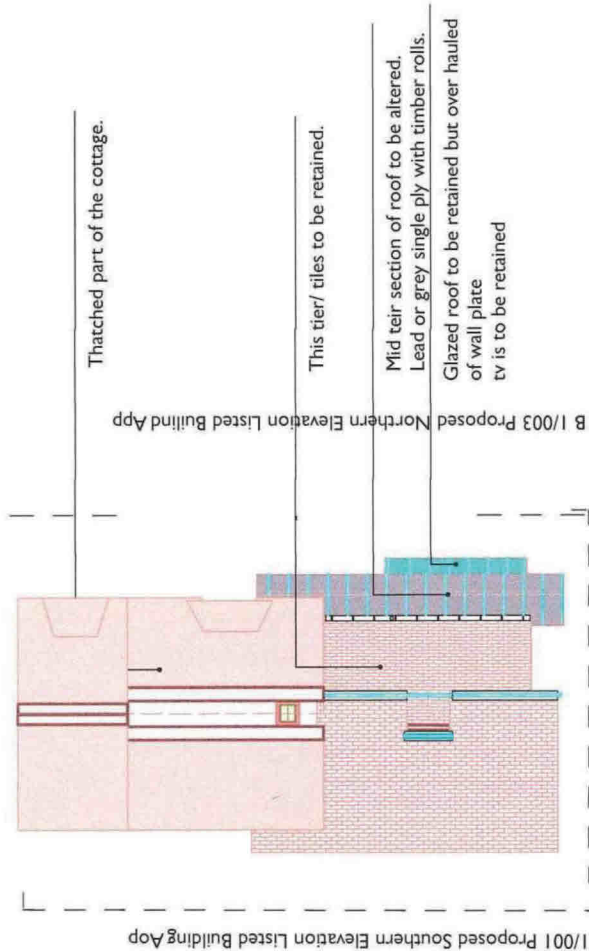


Garden Gate. Existing access to No 1.
 Philadelphias and Cotoneaster Hedge
 Two of the latter removed but retained
 on site. Philadelphias to be moved to this point.
 C1 /004 Northern Eley Sleepers wall and garden.
 C1 /003 Cross Sect of Northern Eley of Garden.
 C1 /002 Cross sect of internal wall of utility room
 C1 /001 Cross section of improved utility room.
 Proposed air sourced eat pump, and space
 set in the raised garden with railway sleepers.
 Concrete foot to protect existing
 garden wall.

Yew retained.

A1/001 Site/ Proposed Planning & Listed Building
 Application for Cottage.
 Also see Northern Elevation drawings 01/002 &
 01/003 for alterations.
 Rex Carlake
 No 1 Fort End Haddenham Bucks HP17 8JE

