

DESIGN AND ACCESS STATEMENT

Replacement Extension to the
Design Centre

19th March 2024 Rev B



This document serves as a Design and Access Statement for the proposed development at York St. John University.

The first section describes the background and brief of the project, including an in depth analysis of the existing site. The next section then sets out the proposed design and development.

We hope that you find this document helpful to understand the proposal and their development to this stage.

0.0

Document Verification

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Job Number: 1034

Document Title: Design and Access Statement

Prepared By: Qaisy Jaslenda

Signed:

Dated: 19.03.2024

Checked By: Andrew Baker-Falkner

Signed:

Dated: 19.03.2024

Approved By: York St. John University

Signed:

Dated:

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0.0

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1.0

1.1

Document Summary

This Design and Access Statement has been prepared to support a full planning application for a replacement extension to the existing Design Centre at York St. John University Campus, Lord Mayor’s Walk, York.

The subsequent sections describe the following:

- **Section 2.0** - A description of the existing site including location plan, site history, site photographs and the statutory context.
- **Section 3.0** - A summary of the design proposal including design development, sustainability strategies, proposed masterplan, area schedule, proposed plans and elevations.
- **Section 4.0** – A summary of other design considerations.

We have prepared this planning application in collaboration with the following consultants, who have provided additional inputs as listed below:



Axonometric drawing of the proposed design centre extension



Tate+Co Architects
Architect



Adams Habermehl
Landscape Architect



Webb Yates
Structural, Civil & Services Engineer



Popplewell Acoustics
Acoustic Consultant



Semper
Engineered fire safety
Fire Consultant



Ridge and Partners
Quantity Surveyor



O’Neill Associates
Planning Consultant

1.2

Introduction to Tate+Co

Tate+Co has rapidly achieved an international reputation for sensitive, sustainable architecture, and has been published in architecture journals and national newspapers, and exhibited at a number of venues including the Royal Academy. We are currently working on a range of projects in the residential, educational and leisure sectors.

We specialise in producing bespoke, economical solutions for sensitive locations, unique landscapes, and important historic settings. We're a personable, enthusiastic, competition winning team who provide unique and long-lasting projects.

CREATIVE CENTRE, YORK

The Creative Centre for York St John University supports innovative new courses, and comprises 3,000 sqm of flexible teaching areas, with a column-free floor plan to allow for a variety of potential configurations and greater modularity. A 180-seat auditorium is wrapped in a sculptural timber cladding system that mirrors the vertical niches that adorn the nearby York Minster. Linking the teaching spaces and auditorium is an atrium space creating three levels of communal area, effectively acting as a 'mixing valve' between creative disciplines.

CRANLEIGH PREPARATORY SCHOOL, SURREY

This project delivered a new teaching building at Cranleigh Preparatory School. It provides a healthy, natural learning environment for the school which works with, and improves upon, the circulation and functionality of the wider campus and captures the ethos of the school; 'a soul and spirit that inspires'.

The new building is situated at the heart of the school and provides eight new classrooms for science, design and technology, art and home economics. The circulation areas within the building are all covered external spaces, in line with the school's philosophy of healthy outdoor living and minimizing climate controlled corridors.



Creative Centre images



Cranleigh Preparatory School images

1.3

Statement from York St John University

**FROM NICK COAKLEY,
DIRECTOR OF ESTATES,
YORK ST JOHN UNIVERSITY**

The Lord Mayor's Walk campus is extremely constrained spatially and the current Design Centre building is neither accessible or suitable for straightforward adaptation.

The current extension is visually unappealing, detracts from the setting of the original building and recent developments, is inefficient and presents operational challenges with respect to access, summer overheating, and suitability for modern methods of teaching.

The UK higher education sector is under extreme financial pressure as a result of national policy combined with recent inflation. As a result, we must address a number of key constraints in our estate which are hindering our ability to respond to this challenge. The size of the rooms within the current extension are no longer suitable for the minimum practicable cohort sizes for most programmes in the University, leading to very poor space utilisation in this building and the risk to degree programmes which are financially unviable without more large, open and flexible spaces which can be easily adapted.

In addition, the University has received the support of the Office for Students to expand provision of a range of specialist programmes utilising computer science, augmented reality and virtual reality. The redevelopment of this extension, alongside other internal alterations and related projects, is designed to enable those programmes to function, and is a requirement which cannot be met anywhere else on campus. It will also considerably enhance the thermal performance and sustainability of the entire building in line with improvements made throughout the rest of our estate.

We have purposely kept the size and height of the extension to the absolute minimum required to enable our fundamental teaching requirements. We have done this in order to minimise impact on neighbouring properties and the rest of the campus, as well as cost, construction time, and environmental impact. The separate, but associated and ongoing landscaping work at the front of the new proposed extension will considerably enhance the campus and building setting, ecology and drainage, as well as providing a coherent transition from the landscaped frontage of the recently completed Creative Centre adjacent. We hope that over the next two years, the space created by this and other current projects will enable us to remove the temporary buildings situated elsewhere on campus.



Existing Design Centre



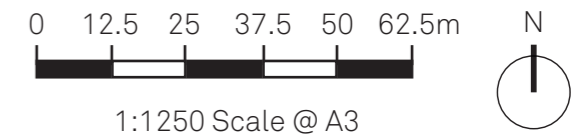
Artistic impression for the new look of Design Centre

2.0

EXISTING CONTEXT

2.1

Site Location

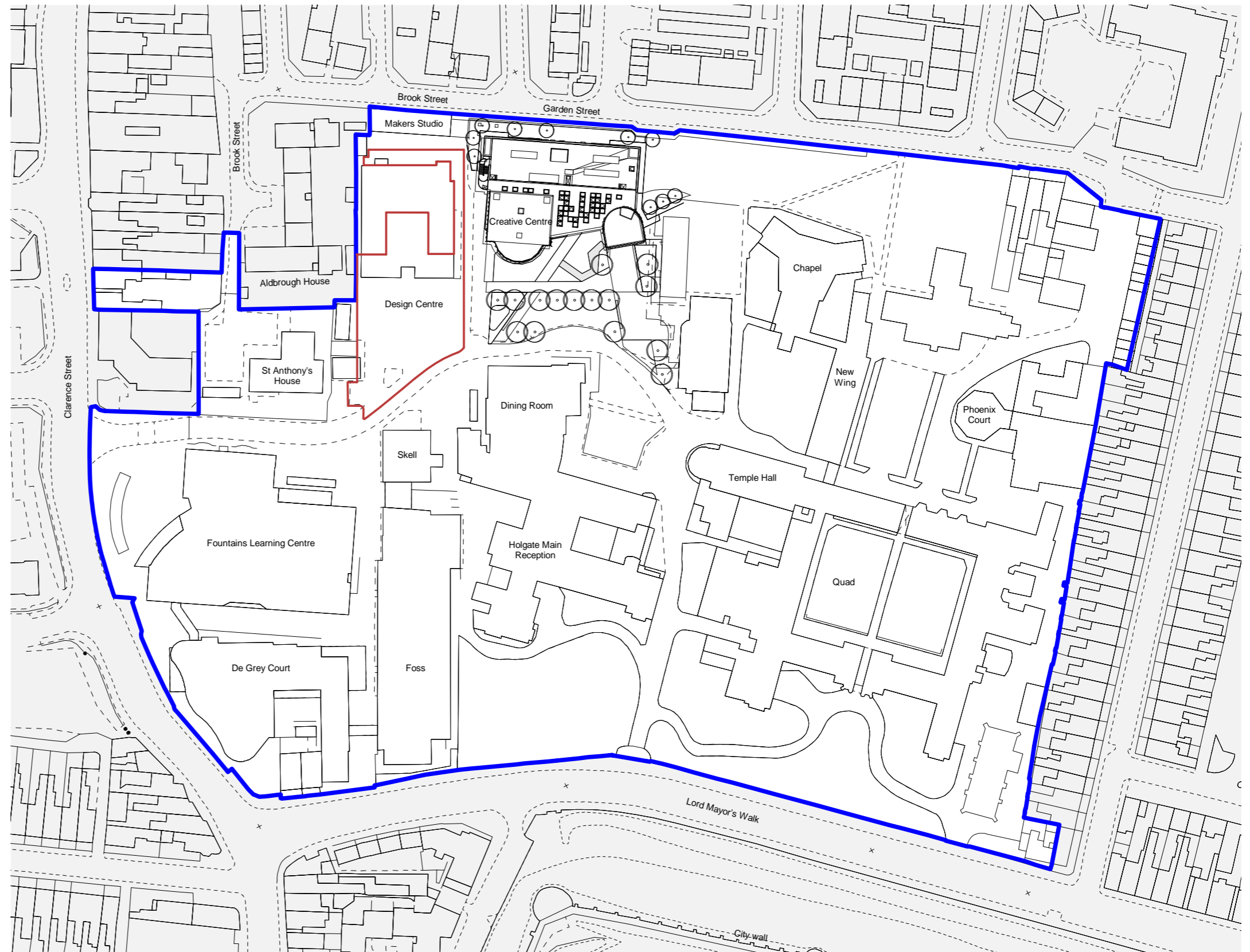


SITE ADDRESS

York St John University Campus,
Lord Mayor's Walk,
York,
YO31 7EX

SITE APPLICATION AREA

1500 m²



KEY:

