

APPLICATION for LISTED BUILDING CONSENT

# 46 victoria crescent road

Design Statement

SoMA | March. 2024 | 0078-A-03-LB-DC-ZZ-0002 |

46 victoria crescent road  
Glasgow | G12 9DE

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## summary

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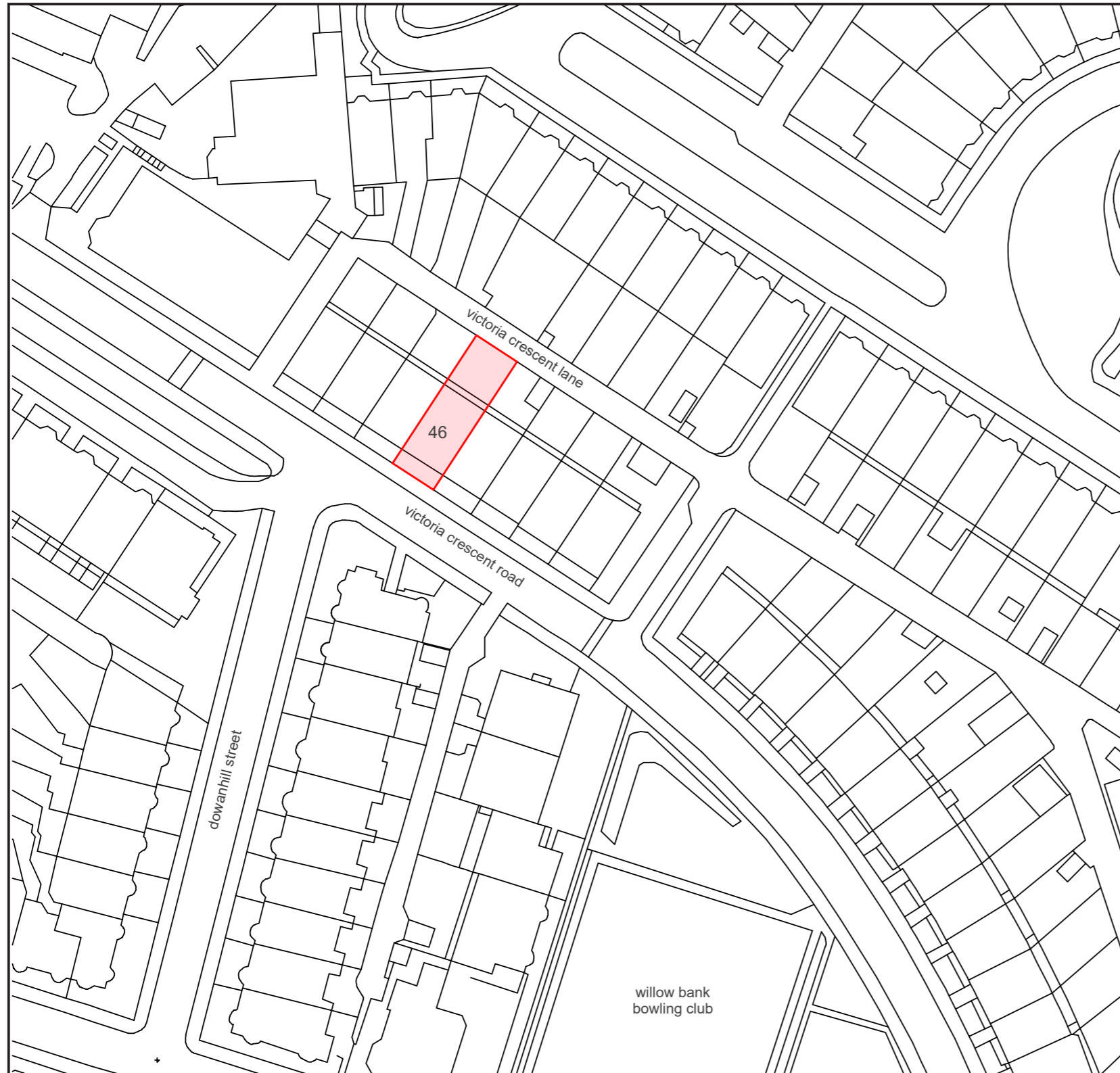
This application seeks consent for the proposed refurbishment, internal and external alterations to the residential property at 46 Victoria Crescent Road, Glasgow, G12 9DE. Works include; creating an opening between the kitchen and dining area; new access provision to rear garden from ground floor dining area; introduction of service provisions; and external penetrations for associated services; general refurbishment and fabric upgrades.

