

Heritage Statement for

“Jolma”, Cornsland, Brentwood, Essex CM14 4JL

Site: “Jolma”, Cornsland, Brentwood, Essex CM14 4JL

Proposal: to provide a new enclosed entrance canopy

Date : March 2024

Introduction

This Heritage Statement has been written & prepared by Patrick Stroud and accompanies the planning application for this site. The application site is in the vicinity of Grade II Listed House – “The Priory”.

Location & History

“Jolma” is a detached house located 0.5 miles south of the centre of Brentwood.

It is flanked thus.

- to the north by Cornsland road with “The Priory” opposite
- To the east by “Wynthorpe”, a detached house
- To the south by the railway line
- To the west by “Greystones”, a detached house

Heritage

“The Priory” is a Grade II Listed, located to the north of the application house.

The listing is noted below

THE PRIORY

Heritage Category: **Listed Building**

Grade: **II**

List Entry Number: **1391674**

II Two storey house of C16, C17 and C19 date with some C20 alterations. Timber framed, encased with rendered brick and part-weather boarded on the rear. Gable roofs, covered with concrete tiles, 4 rendered stacks. The house has a complex plan-form but incorporates the remnant of a C16 hall with service end and chambers above, C17 cross wing to the east. Projecting, 2 bay, late C19 wing with a recessed porch with panelled entrance door to west. C19 and C20 casement windows, some leaded and others with drip-mould heads.

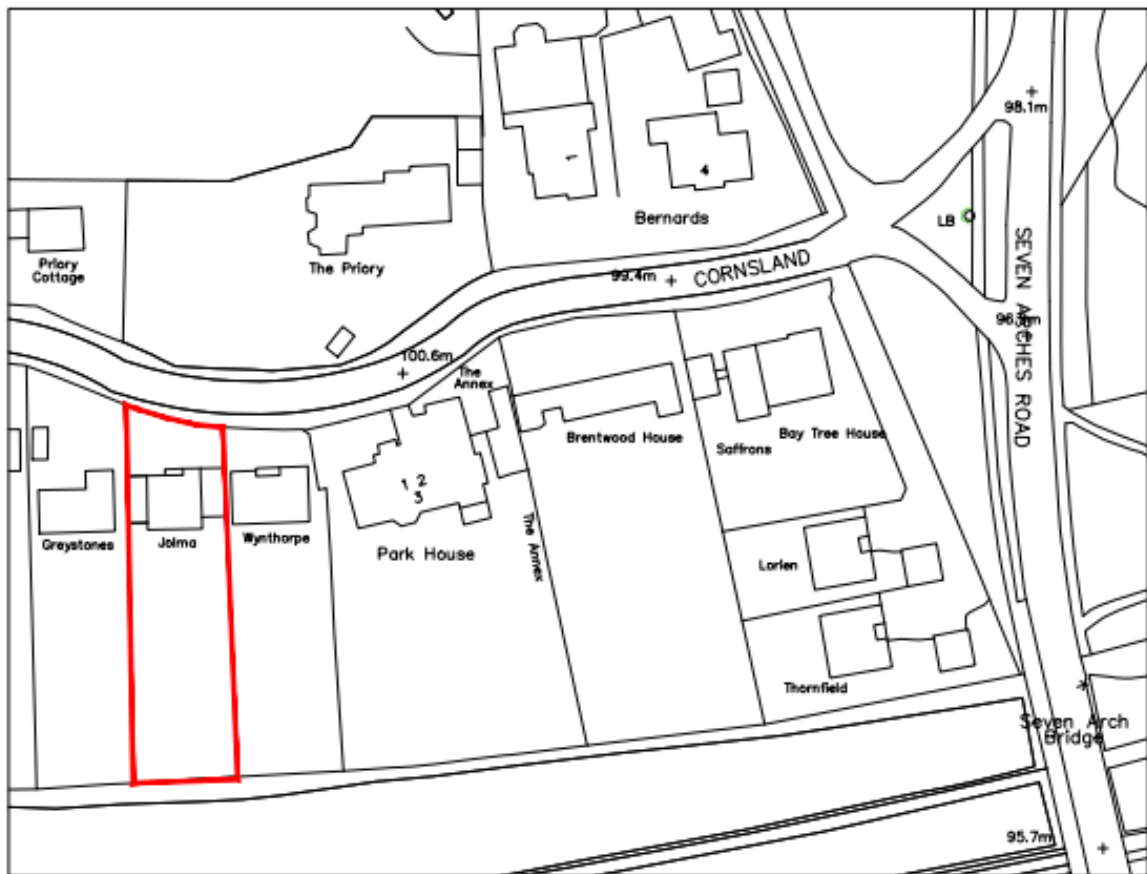
Interior. The late C19 wing is of little interest. C16 hall pegged timber frame substantially survives including two blocked doorways into the service end, close studwork, jowled storey

posts, chamfered bridging beams with lambs tongue stops and square section joists. Roof structure is oak with principal rafters to bay divisions, clasped side purlins and wind braces. C17 cross wing to east has exposed chamfered bridging beams with lambs tongue stops, tie beams, wall plate and wall posts and a clasped side-purlin roof truss.