- YSJU Campus and ownership boundary
- Site boundary

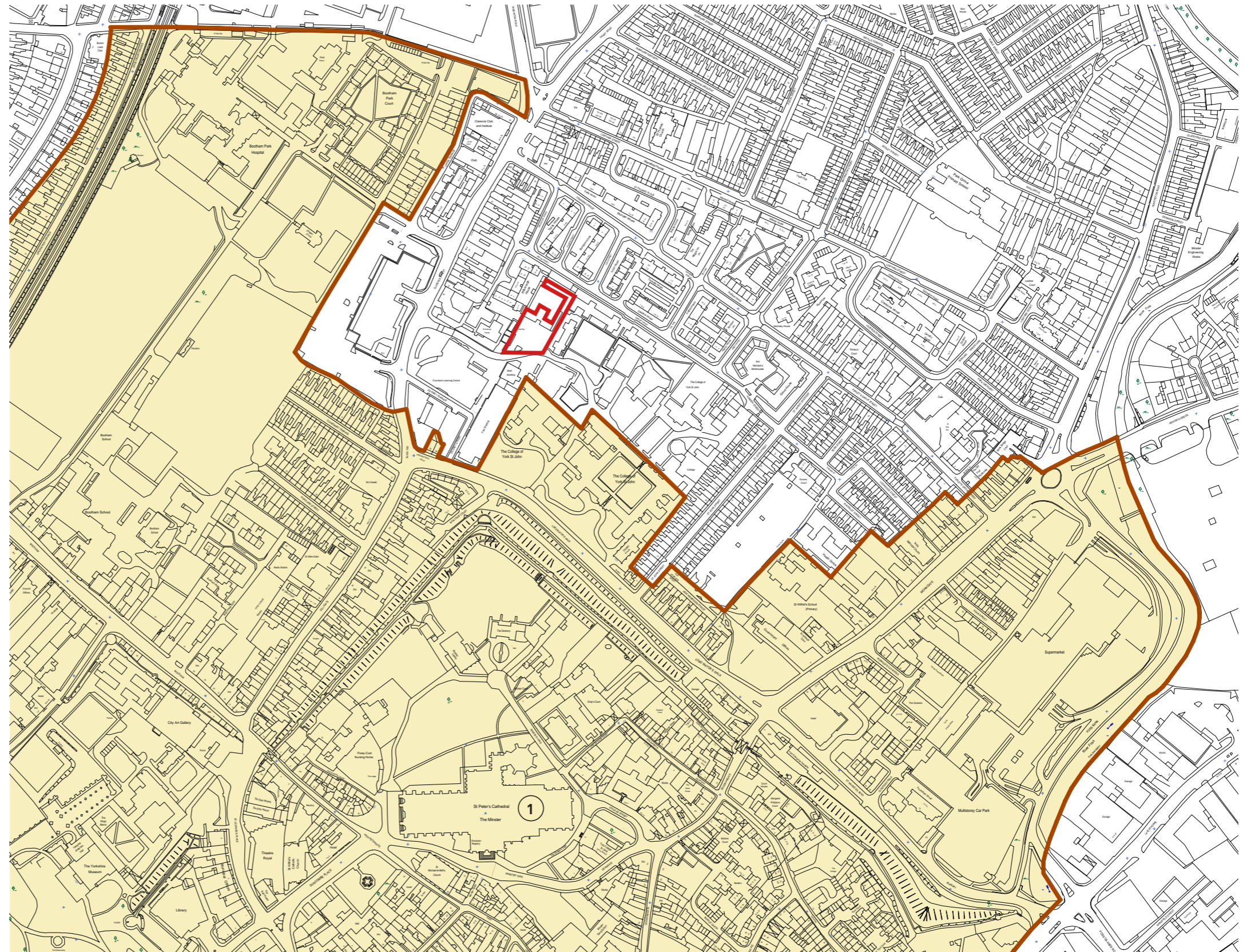
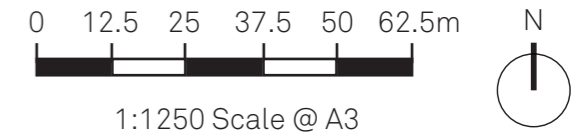
2.2

Local Considerations




The site is located within the mixed modern and historic setting of the Lord Mayor’s Walk Campus, and falls outside but close to the northern edge of the Central Historic Core Conservation Area boundary.

Policy ED4 of the emerging Local Plan states that the development and redevelopment of the Lord Mayor’s Walk campus will be permitted provided it is limited to higher education and related uses and its design takes into account the sensitive location of the campus and its setting. Explanatory text for ED4 confirms support for the ongoing renewal and redevelopment of the campus to meet education needs, including providing high quality buildings, providing safe, accessible facilities, enhancing the environmental quality of the estate and ensuring optimal use of the campus.

Sustainable development (Para 7), with proposals securing the right mix of economic, social, and environmental benefits. At the heart of the NPPF is a presumption in favour of sustainable development. Section 12 of the NPPF relates to achieving well-designed and beautiful places, and at Para 135 includes requirements to ensure that developments will function well and add to the overall quality of an area; are visually attractive as a result of good architecture; are sympathetic to local character and history (without discouraging innovation); establish or maintain a sense of place; optimise the potential of the site to accommodate and sustain an appropriate amount, of development; and create places that are safe, inclusive and accessible.



KEY:

-  Conservation Area Boundary
-  Site Boundary
-  York Minster

Map of Central York Conservation Area

2.3

Site Context

York St John University is a Higher Education institution founded in 1841 which provides a range of courses from undergraduate to post-graduate level. Its Lord Mayor's Walk campus is situated to the north of the city centre, bounded by Lord Mayor's Walk to the south, Clarence Street to the west, Garden Street to the north and St John Street to the east.

The site neighbours residential accommodations to north and west, while the city walls and York Minster are to the south of Lord Mayor's Walk.

The campus has a unique character and provides facilities for teaching, research, staff, social activities, and business linkups. This includes 6 Grade II listed buildings and is partly within the Central Historic Core Conservation Area.

The original Design Centre building dated mid to late 19th C (c. 1868) as a Sunday school (Brook Street School Chapel). Subsequent substantial later additions:

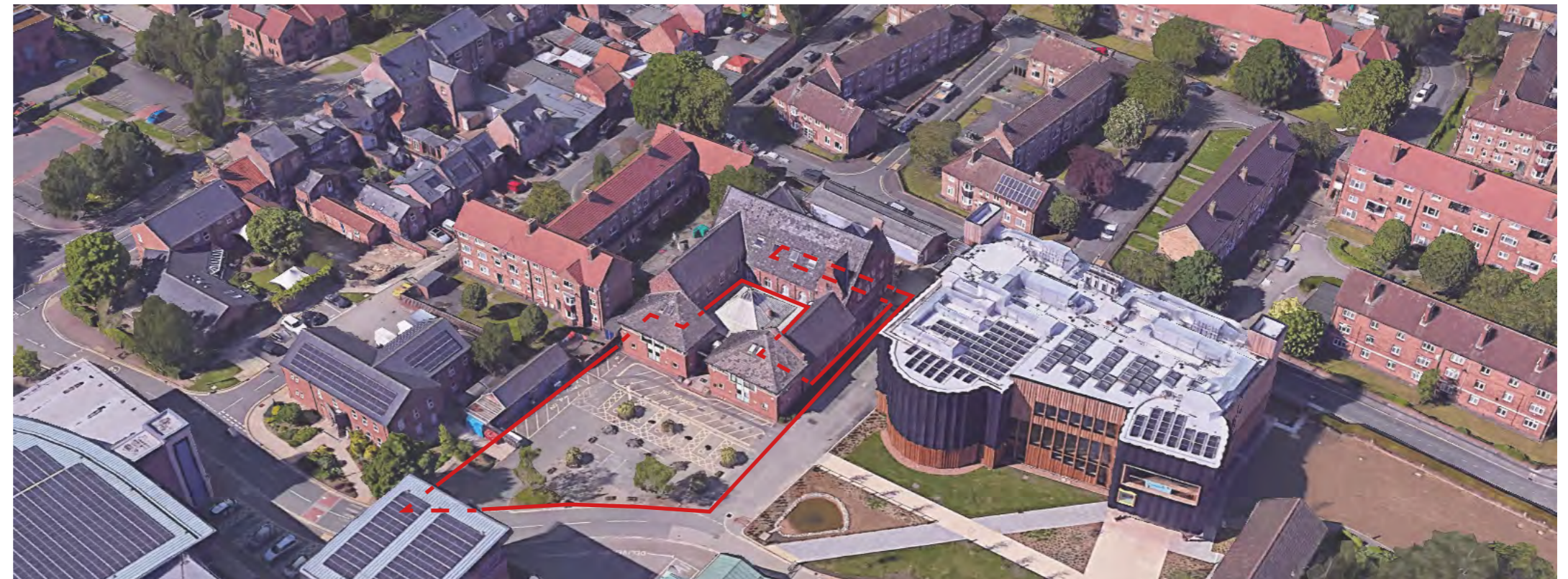
- Rear extension ranges – 1+ 2-storey wings plus pitched roofs (constructed by 1910)
- Substantial 2-storey, hipped roof modern extension
- Enclosed atrium with glazed pyramidal roof

The Design Centre on the other hand is not listed and not within Central Historic Core Conservation Area and its heritage importance and interest diminished by the extent of interventions. However some architectural features of the Design Centre will be taken as inspiration to the new extension replacement to help resonate with its character as a whole.

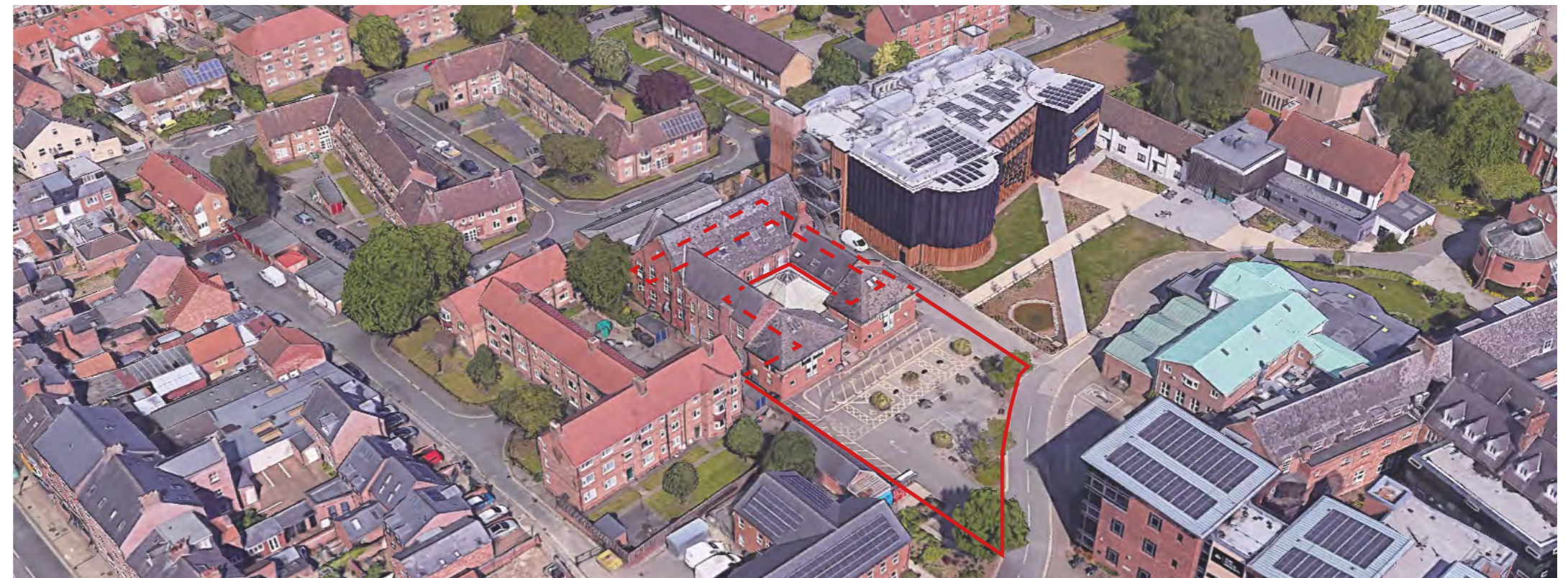
To the west of the site is Aldbrough House which contains residential accommodation. It is a 3-storey residential blocks, built circa 20th Century.

