

I 038 – DESIGN & ACCESS STATEMENT

PROPOSED EXTENSION

I 3 STRATHMORE DRIVE, BAILDON, BD17 5LP

JANUARY 2024

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INTRODUCTION

1.0

This statement has been prepared to support the submission of a householder application for a proposed extension at 13 Strathmore Drive, Baildon.

It will identify the key principles considered in terms of layout and design:

Use – What the land and building(s) will be used for

Amount – How much development the site can accommodate

Layout – How building(s) and spaces will be positioned

Scale – How large building(s) and spaces will be

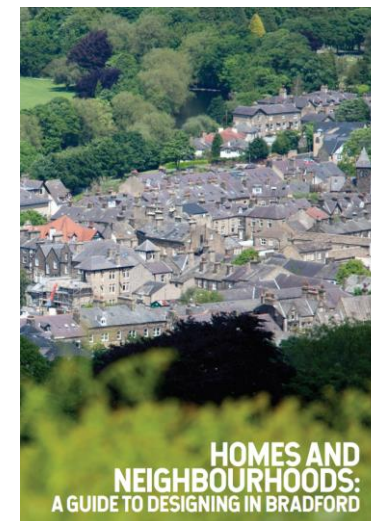
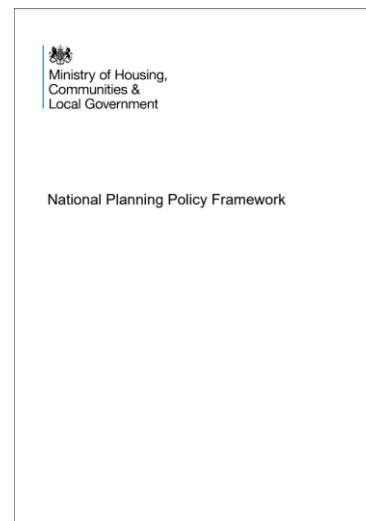
Landscaping – How spaces will be treated to enhance the built environment

Appearance – What the building(s) and spaces will look like

It will also comment on access:

Access – Routes onto the site and people's ability to move around

This statement provides detailed analysis of the property to understand the local context and character.



National & Local Planning criteria and guidance

Introduction

DESCRIPTION OF THE SITE

13 Strathmore Drive is a semi-detached dwelling located on a cul-de-sac of similar properties situated in Baildon, approximately 2 miles north of Shipley.

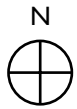
The property is not located within a conservation area and is not listed.

The shape of site is almost rectangular with sudden level changes surrounding the property. All front gardens face Strathmore Drive. Rear gardens are entirely private with no public footpaths providing access.

The property is in Flood Zone 1 which is characterised by low probability of flooding on the Environment Agency Flood Maps.



- Main road
- Public right of way
- Community facility including schools
- Employment
- Side road
- Site boundary
- Public house, restaurant, hotel
- Retail



