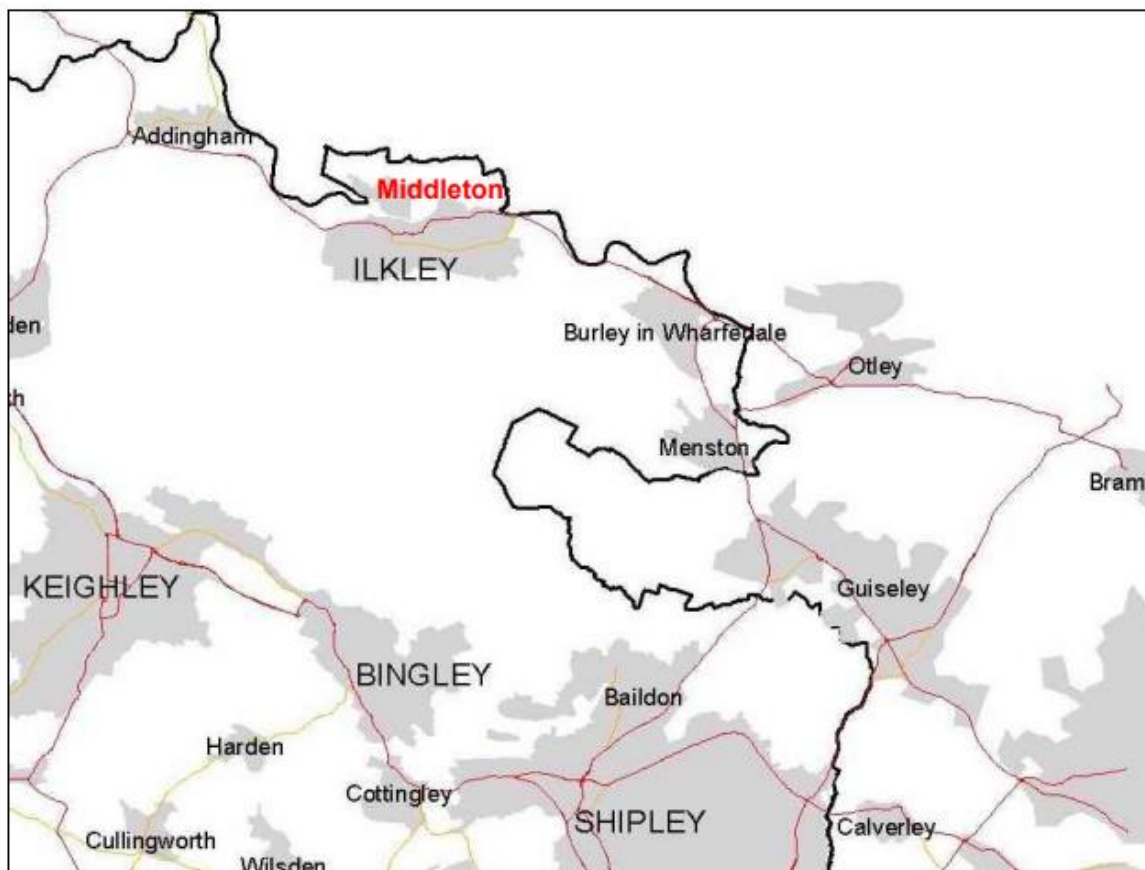


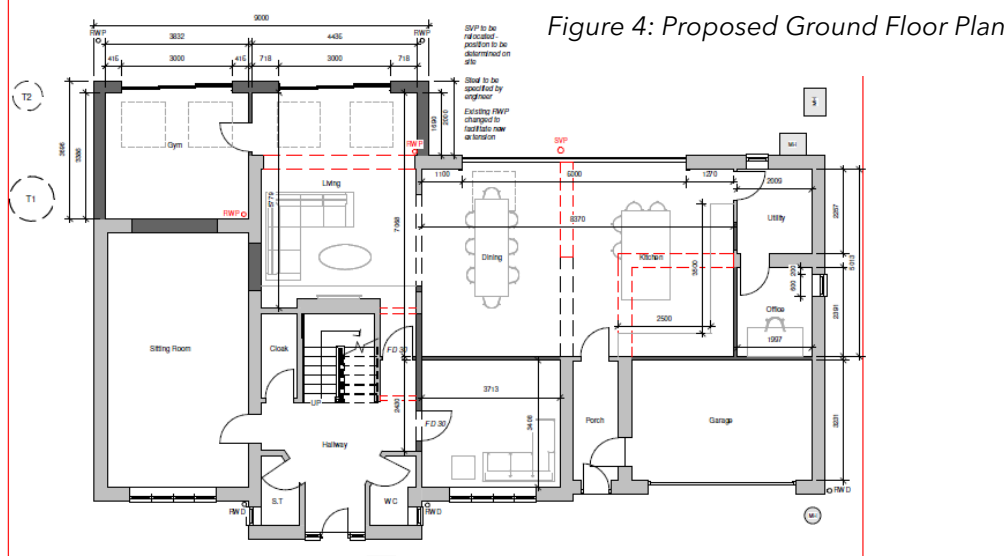
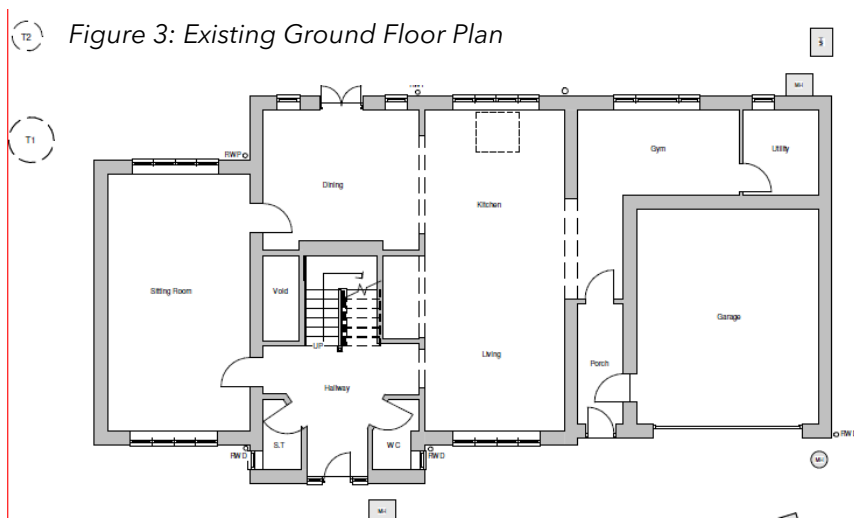
Figure 2: Map of Conservation Area

## Proposal

The proposal is to add a small infill wrap-around extension that will match the existing render of the property to create a larger gym and living area in the open plan kitchen/ diner. The proposal will enhance the connection between indoor and outdoor living for the family by adding 2 more access points to the rear garden. The newly proposed sliding doors will also bring in lots of natural light into the deeper parts of the house.

The proposed alterations will enhance the functionality of the space and has removed the voids/ unused space from the layout. This is very beneficial to the growing family and allows them to make best use of the space available.

The extension will be complimentary to the existing property and will match seamlessly in materials. The addition of glazing to the rear of the property, invisible from the street, modernizes the building and brings the living accommodation up to a modern standard.



### **Amount**

The internal area of the property will be increased by 20.66 m<sup>2</sup> from the addition of the infill extension.

### **Scale**

The scale of the house will only be affected slightly as the addition of the property is on the rear and not in view from the street and no further area is to be extended.

### **Appearance**

The appearance of the property will have no drastic change. All existing windows will remain maintained, the only external appearance changes will be the proposal of the new infill extension and door changes. There are 4 new skylights proposed on the infill extensions roof and 3 new sliding doors proposed on the rear matching with existing materials and colour this will allow for a more social space and easier access into the garden space.

### **Use**

The use of the building will not be changed.

### **Access**

The vehicular and pedestrian access to the dwelling will remain as existing via the front entrance.

### **Heritage**

The existing heritage considerations include that the property is a stone, two story detached dwelling which is a mirror twin to the building next door.

As previously stated, we intend to extend the property in a way that is complimentary to the existing building, neighboring property and the greater street scene. As there will be no changes to the front of the property the heritage of the area will not visually be disturbed. As for the rear, which is invisible from the street, there will be minor modernisations to improve the living space for the family.

We appreciate the importance of preserving the street scene whilst the existing building can be modified put of public view.