KEY:

— Site ownership boundary



Aerial View of the Design Centre



Aerial View of the Design Centre

2.4

Existing Site Analysis

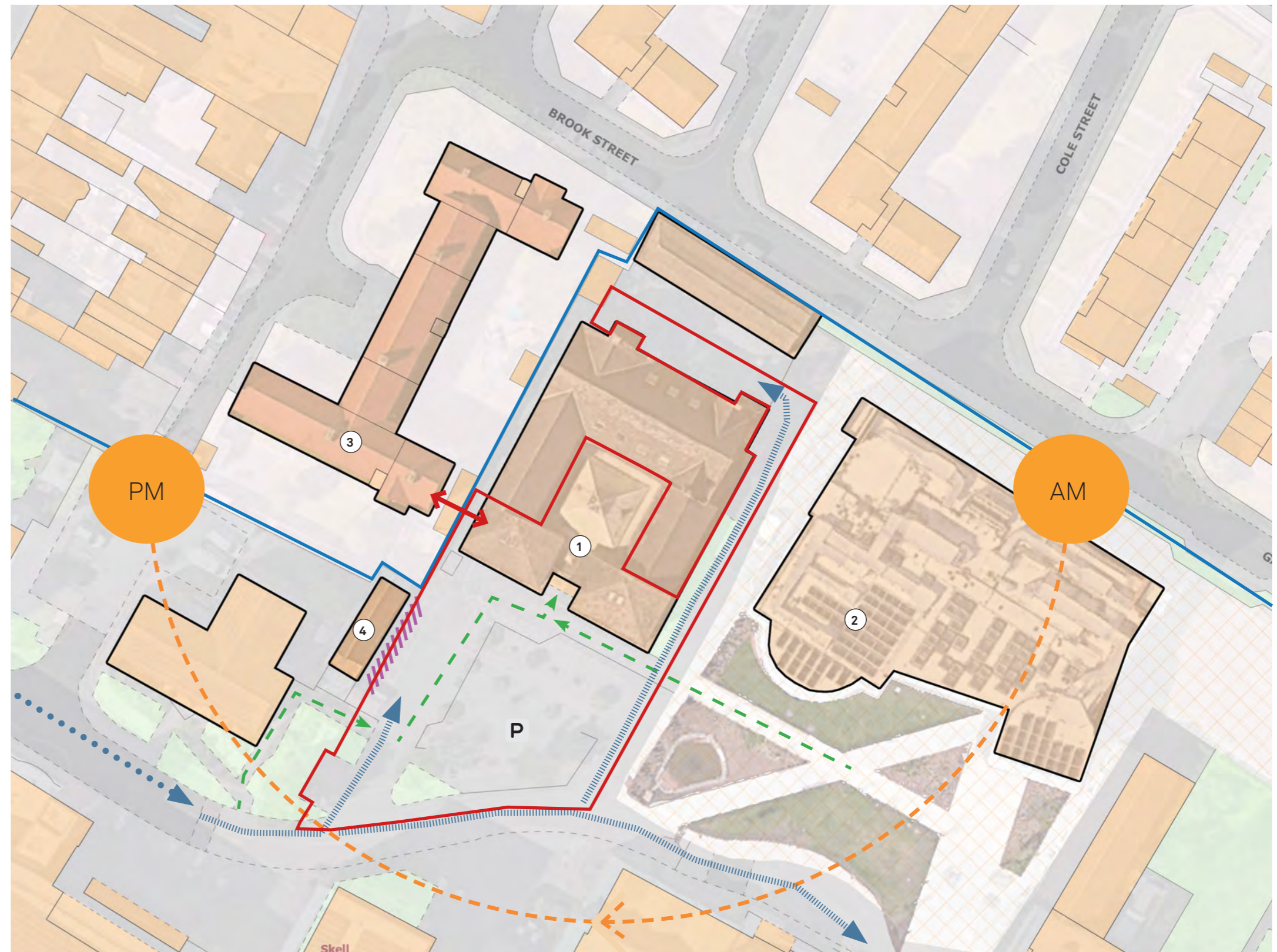
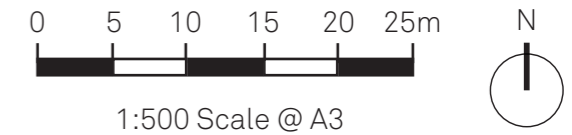
The new proposal will carefully consider the solar orientation to prevent any overshadowing of existing open space and neighbouring buildings and also minimise any overlooking issues to the surrounding dwellings such as Aldbrough House.

Site analysis

Proximity to residential dwellings at Aldbrough House acts as a key site constraint. This informs the limit for expansion of the extension replacement.

The design will need to consider neighbouring residential amenity so that residents living nearby are not unduly affected by noise, disturbance, overlooking or overshadowing.

Potential to replace hardstanding area with landscape area providing vastly improved setting for building and this part of the campus.



KEY:

- ① Design Centre
- ② Creative Centre
- ③ Aldbrough House
- ④ Substation
- Campus boundary
- Site application boundary
- ...▶ Vehicular access
- ▶ Restricted (timed) vehicular access
- ▶ Pedestrian access
- P Former parking area
- ↔ Proximity to Aldbrough House
- /// Space required for vehicle access

Site constraints diagram

2.5 Site Photographs

The buildings in this part of the campus display a diverse range of architectural styles and forms. However the existing extension built in the late 20th century showcases predominantly modern characteristic.

The Design Centre is an amalgamation of buildings, with the original Sunday school towards the back with two, more recent brick extensions towards the front.

The surrounding buildings have been studied in great detail, firstly as a source of inspiration for the design and secondly as the context in which the proposed building will sit.



1.



2.



3.



4.



5.

KEY PLAN:



6.



7.



8.

2.6

Existing Local Materials

This page presents images of the materials of the surrounding area collected after completing numerous site visits.

There are a variety of different façade materials in the area surrounding the Design Centre, including brick, timber and render.

The neighbouring Creative Centre uses black and natural timber cladding. This use of timber creates subtle changes of scale that respond to the proportions of the existing Design Centre.

DESIGN CENTRE MATERIALS:



Brick at the rear of the Design Centre



Brick at the side of the Design Centre



Brick at the side of the Design Centre



Windows at the side of the Design Centre



Windows at the side of the Design Centre



Windows at the side of the Design Centre

SURROUNDING MATERIALS:



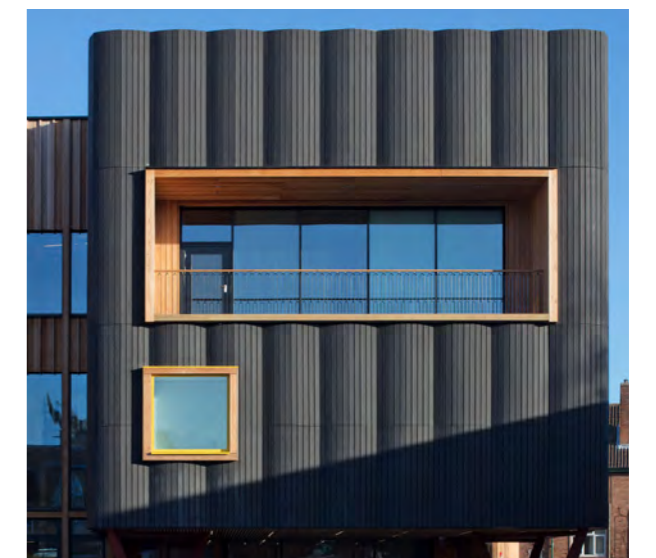
Aldbrough House



Creative Centre cladding



Creative Centre cladding



Creative Centre cladding

2.7

Landscape Masterplan

The landscape masterplan produced as part of the Creative Centre development in 2018 aimed to link into and improve the connectivity of the campus, with additional pedestrian routes and desire lines connecting the Creative Centre to the campus and beyond.

We have considered how the Design Centre proposal will link into the wider, aspirational masterplan and connect to the heart of the campus created in front of the Creative Centre.



Landscaping in front of the Creative Centre

3.0

PROPOSED DESIGN

3.1

Design Summary

This proposal has been conceived to sit comfortably within its environment both in terms of its overall massing, and its careful choice of material palette.

The design addresses both the existing Design Centre building as well as the neighbouring Creative Centre to the east and Aldbrough House to the west. The design has been carefully considered to echo the rhythm of the Creative Centre's facade, utilising the same textured, timber cladding, whilst incorporating the existing arched form found on the rear of the Design Centre. A great level of consideration has been given to ensure the design does not have a detrimental impact on the neighbouring amenity space at Aldbrough House.

The layout of the Design Centre is optimised to adapt to new teaching requirements and at the same time address the demand for larger classrooms.

The arrangement of fenestration responds to the carefully considered internal arrangement and teaching requirements. This helps the classrooms to receive adequate natural light whilst also providing sufficient space for teaching resources such as display screens.

The design takes advantage of this unique site to propose a modern, sensitive building of high architectural quality, whilst still remaining responsive to its context.

This proposal also seeks to provide landscaping to link into the existing pedestrian routes through the courtyard arrangement, as well as providing generous and biodiverse green space.



Perspective View

3.2

Design Development - Elevations

The design has been developed through a series of sketches to explore the facade, fenestration, and architectural identity of the Design Centre in respect to the existing building and the site.

The neutral facade with subtle design elements will ensure an improvement to the existing extension and help the Design Centre to blend in within the campus, at the same time respecting the neighbouring Aldbrough House.

The facade carries across the datum line established in the facade of the Creative Centre, similarly utilising a protruding element above the main doorway to denote the entrance area.