Scale 1:200
 March 2024



B I/001 Proposed Southern Elevation Listed Building App

B I/003 Proposed Northern Elevation Listed Building App

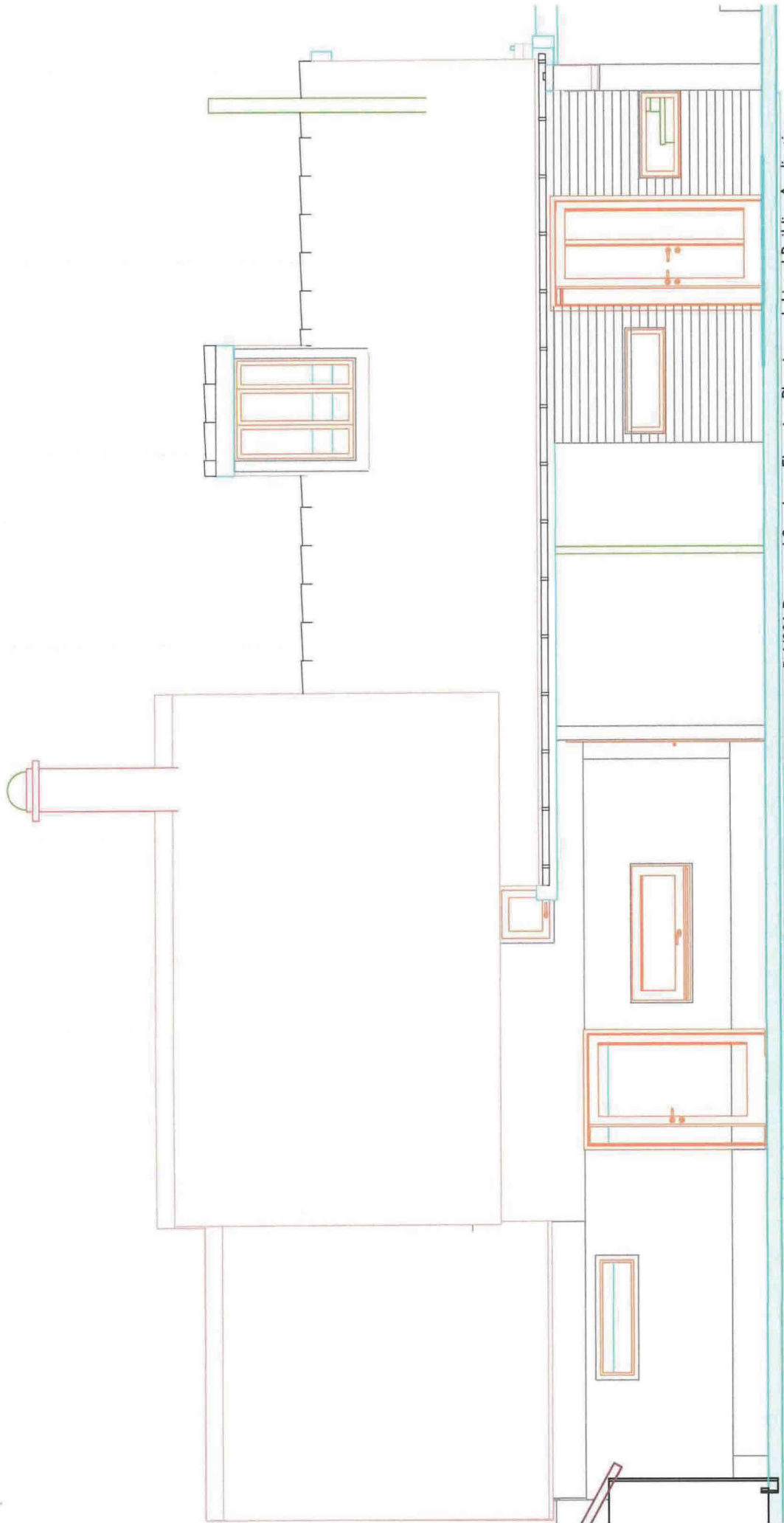
B I/002 Proposed Eastern Elevation Planning and Listed Building App

IA/002 Proposed Roof for Planning & Listing Application