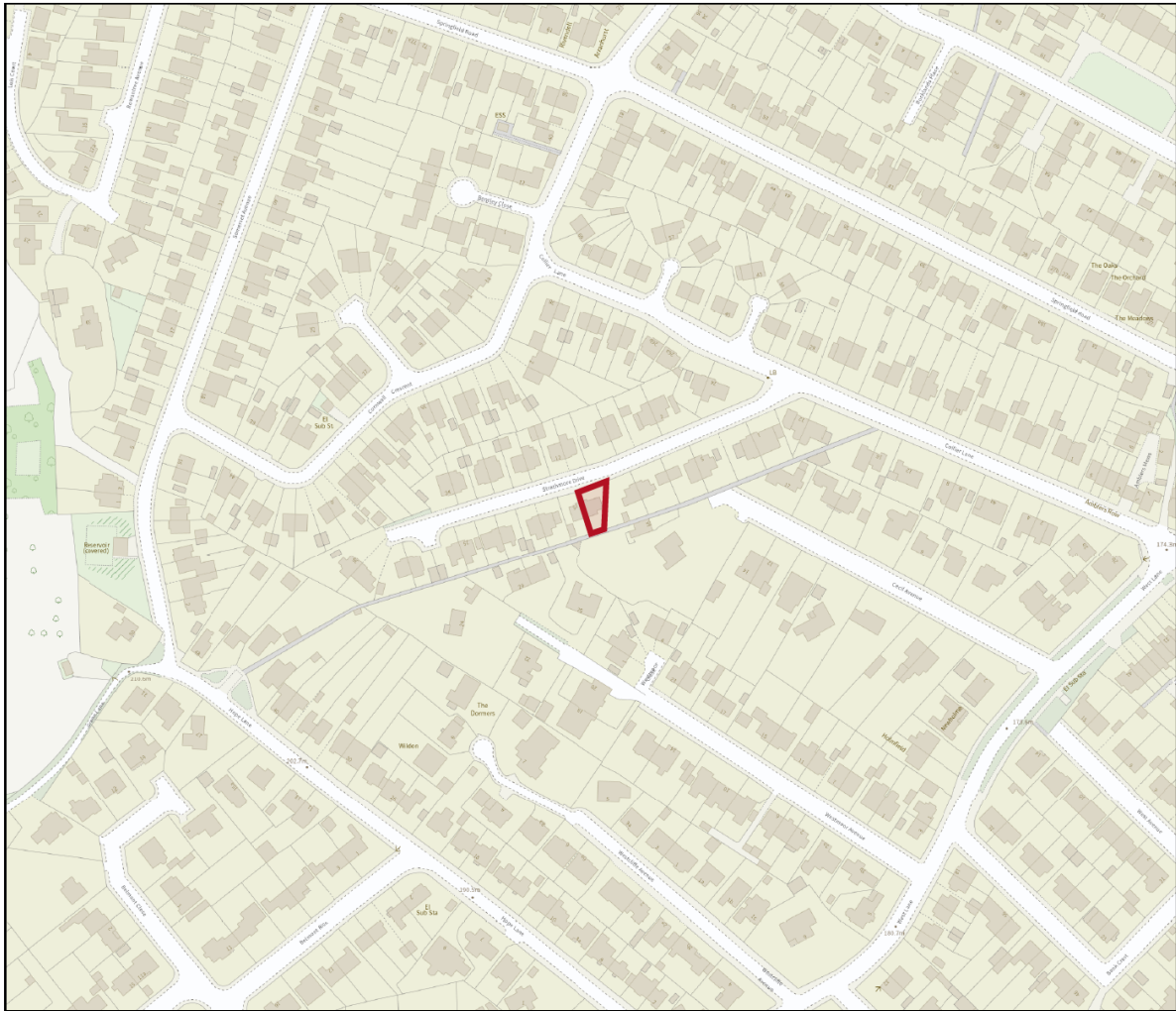
Satellite image



Search Results 1

- Coal Minerals Safeguarding Area (EN13)**
Coal Minerals Safeguarding Area
Policy EN13
- Settlement Boundary (SP3)**
Settlement Boundary
Baillon
Policy SP3












Flood map for planning

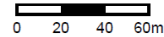
Your reference
<Unspecified>

Location (easting/northing)
414927/439622

Scale
1:2500

Created
20 Jun 2023 17:19

-  Selected area
-  Flood zone 3
-  Flood zone 2
-  Flood zone 1
-  Flood defence
-  Main river
-  Water storage area



Page 2 of 2

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Description

USE

The main objective is to create additional space on the ground floor with a side extension that improves the link from the dwelling to the rear garden, with french doors onto a better patio. A downstairs WC is also proposed and additional first floor bedroom with laundry room.

Approved Planning applications in the surrounding area:

22/01275/HOU – Two storey side extension and detached garage

(resubmission)

17/02664/HOU – Double-storey side extension

AMOUNT

The total site area within the red line boundary on the submitted Location Plan with this application is 230m² (based on topographical survey undertaken).

The existing gross area of the original house is 46m².
Additional gross building area created by the extension is 24.3m² at ground floor and 10.8m² at first floor.

LAYOUT

The proposed side extension is two storey creating additional floor space for a larger kitchen/dining area and downstairs WC. The first floor consists of an additional bedroom and laundry room.

Storage under the ground floor of the extension has less than 1.5 metres headroom therefore excluded as additional storey.

The side extension is set back from the front elevation of the original house and has purposely been designed to step with the gradient of Strathmore Drive that will not impact the appearance of the street.

The following architectural drawings should be read in conjunction with this statement:

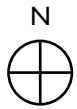
P(00)-01 Proposed Plans

P(00)-02 Proposed Elevations

P(00)-03 Proposed Sections

P(00)-04 Location Plan

P(00)-05 Proposed Site Plan



SCALE

The highest point of the roof to the side extension will not exceed 8,140 metres (measured from the lowest ground level point within the property).