Early Elevation Study 1



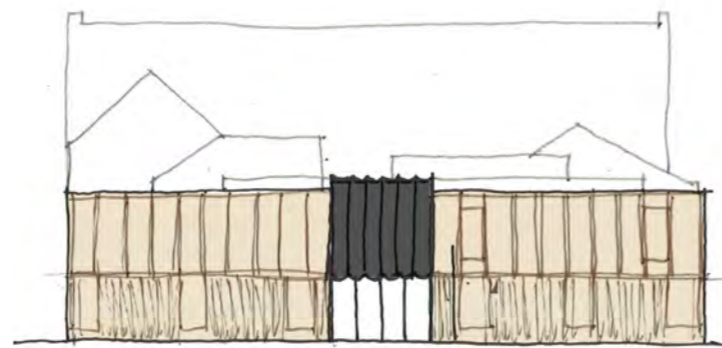
Early Elevation Study 2



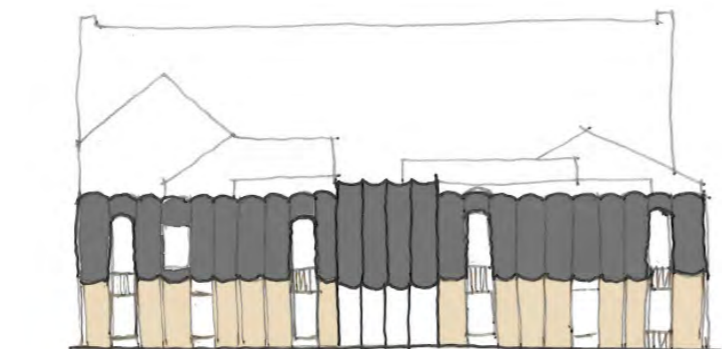
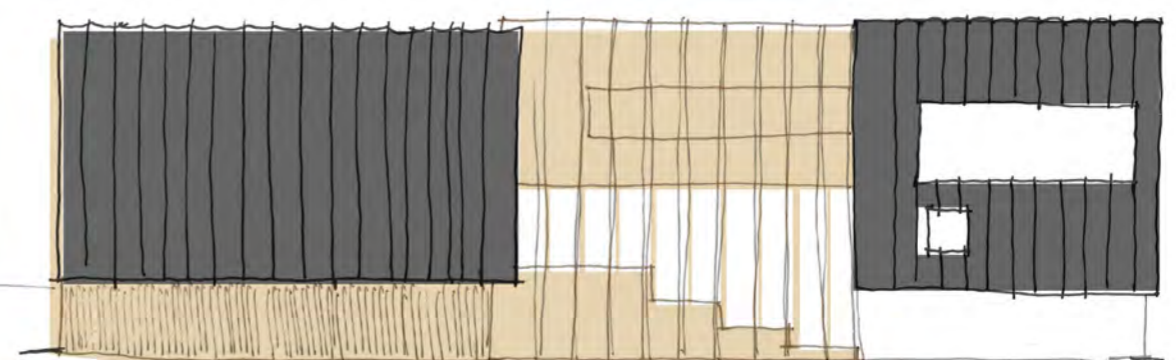
Elevation development sketches



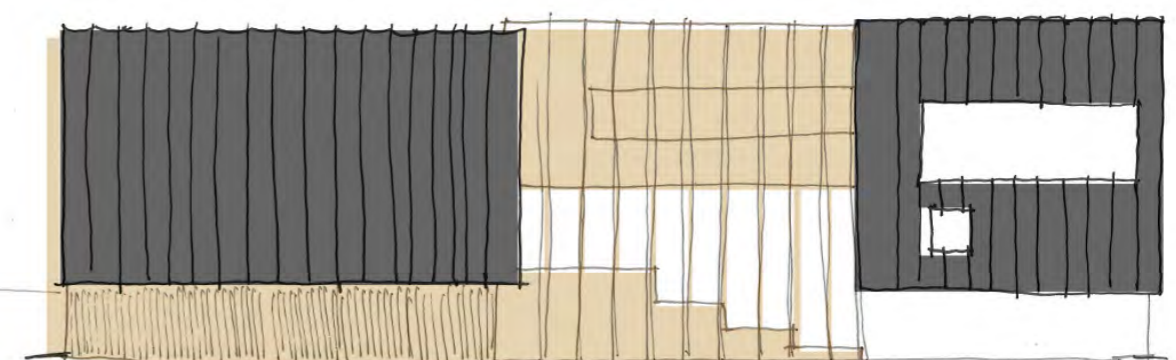
Sketch study of arches on the rear facade of the Design Centre



Elevation development in context sketches



Elevation development in context sketches

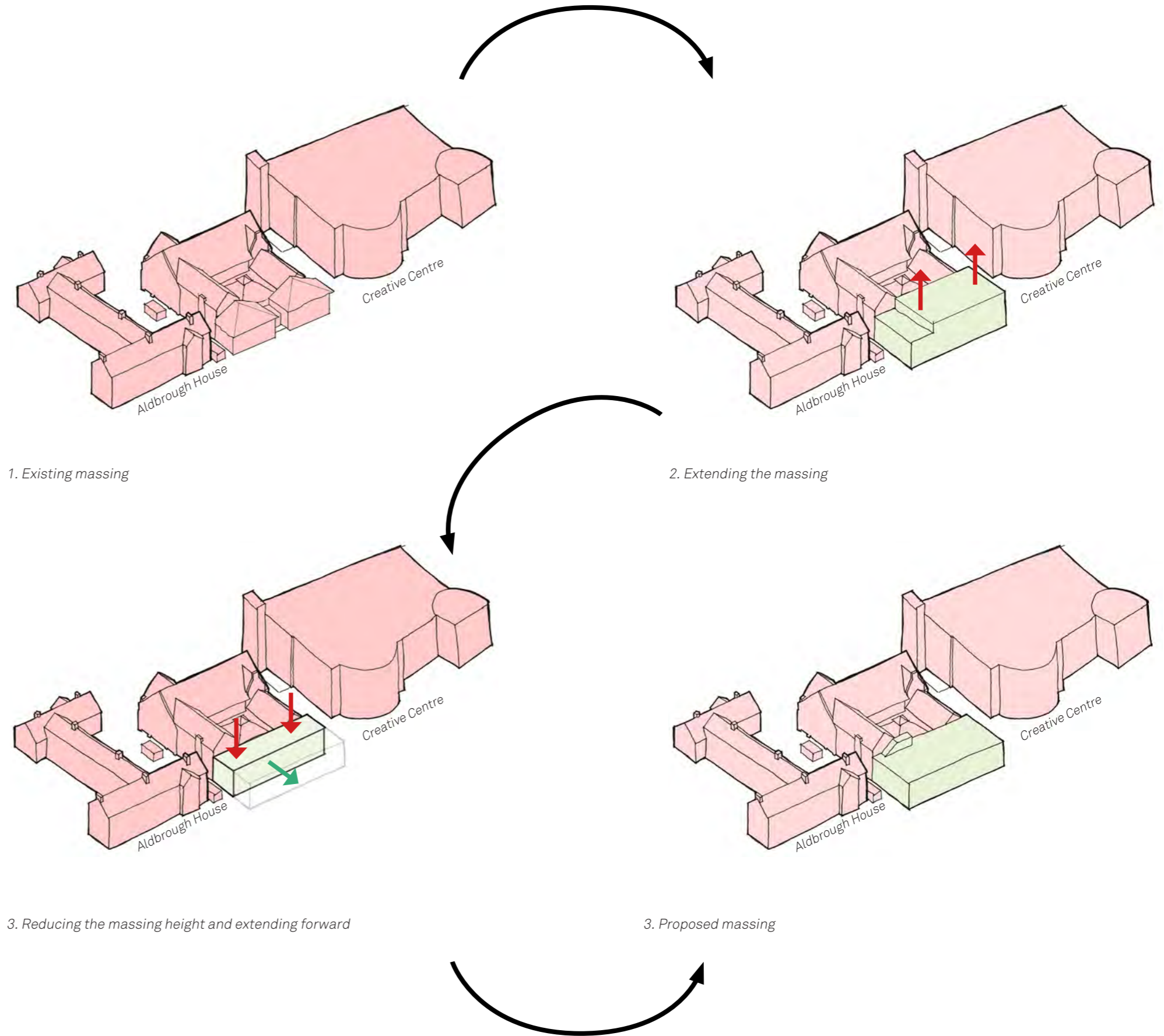


3.3 Design Development - Massing

The design has also been developed through 3D modelling that explores the mass and form of the building in its immediate context.

In order to address impacts on the amenity of Aldbrough House we have tested a series of massing options. The resulting, proposed mass is lower in height than the existing roof extension to ensure that the neighbouring building still receives a high level of daylight, while keeping the size of accommodation required by the university.

The scale of the extension replacement is limited to only 2-storey is modest and comfortably sits in between Aldbrough House (3-storey) to the west and Creative Centre (4-storey) to the east.



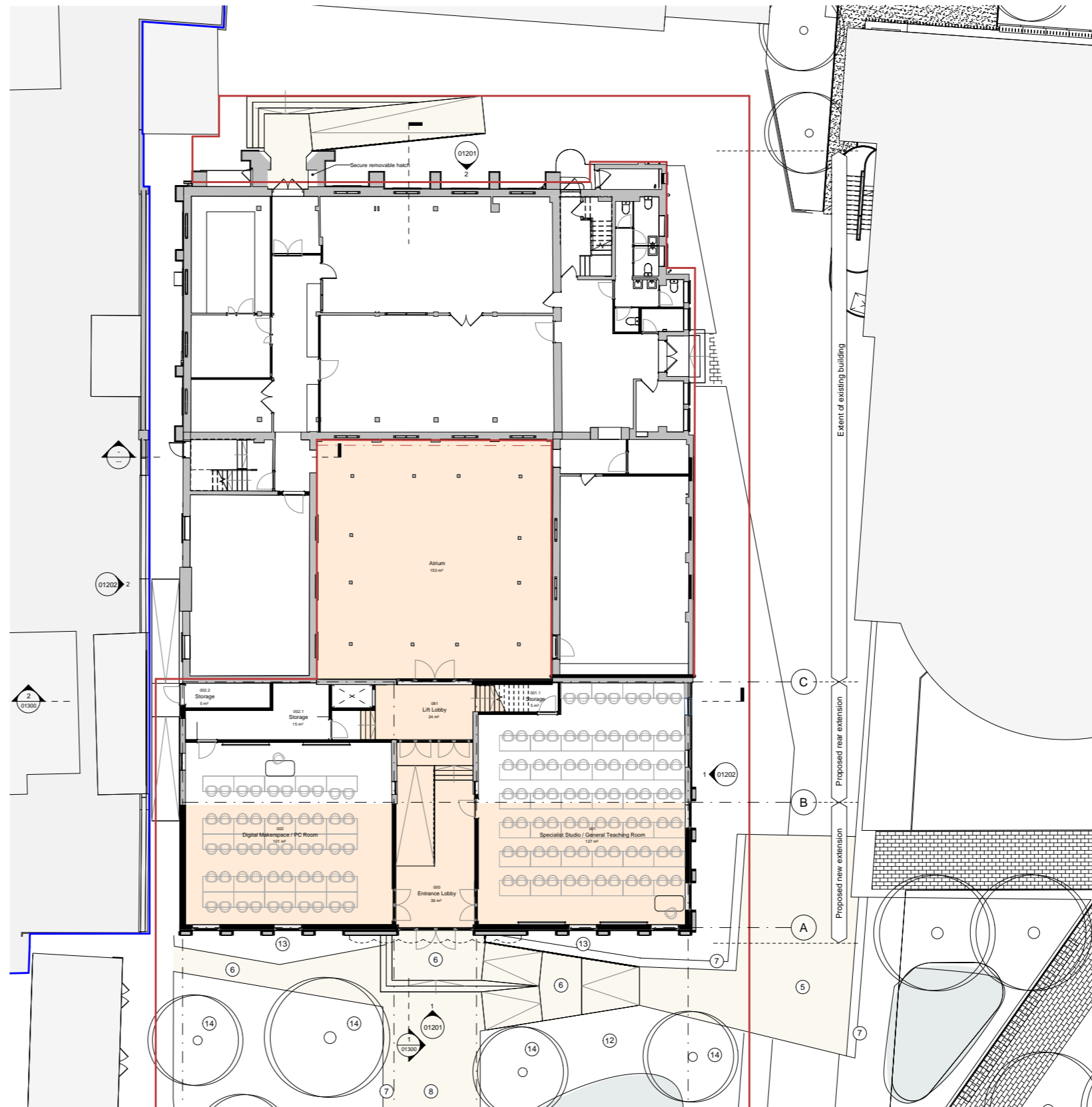
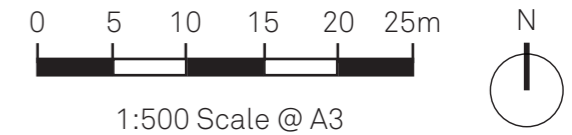
3.4

Layout - Ground Floor Plan

The layout of the extension has been carefully designed to enhance the existing function of the Design Centre and to provide necessary additional facilities.