Showing the mid-tier (pitched is to be altered) changed from
peg tiles to lead or single ply.

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B 1/001 Proposed Southern Elevation Planning and Listed Building Application

No alteration to this elevation.

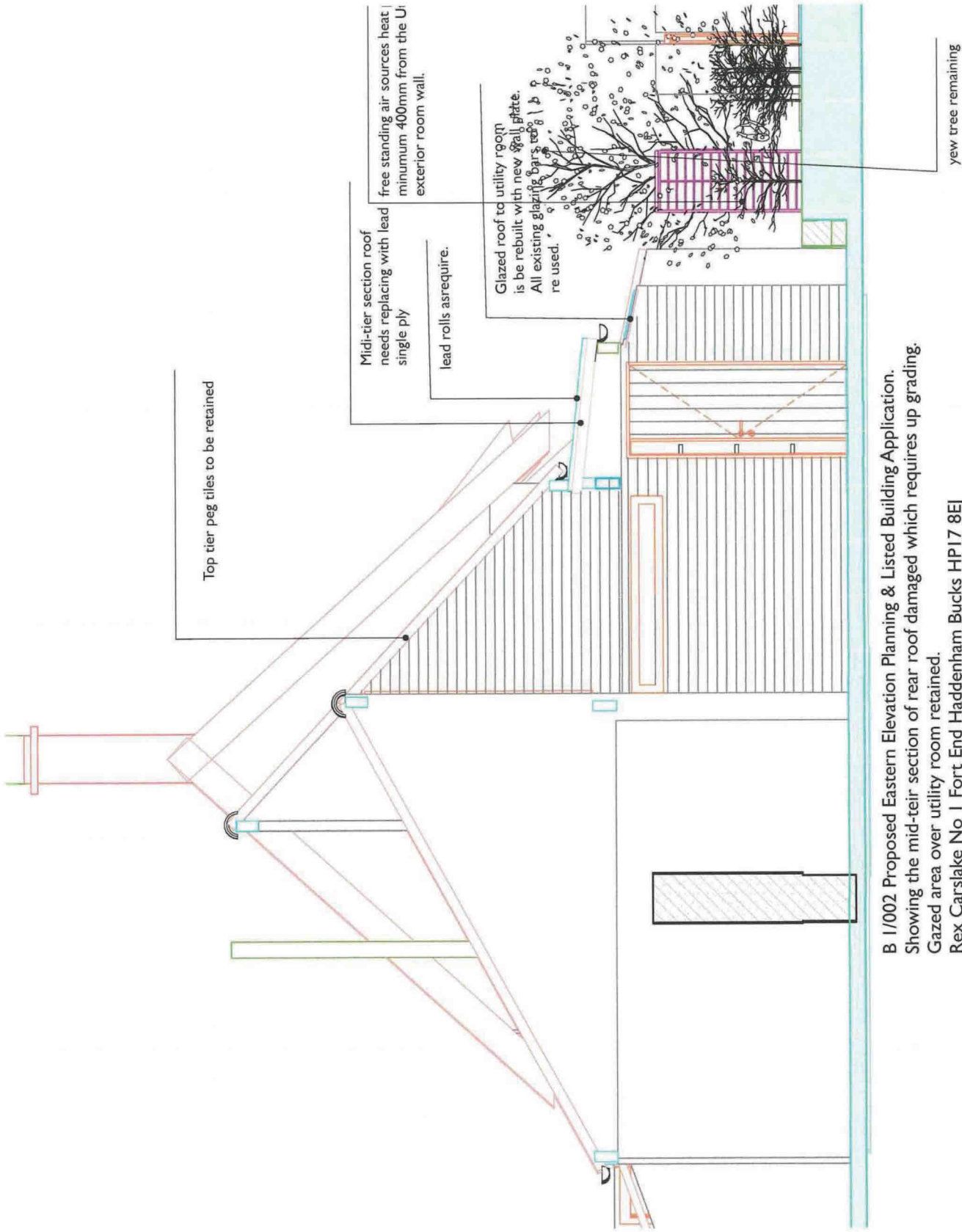
Rex Carslake.