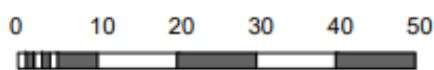
Summary of Importance. The Priory is a substantially intact timber framed hall of the C16 with a C17 cross wing, extended and altered in the late C19. The exposed framing includes jowled storey posts, chamfered bridging beams, two framed service doorways and complete roof trusses. The late C19 wing is of little interest. As a vernacular building of pre-1750 date which survives mostly in its original condition it fulfils the listing criteria for a building of this age and type.

Site Context

The plans & photos below show the application house & the immediate area



Location Plan 1:1250



METRES 1:1250





Photo above shows the application house, centre. "Greystones" is in the background. The existing porch canopy is clearly shown.

Photo below is taken from the front door of the application house , looking across the front garden & road towards "The Priory". The listed building is located behind the 2m laurel hedge & mature tree line. "The Priory" is approximately 40m from this point.



Design Proposals

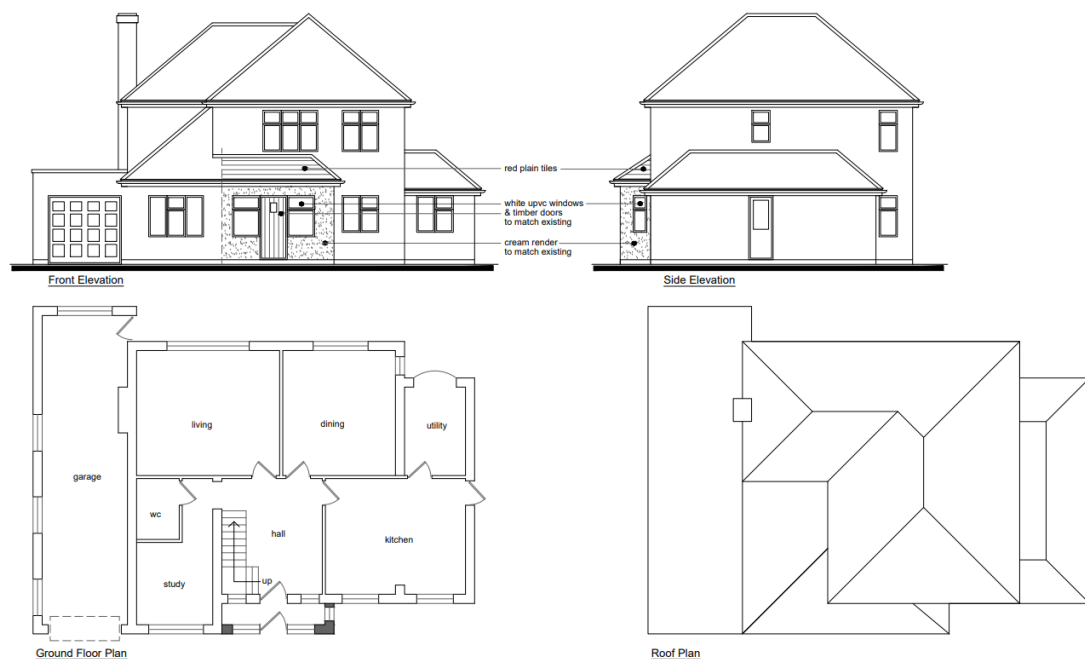
The proposal is to provide an enclosed porch to the existing house. As can be seen from the site photos there is currently a canopy that is supported by gallows brackets, that covers the front door and side windows.

The intention with this application is to enclose the space that is currently open, below the canopy. The walls would be within the canopy & the eaves are intended to extend beyond the external wall by approximately 200mm.

The external materials are intended to be matching the existing.

- Rendered walls.
- White upvc windows
- Timber front door.

The proposals are illustrated below.



Impact on the setting of the Listed building

In terms of the above the following points are true

1. The listed building is approximately 40m from the closest part of the application house.
2. The proposed extension is no closer to the listed building that the closest part of the existing house

3. Between the application house and the listed building there is a high hedge and a row of mature trees
4. Neither house can view the other from ground floor level. Any view of either building is from an oblique angle from the first floor.
5. The materials being proposed for the extension are exactly match the existing
6. The view from the application house to the listed building is no greater than existing

Conclusion

In terms of the impact on the Listed Buildings it would be true to say that the proposed enclosed porch to the application house will have no more than a neutral impact on the setting.

Patrick Stroud RIBA