A new, accessible entrance has been created towards the south to lead into the proposed lobby space. The two ground floor teaching rooms have been arranged to allow for optimum functionality, with large open-plan spaces allowing for flexibility within their layouts.

A new lift and additional stairs have been provided to ensure first floor spaces are accessible. The existing atrium has been opened up, with new skylights creating a large, open space at the core of the building.



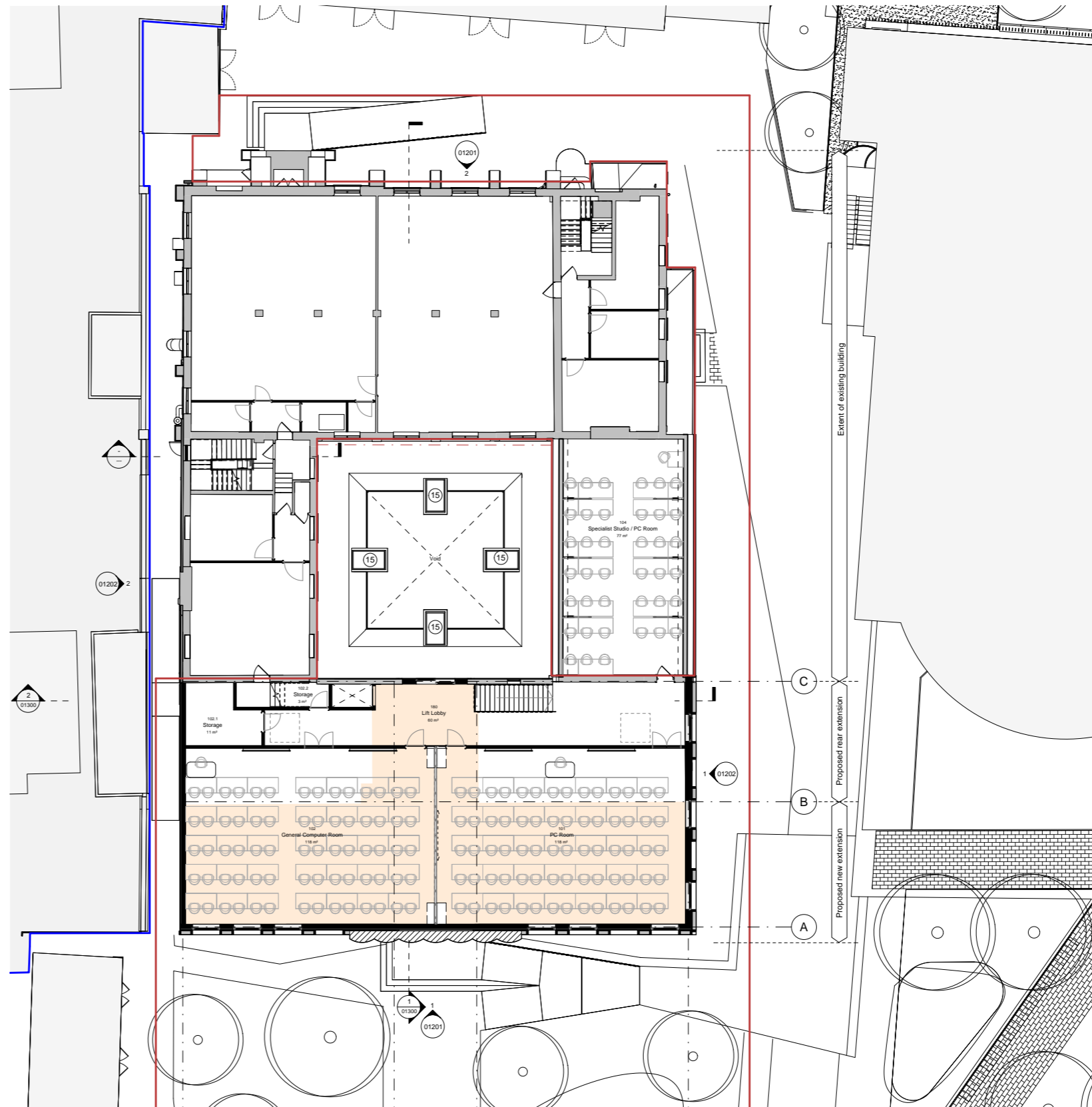
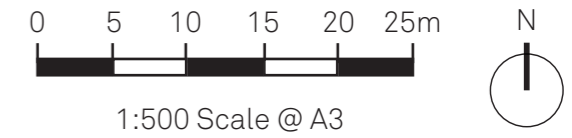
KEY:

- Site application boundary
- Campus boundary
- Proposed extension

3.5

Layout - First Floor Plan

The layout of the first floor looks to provide large, flexible classroom spaces. The floor height of an existing mezzanine has been adjusted and optimised to allow for extra head room and usable space. Another consideration is to ensure that level access is provided wherever possible.



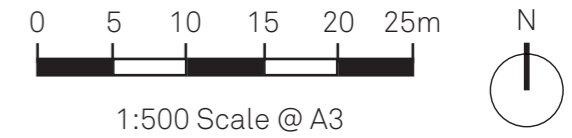
KEY:

- Site application boundary
- Campus boundary
- Proposed extension

3.6

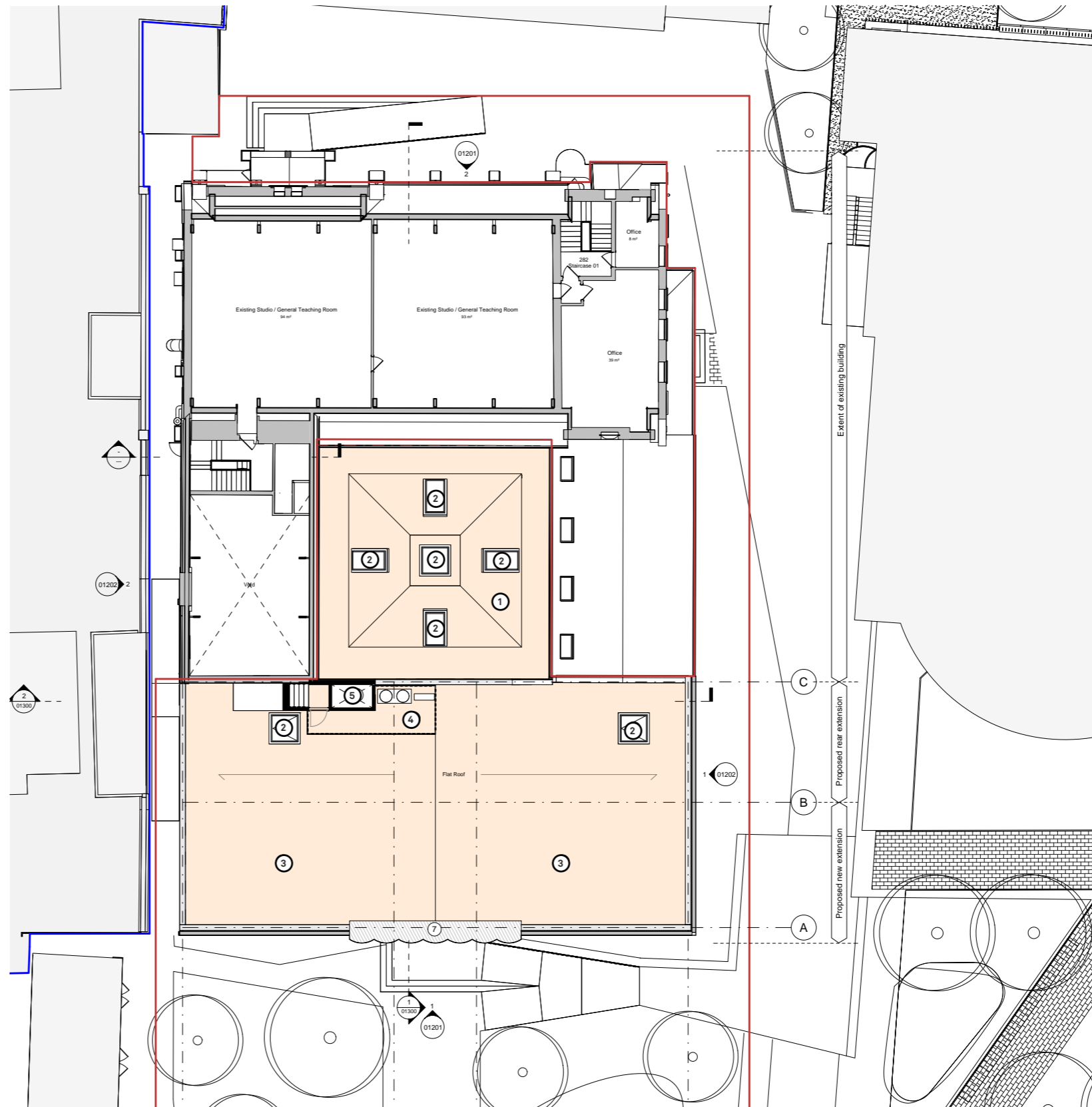
Layout - Second Floor Plan

No changes are proposed on the existing second floor. The existing pyramid roof is going to be refurbished with new rooflights to improve the natural sunlight into the atrium space.