Ground Floor:

Length = 7,305 metres

Width = 2,025 metres (measurement at rear)

Eaves = 2,935 metres (from ground floor level)

First Floor:

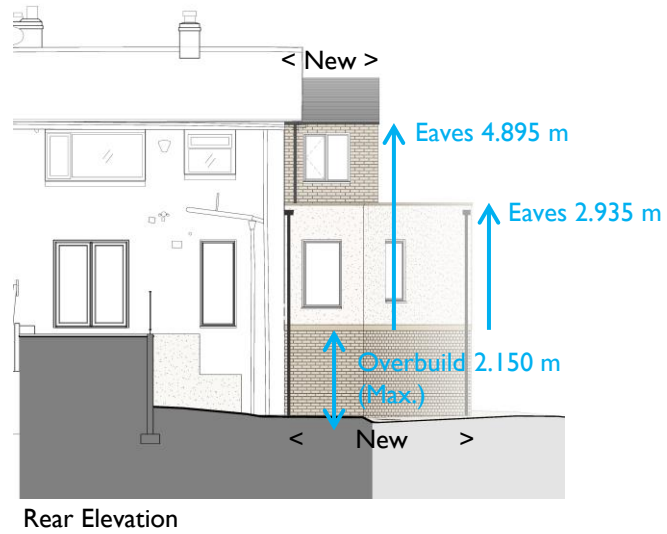
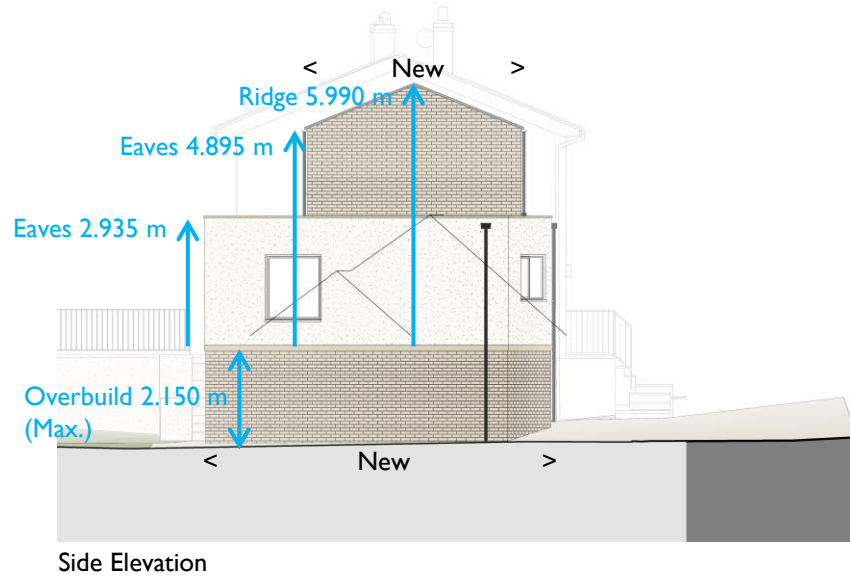
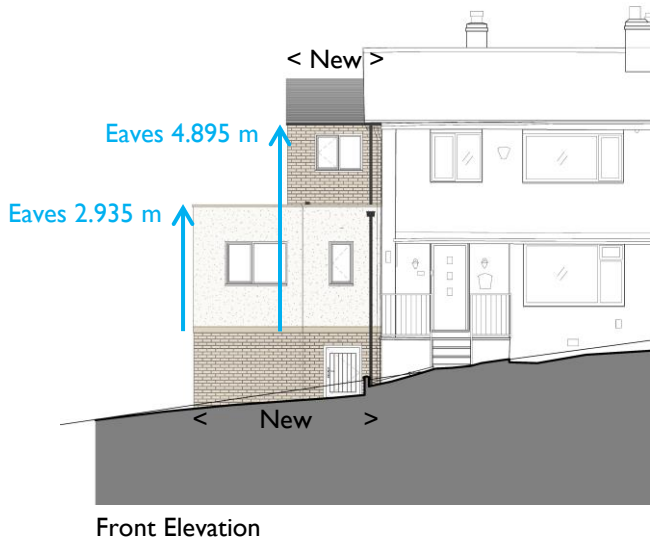
Length = 4,828 metres

Width = 2,250 metres

Eaves = 4,895 metres (from ground floor level)

Ridge = 5,990 metres (from ground floor level)

Overbuild Height = 2,150 metres (maximum height from ground level)



Scale

LANDSCAPING

There are no major changes to the existing hard or soft landscaping.

The rear garden will be re-landscaped as part of the proposal with a new patio and stepped access.

No existing hedges or trees will be affected.

