

DIMENSIONS
 N.B any variations between stated dimensions and site dimensions should be reported to the Architect prior to work being executed.
 THIS DRAWING IS COPYRIGHT.

DRAWING STATUS PLANNING APPROVAL

This drawing has been produced and submitted as part of a Planning application relating to listed building, flat 1/2, 15 North Claremont St. Glasgow G3 7NR and is not intended for use by any other person or for any other purpose.
 Building Class - B

PLANNING NOTE:
 All cornice skirting boards and facings to remain untouched to comply with planning and lbc policies. Where walls are to be removed, cornice to be retained when new opening is created and skirting to be patched either side using existing skirting cut to fit and made good.
 All original existing cornice shall be retained in situ and where there are missing sections or is otherwise damaged the cornice shall be repaired to match the existing.

Where formerly subdivided rooms are reinstated to their original layout due to proposed removal of non-original partitions, existing cornice, ceiling roses and existing skirtings shall be repaired / replicated to match original profile / design.

All original doors shall be retained and re-used complete with checks and facings and any requirement to upgrade doors for fire protection shall be carried out by using a clear intumescent coating where practicable.

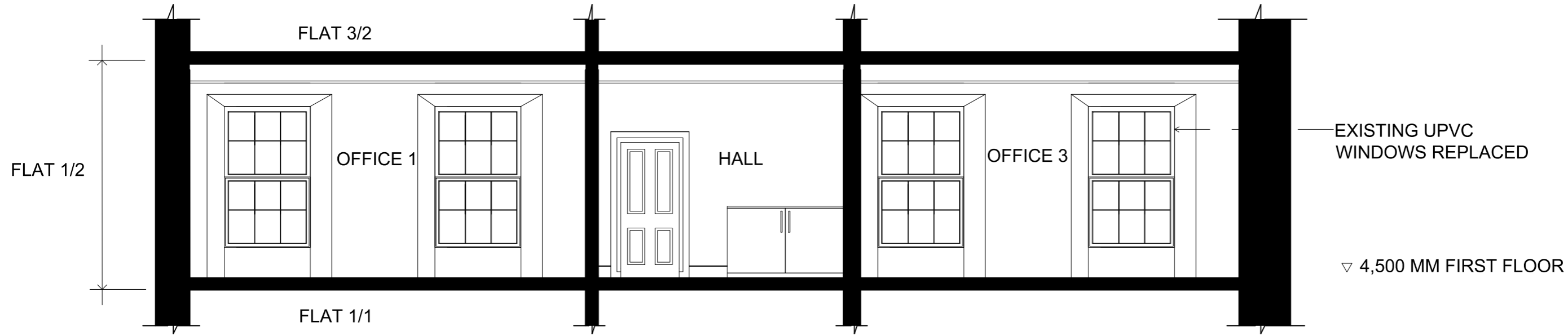
All new doors, complete with facings, shall match the original doors in all respects including design, dimensions, details, thickness, material and finish.

Picture rails, dado rails and skirtings shall be fitted to match the original ones in all respects, including material, profile and finish, where existing doors or windows are blocked up.

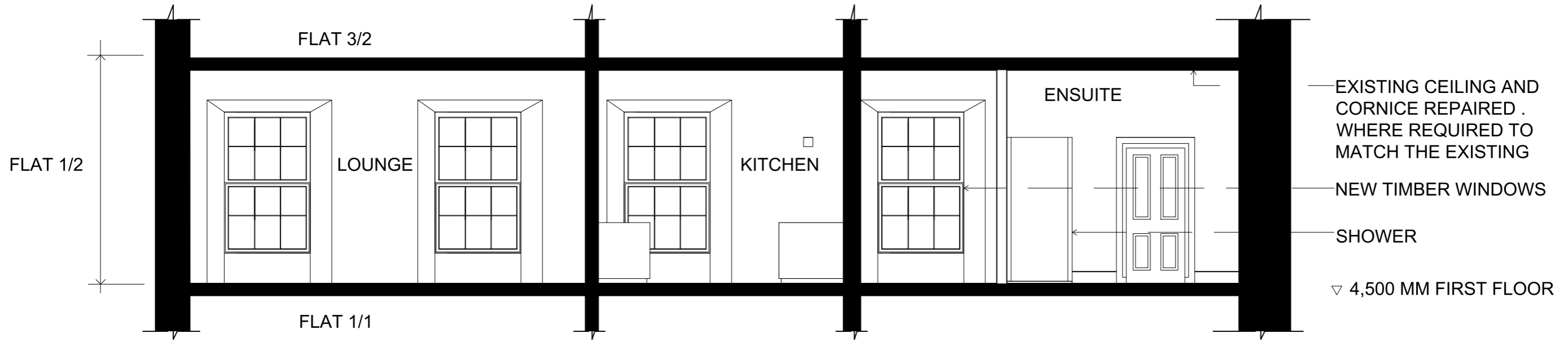
No fireplaces shall be removed or repositioned without the prior written approval of the planning authority.

All existing windows shall be retained, overhauled and repaired in their original positions unless otherwise agreed in writing by the planning authority.

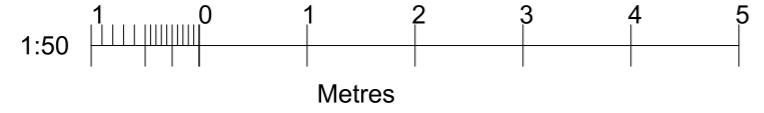
Any permanent window ventilation shall be of concealed design.



SECTION AA' as EXISTING 1:50



SECTION AA' as PROPOSED 1:50



EXISTING UPVC
 WINDOWS REPLACED

▽ 4,500 MM FIRST FLOOR

EXISTING CEILING AND
 CORNICE REPAIRED .
 WHERE REQUIRED TO
 MATCH THE EXISTING

NEW TIMBER WINDOWS

SHOWER

▽ 4,500 MM FIRST FLOOR

**DESIGN
 PRACTICE**

CHARTERED ARCHITECTS
 INTERIOR DESIGNERS
 PLANNING SUPERVISORS

15 NORTH CLAREMONT STREET,
 GLASGOW G3 7NR
 TELEPHONE: 0141-332 4436

E-MAIL: design@design-practice.com

Job :
 1/2 15 North Claremont
 Street
 Glasgow
 G3 7NR

Drawing :
 Existing Section &
 Proposed Sections

Drawing No :
 608-03

Scale : 1:50
 Date : FEB 2024

Drawn by:
 JP

REVISIONS			
-----------	--	--	--