KEY:

- Site application boundary
- Campus boundary
- Proposed extension and refurbishment
 1. Patinated metal roof
 2. Metal-framed rooflight
 3. Grey flat roof
 4. Plant area
 5. Lift shaft

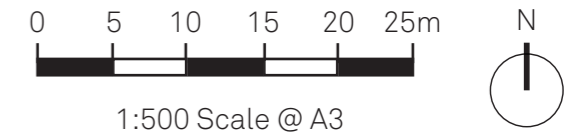


3.7

Layout - Roof Plan

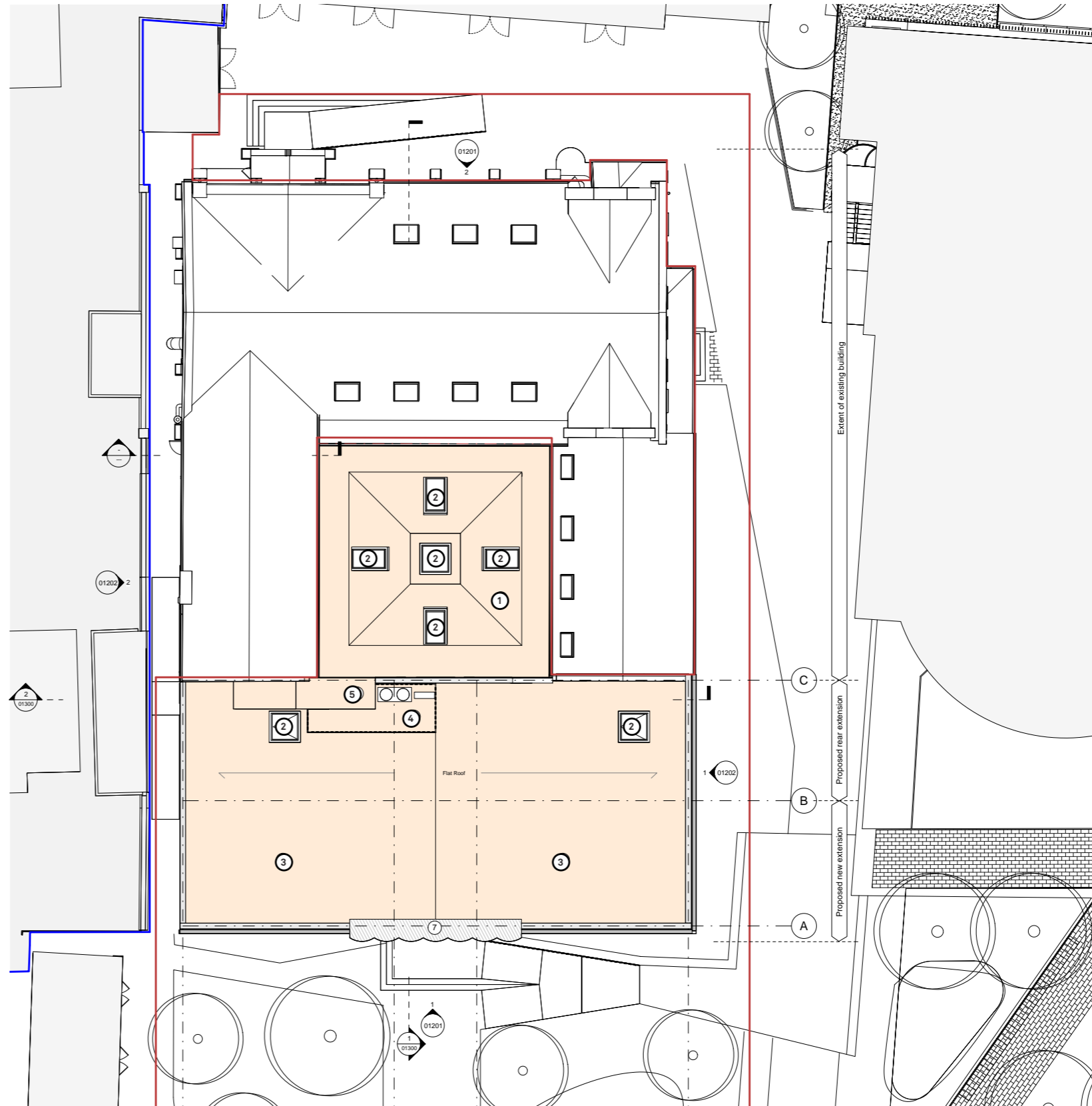
The new extension flat roof is kept at its optimum height in respect to the neighbouring Aldbrough House. The existing pyramid roof is refurbished and rooflights added to the existing structure to create a new breakout space internally with natural daylight.

No changes are proposed on the existing slate roof in other parts of the building.



KEY:

- Site application boundary
- Campus boundary
- Proposed extension and refurbishment
 1. Patinated metal roof
 2. Metal-framed rooflight
 3. Grey flat roof
 4. Plant area
 5. Lift shaft



3.8

Amount and Use

The total scheme provides an addition 280 sqm of space to the existing Design Centre.

Existing GIA:

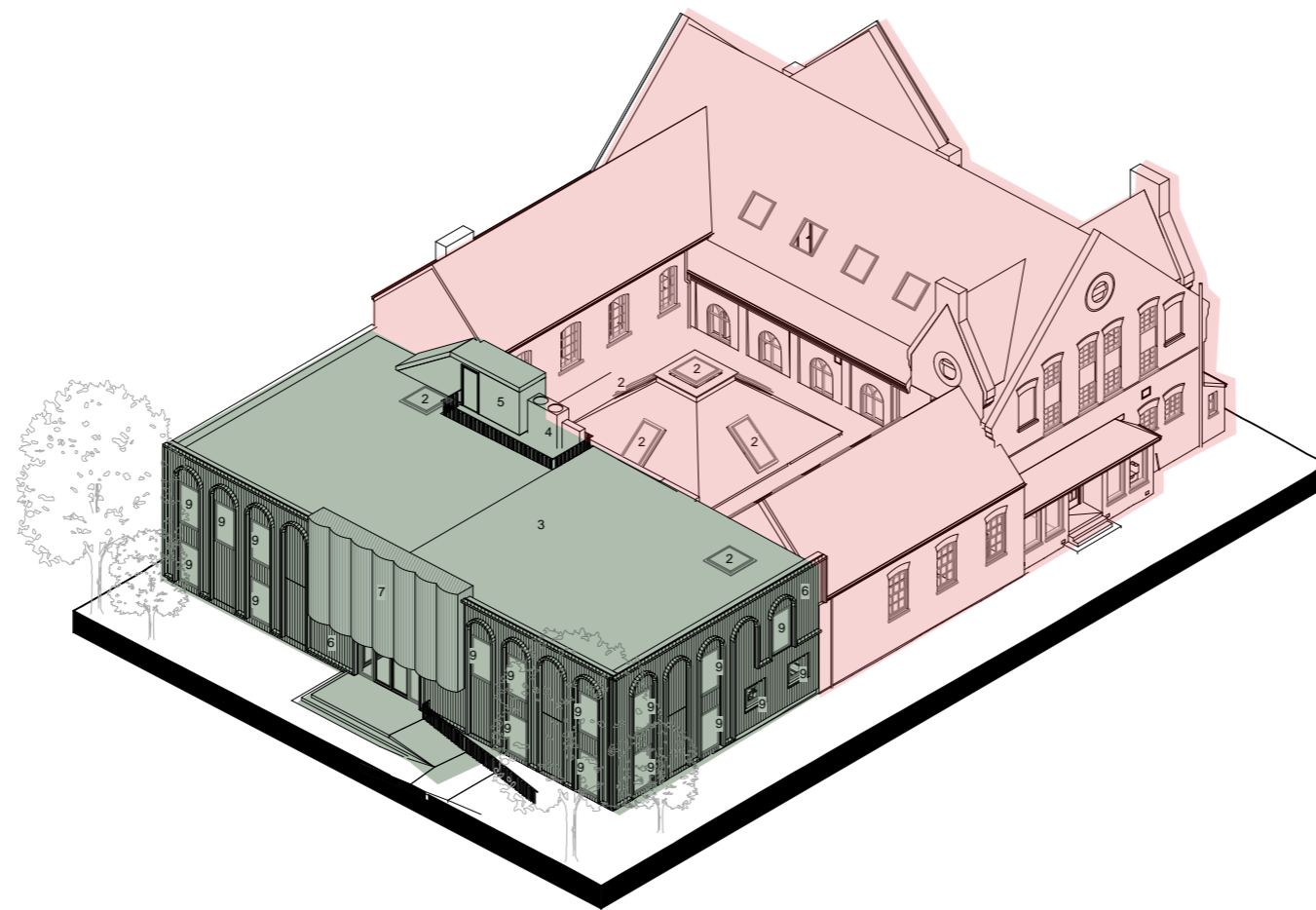
1,679 sqm

Proposed GIA:

1,959 sqm

Addition to floor area:

280 sqm



Axonometric with colours indicating new vs existing

KEY:

- Existing Design Centre
- Proposed extension replacement

Design Centre Extension Area Schedule		
Room No.	Room Name	Gross Internal Area (m ²)
Ground Floor		
000	Entrance Lobby	39
001	Specialist Studio / General Teaching Room	127
001.1	Storage	5
002	Digital Makerspace / PC Room	101
002.1	Storage	15
003	Studio / General Teaching	69
004	Accessible WC	6
005	Accessible WC	7
006	Toilets	7
007	Toilets	9
008	Specialist Studio / General Teaching Room	74
009	Specialist Studio / General Teaching Room	74
010	Materials / Tech Shop	13
010.1	Materials Storage	25
011	UV Screen Exposure Room	11
012	Studio / General Teaching	58
013	Atrium	153
081	Lift Lobby	24
081.5	Staircase 03	5
083	Rear Lobby	30
083.1	Cleaner's Cupboard	3
084	Staircase 01	11
085	Lobby	22
086	Rear Lobby	7
087	Stair Lobby	5
089	Lobby	6
090	Staircase 02	11
Total		917
First Floor		
101	PC Room	118
102	General Computer Room	118
102.1	Storage	11
102.2	Storage	3
104	Specialist Studio / PC Room	77
105	Stop Motion	19
106	VR Room	9
107	Stop Motion	15
108	Studio / PC Room	113
109	Specialist Studio / PC Room	117
110	Office (Technicians)	15
111	Office (Technicians)	37
180	Lift Lobby	60
181	Lobby	6
182	Staircase 01	10
183	Lobby	5
Total		733
Second Floor		
201	Office	39
201.1	Office	8
202	Existing Studio / General Teaching Room	93
203	Existing Studio / General Teaching Room	94
Total		234
Total Area		
Net Internal Area		1,884
Gross Internal Area		1,959

3.9

Scale

Following massing studies as explained on page 19, the design for the replacement extension of Design Centre references the height of the existing extension and connecting main building whilst respecting the height of its immediate neighbour, Aldbrough House.

The diagram below shows the height of the extension roof parapet at 6.8m in contrast to 10.7m of Aldbrough House and 13.4 of the main Design Centre building.

No windows are proposed to the west elevation of the extension to avoid overlooking.