This statement is to be read in conjunction with the associated drawings:

- 0078-A-03-LB-DR-OS-0001
- 0078-A-03-LB-DR-ZZ-0101

Document history:

- First Issue 240321



• location plan | nts | 46 victoria crescent | G12 9DE

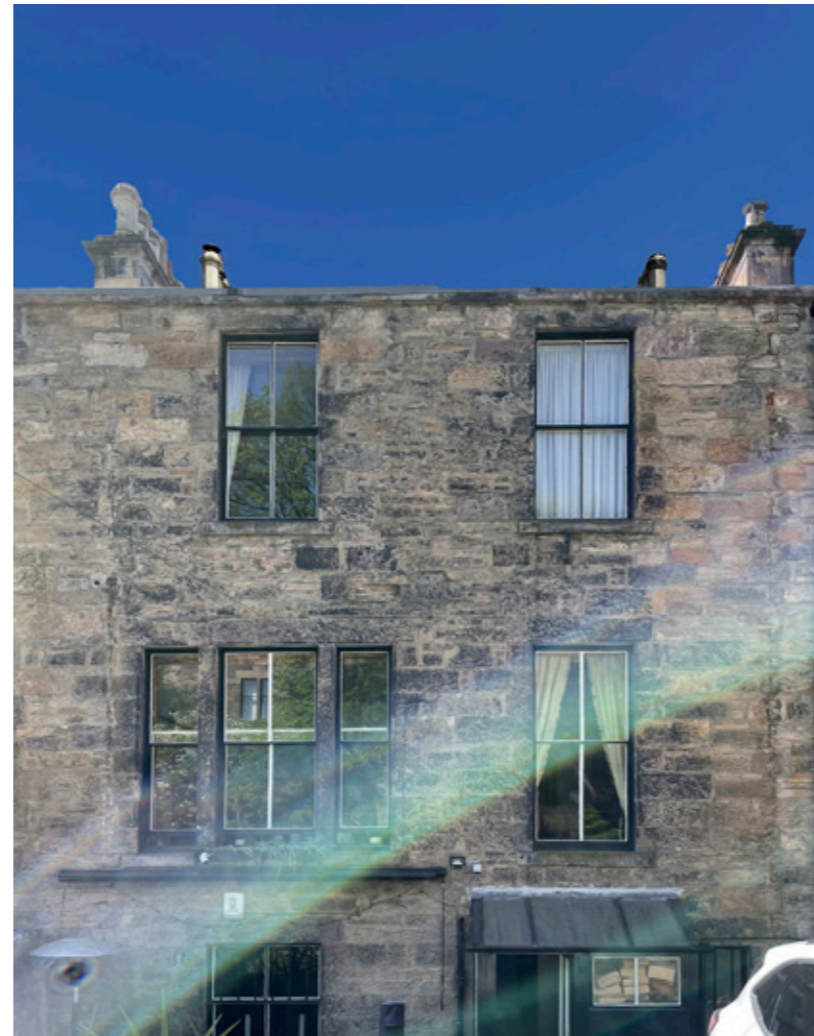
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## 46 victoria crescent

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• 46 Victoria Crescent [street front]



• 46 Victoria Crescent [rear]

46 Victoria Crescent Road is a 3 storey [plus attic] townhouse that occupies a northern plot of the Category B listed crescent constructed circa. 1859-60 in the Dowanhill area of Glasgow's West-End. The listing designation is in address only, with notable qualities that include the painted ashlar street facade and ornamental detailing of the openings.

The entrance to the residence is from the main door of the townhouse, over a refurbished stone arched staircase from Victoria Crescent Road. From the main entrance is a hallway connecting the principle living spaces insofar as the kitchen, lounge and dining rooms as well as a central stair core. The staircore has access to private bedrooms at first floor and a refurbished lower ground floor that now includes a second bathroom; bedroom; gym space and utility area; as well as access to the rear garden and lane.

The design decision making has been informed by a clear understanding of the building's significance with particular attention given to those areas where interventions are proposed. To promote a more successful use of the building some limited and careful change is required. The assessment of significance is undertaken against seven criteria:

- 1 - Townscape
- 2 - Historical
- 3 - Architectural
- 4 - Social
- 5 - Cultural
- 6 - Aesthetic
- 7 - Artistic

And considered on a five point scale:

- 1 - Exceptional significance
- 2 - Considerable significance
- 3 - Moderate significance
- 4 - Little/neutral significance
- 5 - Detrimental