No 1 Fort End Haddenham Bucks HP17 8EJ



scale 1:50

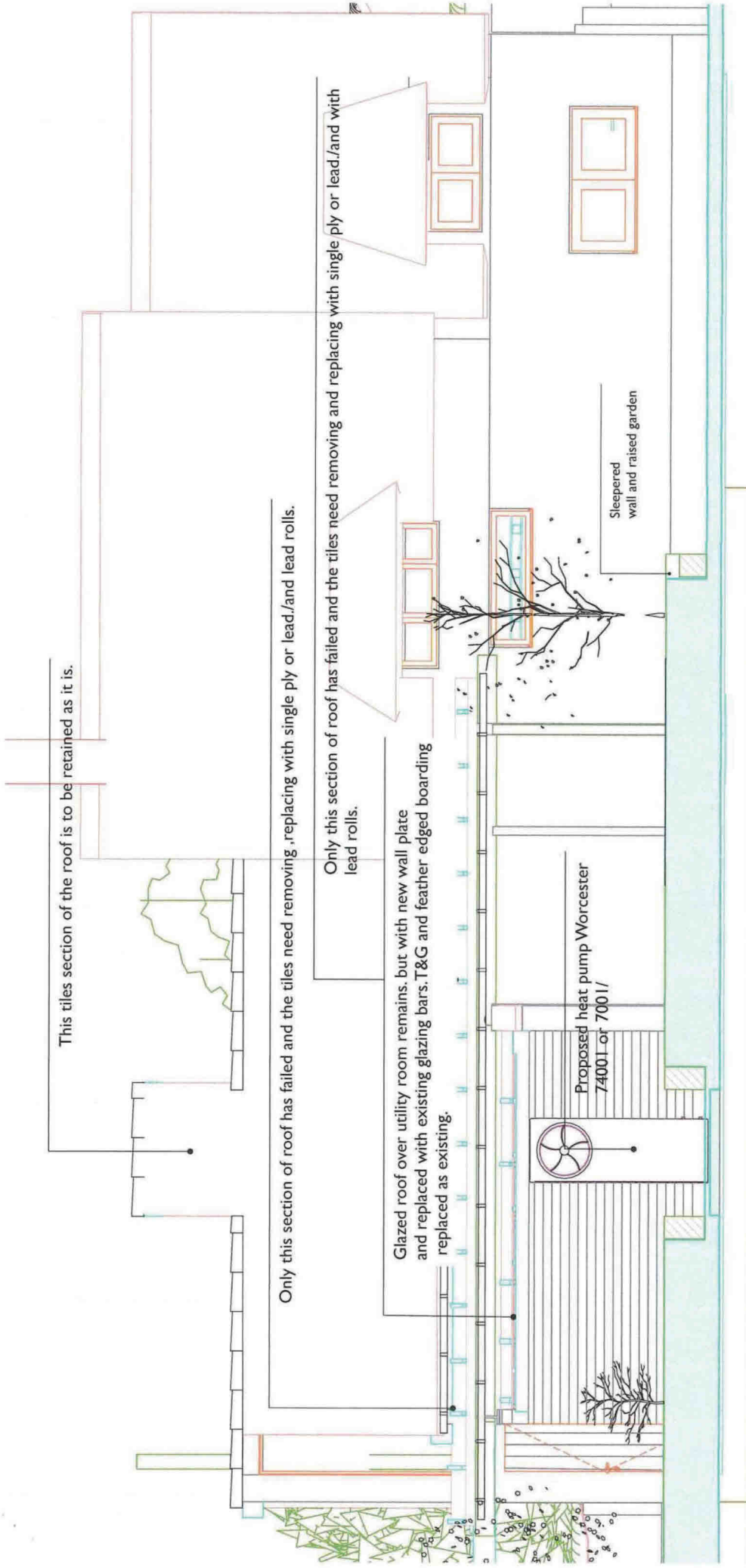
March 2024



B 1/002 Proposed Eastern Elevation Planning & Listed Building Application.
 Showing the mid-tier section of rear roof damaged which requires up grading.
 Gazed area over utility room retained.
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With air sourced heat pump heat pump.

Scale 1:50
 March 2024



This tiles section of the roof is to be retained as it is.

Only this section of roof has failed and the tiles need removing, replacing with single ply or lead/and lead rolls.

Only this section of roof has failed and the tiles need removing and replacing with single ply or lead/and with lead rolls.

Glazed roof over utility room remains, but with new wall plate and replaced with existing glazing bars, T&G and feather edged boarding replaced as existing.

Proposed heat pump Worcester
74001 or 70011

Sleepered
wall and raised garden

B 1/003 Proposed Northern Elevation for Planning & Listed Building Applications.

Work to be carried out on the mid tier roof. The pitch of this mid tier is to be as existing. Materials finish is to be lead/ or single ply (grey) to replace the existing tiles.

Glazed area over utility room to be retained but with improved glazing, existing glazing bars are to be retained but reset.

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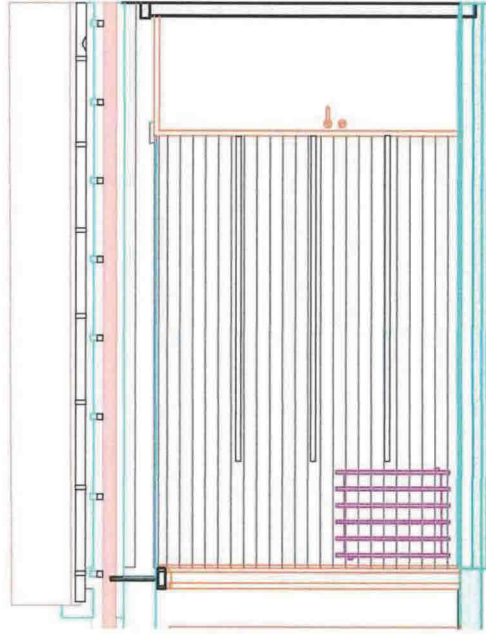
I will have to allow for 12MM SBO boards and counter battening under the boards, this is to allow air flow through the roof. Vented at top (against the flashing to next steep the roof (retained) the main roof to extension. Plus ventilation at the eaves of this section of mid tier roof.

I would like to keep it as closely as possible to the Adlington and Craig Design, avoiding making this roof too deep. This may not comply with Building Regs.

Plus a proposed heat pump, Worcester air sourced heat pump 7001i or 74001 depending on plumbing specification for the cottage.