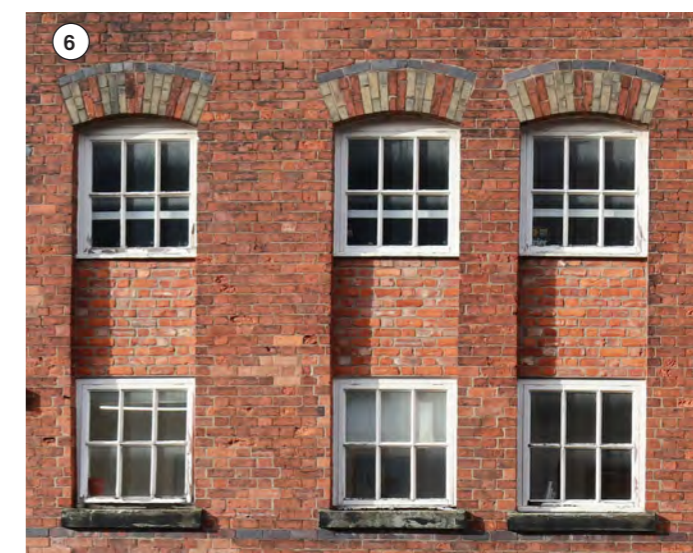
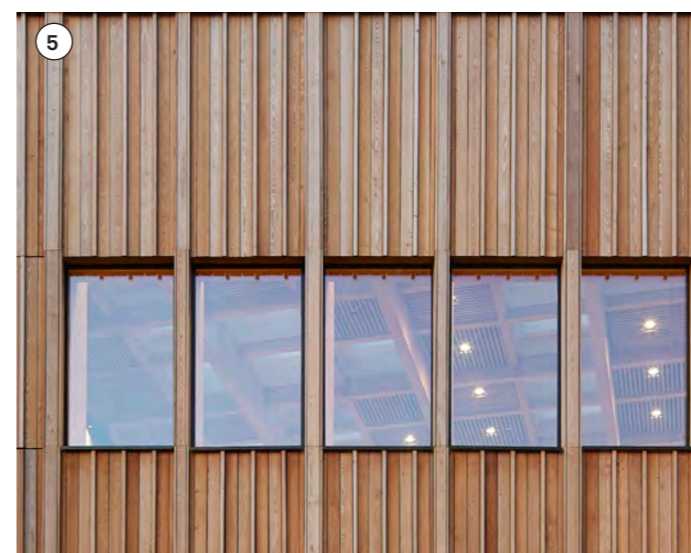
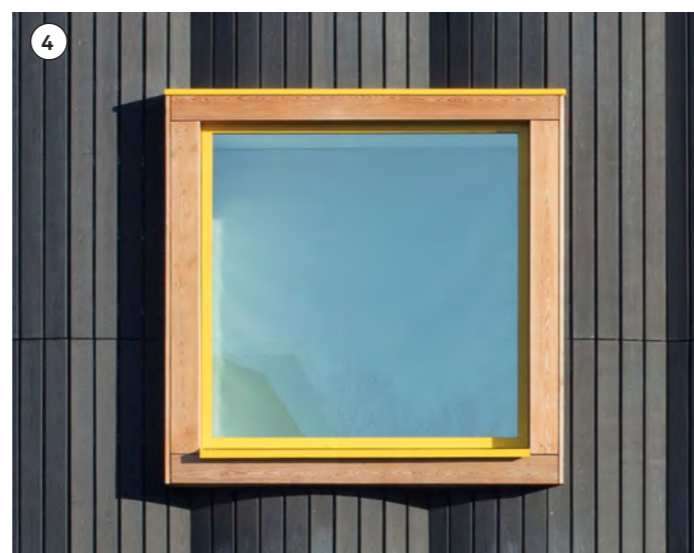
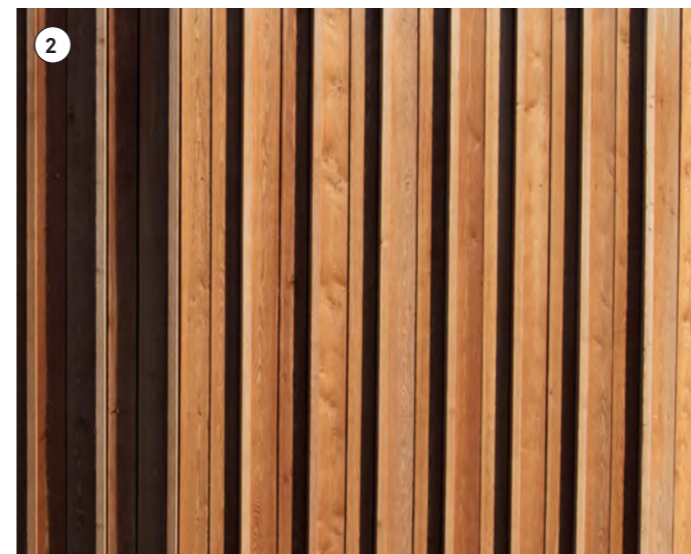
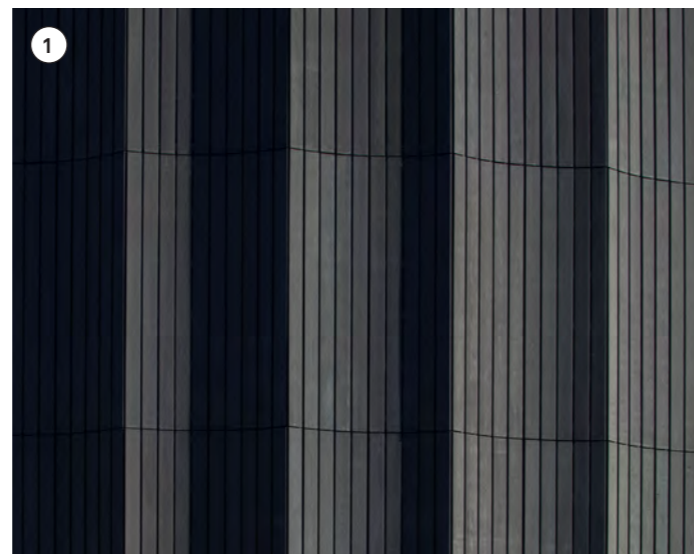
3.10

Appearance: Material Palette

When considering the material palette for this proposal, careful attention has been paid to the existing colours and façades of the surrounding buildings such as the Creative Centre.

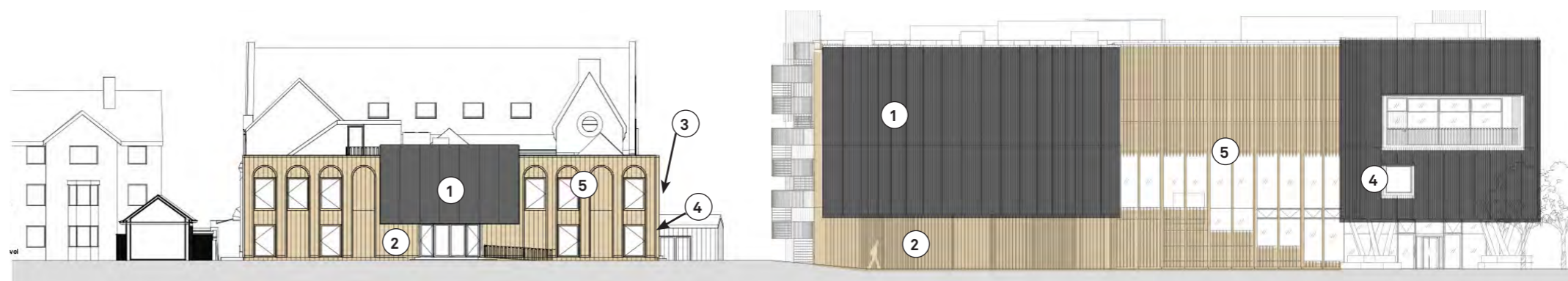
Elements of the timber cladding on the Creative Centre will be picked up in the facade of the new extension. The extension will also utilise similarly expressive, fluted cladding.

The form of the replacement extension will be composed to merge with the original Sunday school building to the rear. It will reference the existing form and details such as the arched windows.



KEY:

- ① Black fluted cladding
- ② Natural timber cladding
- ③ Existing brick
- ④ Pop-out natural timber window
- ⑤ Recessed natural timber windows
- ⑥ Existing arched windows



3.11

Appearance: Perspective View



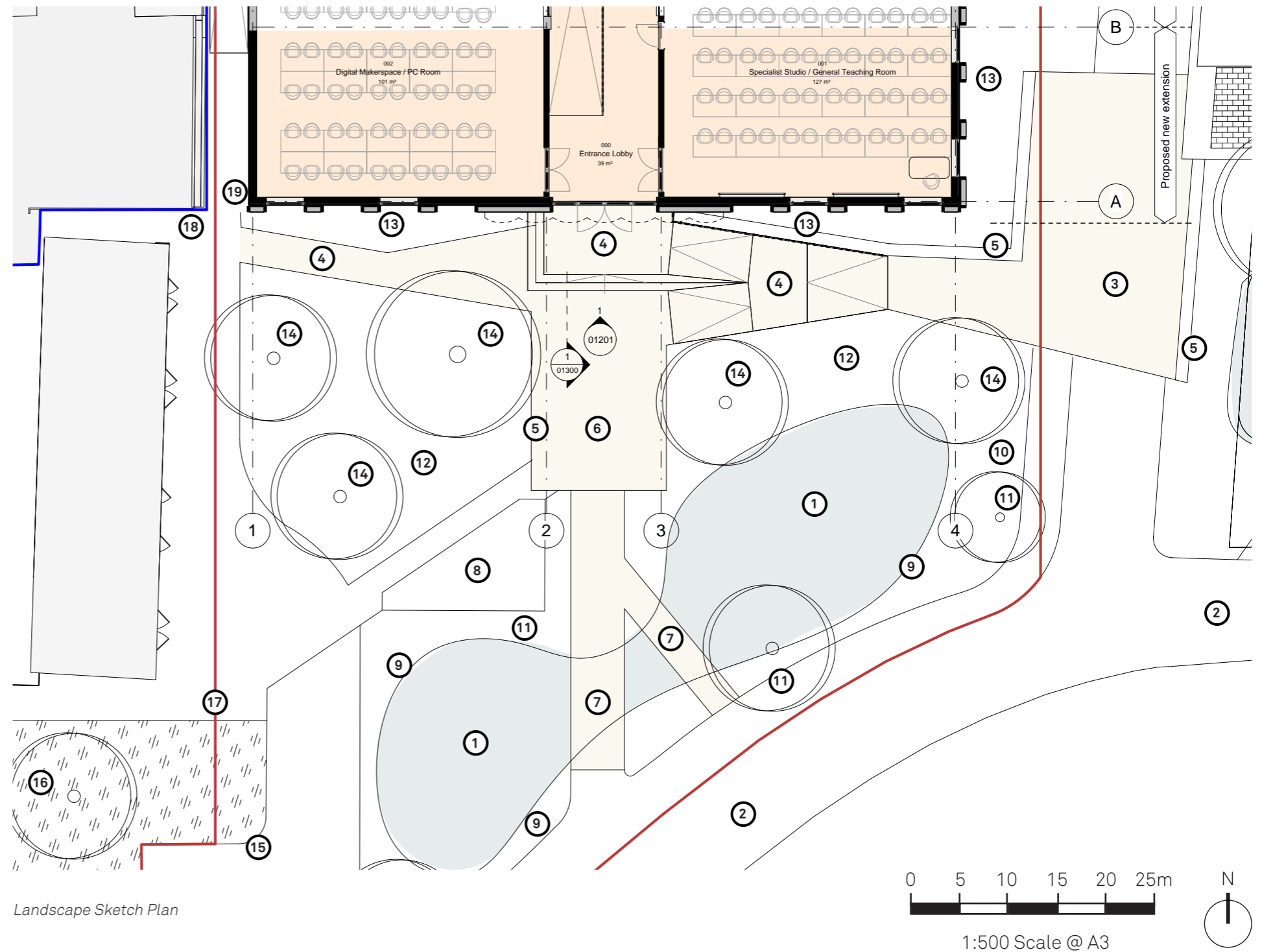
Perspective view looking towards the front entrance