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## existing condition

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• existing hallway



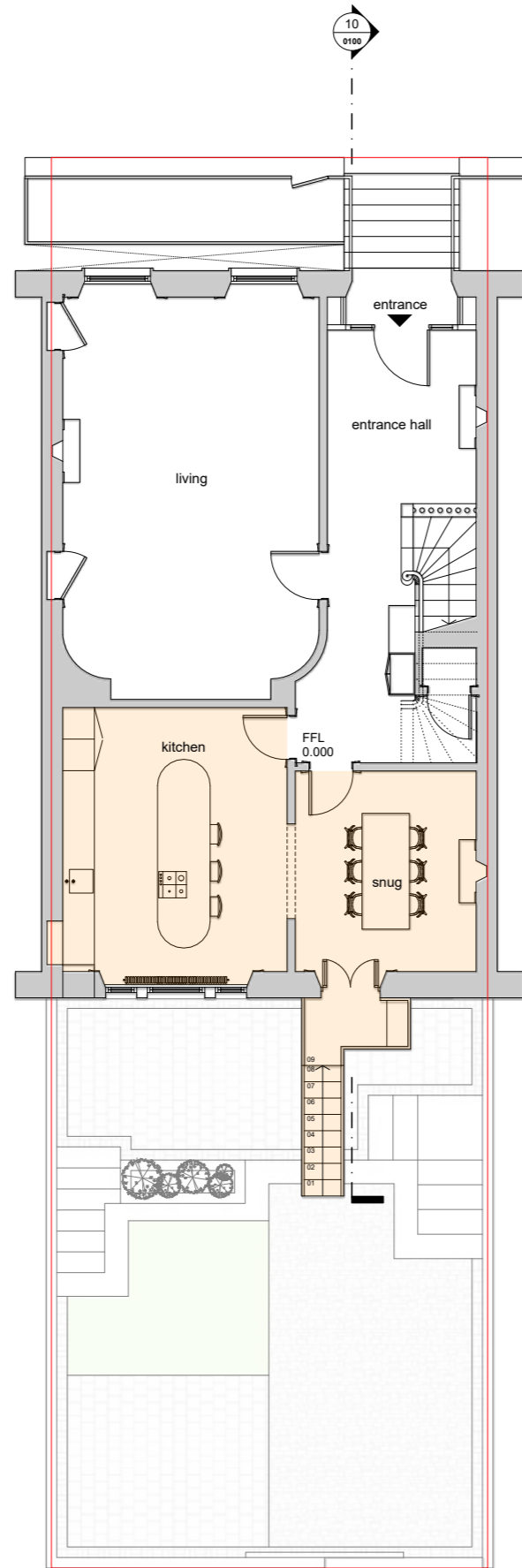
• existing kitchen



• existing access to rear garden

The property at 46 Victoria Crescent Road has remained as a single occupied townhouse [contrary to the trend of subdivision within the west-end of Glasgow]. Many of the original features and ornate decoration remains, largely from the ground and first floor, insofar as; the compartmentised general arrangement; covings; mouldings; architraves and skirtings. The lower ground floor however, has undergone extensive refurbishment due to various remedial requirements of the building fabric and, as is typical of this type of dwelling [particularly with regards to neighbouring dwellings] the lower ground floor effectively operates as a self contained unit, with separate access from the main entrance, to and from the dwelling.

- access to the principal living quarters [kitchen and dining] at the ground floor and the lower ground floor access to the rear garden create an awkward arrangement and access situation that is not conducive for modern day living and impractical for day to day housekeeping purposes, due to the separate living quarters on the lower ground floor.
- the compartmentalised arrangement of the principle living areas [kitchen and dining] further accentuates the poor access situation that makes the existing arrangement impractical for modern day living. Furthermore, the separation of these synonymous spaces create room adjacencies that are poorly used and room proportions that are not fit for purpose [insofar as the dining area].



07 Proposed First Floor Plan  
0100 1:75

## proposal

Proposals are sought, principally to improve the condition of the property and provide a more habitable dwelling; fit for purpose; and suitable for modern residential use by ensuring the future proofing of the dwelling. The design solution optimises a balance with the historic characteristics of the existing property whilst taking precedent from similar alterations to neighbouring properties, which now establish a positive trend in the typology of the crescent. As per the **SG09 [1.5.B]** the key aim of the proposal is ,to *'enable positive change in the historic environment which is informed by a clear understanding of the importance of the heritage assets affected and ensure their future use'*.

- a new access stair adjacent to the existing rear dining room window; created from a dropped sill and new double door, will improve the access arrangement to the principal living level from the rear garden. The current window is not the original sash and case glazing unit and there is a precedent along the neighbouring properties whereby this intervention now provides a new characteristic to the crescent townhouse typology.
- to further improve the access and use of the existing ground floor living areas, and following precedent along the neighbouring properties of Victoria Crescent, an opening between the current kitchen and dining area will be formed for an open plan arrangement between these two spaces with the size of the opening referencing the supplementary planning guidance for historical buildings.
- There is some existing Victorian aesthetic to the internal fabric, insofar as the ornate ceilings, covings, door and window mouldings and picture rails. As such, these will be retained. Furthermore, the proposed fittings and furnishings are reversible [albeit it with some minor fabric alterations for a foul water service penetration] as per SG09[B:2.110].

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document end

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