The following site drawings should be read in conjunction with this statement:

P(00)-05 Proposed Site Plan

APPEARANCE

The style and choice of materials and colours have been carefully selected to complement and match elements of the existing property:

Brick below ground floor level and at first floor level closely matching existing

Stone banding at ground floor level

White render up to first floor level closely matching the colour of the existing painted brick

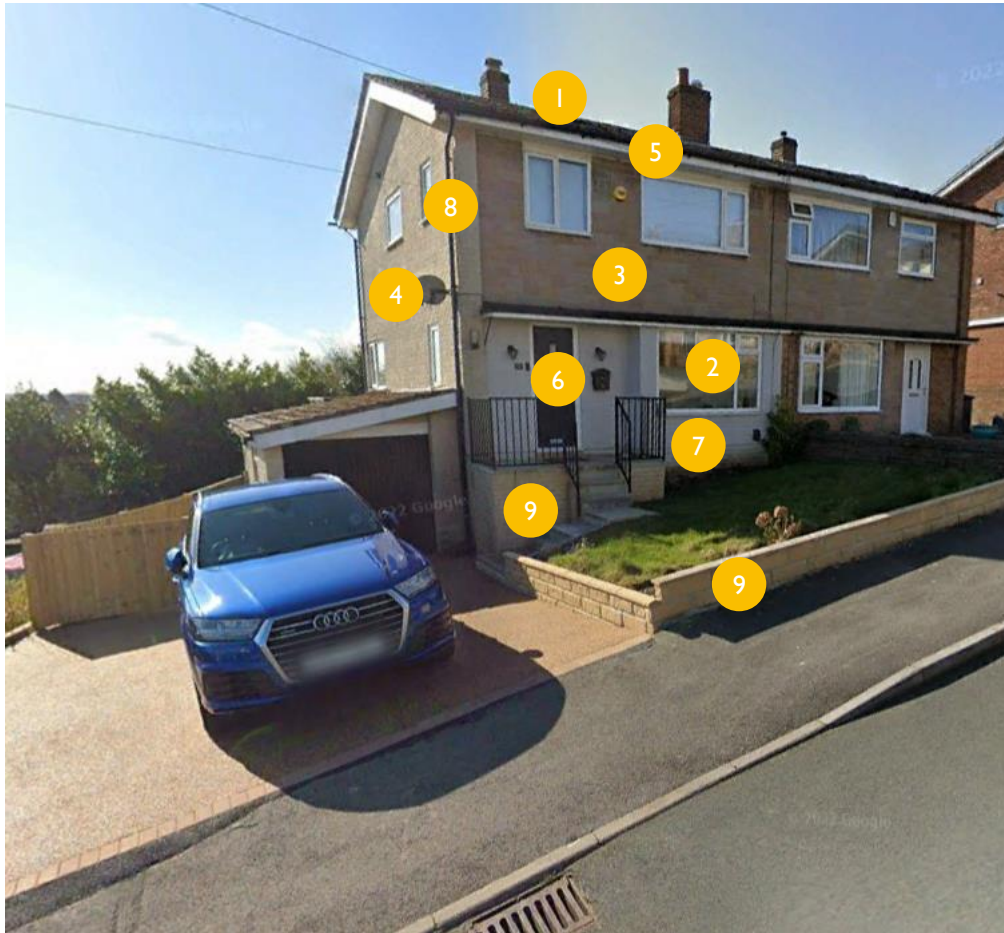
uPVC rainwater goods in black to match existing

Stone coping to top of wall at flat roof level

uPVC windows in white to match existing

Concrete roof tiles to match existing

Composite door to storage area below ground floor



Photograph of original house

1. Grey concrete roof tiles
2. uPVC windows in white
3. Random coursed stone to front
4. Buff brick to gable & rear
5. Fascias & soffits in white
6. Composite door
7. Painted brick in white
8. Rainwater goods in black
9. Split faced walling

Proposed materials to the extension are also indicated on drawing P(00)-02 Proposed Elevations that consider the existing with the addition of white render:



[Sample image]

ACCESS

Both vehicular and pedestrian access to the property is from Strathmore Drive.

The proposal will not affect the highway and the existing driveway for two cars will remain unchanged. Existing garage being demolished as part of the proposal is not wide enough for a modern vehicle and is currently used for storage.

Existing stepped access at the principal entrance will remain unchanged.

A new half-height door is proposed at the front that leads to a storage area under the ground floor extension and original house.

New french doors to the rear of the existing house are proposed with new stepped access.

Level access cannot be achieved due to sloping nature of the property.

CONCLUSION

This statement has considered the local context. The proposal will not create significant implications for local amenity or highway safety.

Its appearance has been subject to careful consideration with proposed materials selected that are in-keep and sympathetic with the character of the street/area.