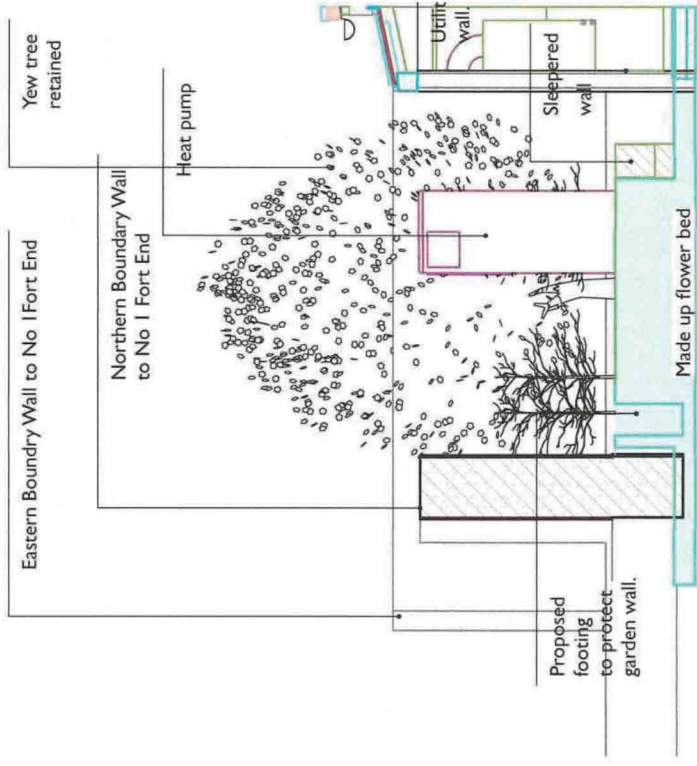
Scale 1:50

March 2024



C1 /002 Proposed Cross section of alteration /
up date to utility room / new the shelving
38mm ply.
T & G boarding to remain.

Scale 1 :50
March 2024



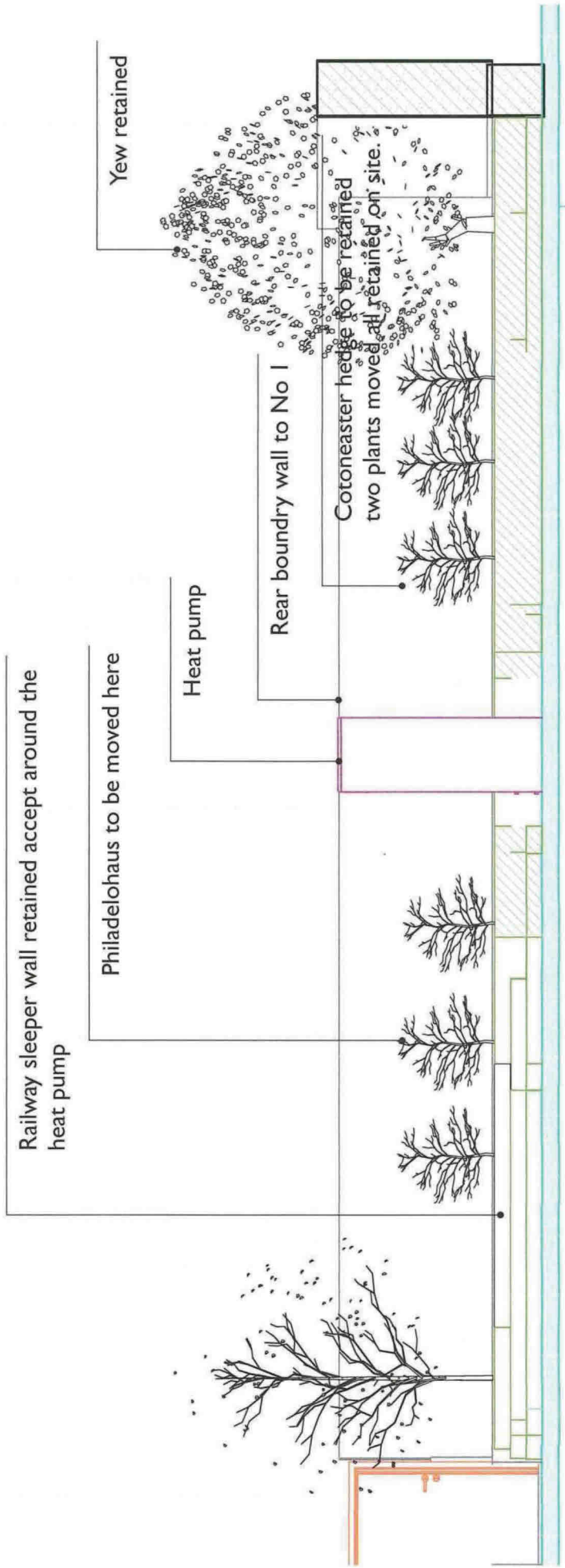
C1/ 003 Proposed Cross Section of Northern Elevation rear garden, railway sleeper wall & rear garden of cottage.

Sleepers to be retained but alteration to allow for air sourced heat pump. Soil retained on site. With small footing to be built to retain footing of existing wall boundary wall.

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HP17 8EJ

Scale 1:50

March 2024



C1/004 Proposed Northern Elevation of railway sleeper wall at rear of cottage. To be retained but part of sleepered wall to be moved to allow for heat pump. Soil retained on site. Plants to be retained moved within the rear garden.

Small footing to be build to retain the existing wall boundary wall.

Rex Carslake I Fort End Haddenham Bucks HP17 8EJ

Scale 1:50