3.12

Indicative Proposed Landscaping

Landscape components to be introduced:

1. Proposed swale set outside extent of existing services
2. Road narrowed to 3.5m and then tapering back to existing width to avoid projecting steps at side of Creative Centre. Road area resurfaced as 'occasional vehicle access' area. Possibly 'tar spray and chip' as an informal continuation of the resin bound gravel square.
3. New 'square' formed as device to connect the adjacent buildings and path lines, paved with block type used at front of Creative Centre, or complementary resin bound gravel.
4. Ramped path, building entrance and building frontage path in Creative Centre block type.
5. Plinth seats on low wall, or continuous timber bench.
6. Forecourt area in resin bound gravel, with linear seating to match character of plinth seats
7. Decking path over swale, handrail to edge
8. Deck area with tensile fabric canopy roof.
9. Native marginal aquatic planting to swale edge
10. Dry gully feature visually connecting swales.
11. Pollarded willows to swale edge
12. Species rich flowering lawn.
13. Shrub planting for amenity and habitat value.
14. Semi-fastigate trees for scale and accent, without taking too much light from building frontage.
15. Existing parking spaces used to locate cycle stores.
16. Existing tree retained and shrub area extended by road narrowing. Replanting includes hedge to 'contain' cycle storage.
17. Existing screen fence renewed with timber type to match the Design Centre.
18. Potential wall top trellis type fencing to match the design Centre timber and climbers grown along fence from new bed adjacent to the Substation.
19. Bat boxes and swift bricks to be incorporated into the building fabric, with hedgehog boxes, bug hotel insect boxes, and bird boxes, included in landscape areas.



44.0

DESIGN CONSIDERATIONS

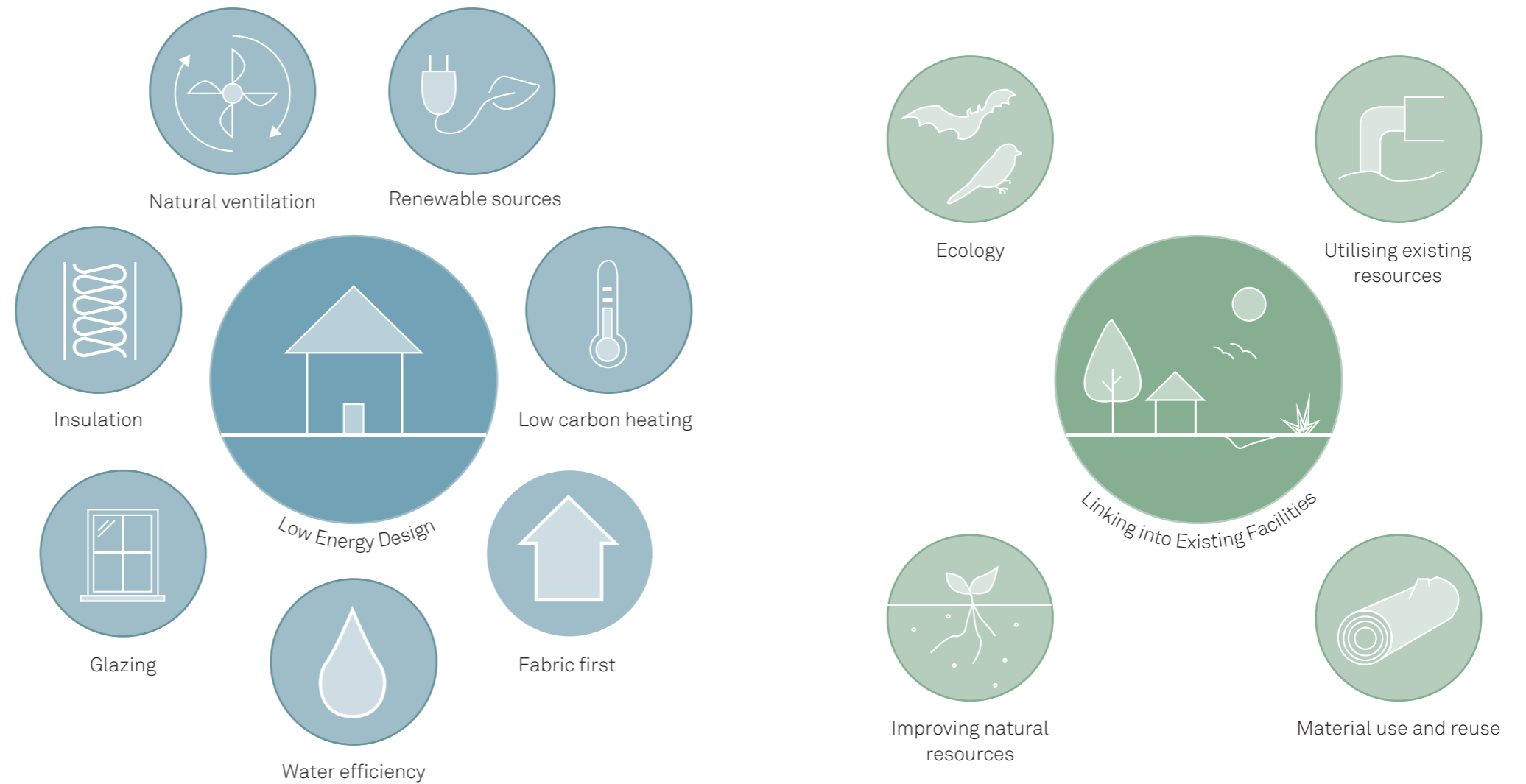
4.1

Sustainable Approach

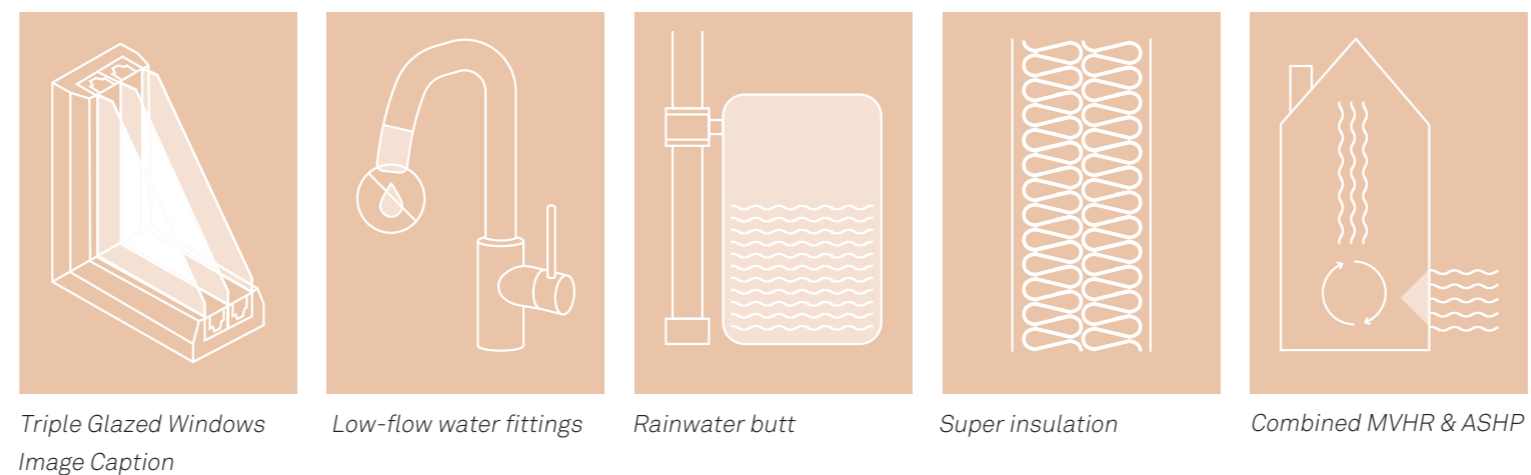
The proposal considers a long term view of the environment and therefore has a considerate and passionate approach to sustainability. This means that the design, construction and its use over time propose a very sustainable approach, including:

1. Effective site layout in response to the neighbouring context
2. Efficient design of the proposed building, openings and internal layouts so that relevant spaces across the site benefit from abundant daylight and sunlight levels, whilst impacts to neighbouring buildings are kept to a minimum.
3. The specification of water efficient fittings to reduce water consumption
4. The protection of natural features of ecological value and the improvement of biodiversity on site through landscaped areas
5. Effective pollution management and control: the development is not expected to have any significant adverse effects to air, noise, land or watercourses.
6. Ensuring insulation, window glazing, and low-flow water fittings are of a high quality are specified, which will aid in the sustainable approach.
7. Using a 'fabric first' approach; retaining and retrofitting existing buildings wherever possible.
8. MVHR to be specified with Air Source Heat Pump as well.

OUR APPROACH:



ON SITE IMPLEMENTATION:



4.2

Drainage Strategy

The proposal is mainly a refurbishment of an existing building with a minor front extension. The existing drainage system is to be retained and reused for the proposed changes to the design centre building. The building footprint increases at the front, but replaces hard landscaping and so no net increase in surface water run off to the main sewer network is anticipated as part of the works.

There is limited scope to provide SuDS features with the hard landscaping required to provide access to the building, maintain the existing vehicular access strategy, and retain the functional usage of the space.



Existing hard landscape in front of Design Centre

4.3

Environmental Noise Report

The National Planning Policy Framework (NPPF)

The NPPF December 2023 is a concise document that provides its position on noise primarily in paragraph 191 which is reproduced below:

'Planning policies and decisions should also ensure that new development is appropriate for its location taking into account the likely effects (including cumulative effects) of pollution on health, living conditions and the natural environment, as well as the potential sensitivity of the site or the wider area to impacts that could arise from the development. In doing so they should:

a) mitigate and reduce to a minimum potential adverse impacts resulting from noise from new development – and avoid noise giving rise to significant adverse impacts on health and the quality of life⁶⁰;

b) identify and protect tranquil areas which have remained relatively undisturbed by noise and are prized for their recreational and amenity value for this reason; and

c) limit the impact of light pollution from artificial light on local amenity, intrinsically dark landscapes and nature conservation. [Footnote 69 See Explanatory Note to the Noise Policy Statement for England (Department for Environment, Food & Rural Affairs, 2010)']

The Noise Policy Statement for England (NPSE)

This provides more detail than the NPPF setting out the long-term vision of Government noise policy and applying to all forms of noise excluding occupational noise. The NPSE repeatedly refers to the management and control of noise within the context of Government Policy on sustainable development.

The NPSE also stresses that noise impact should not be treated in isolation from other related factors. At paragraph 2.7 for example it states:

'...the application of the NPSE should enable noise to be considered alongside other relevant issues and not to be considered in isolation. In the past, the wider benefits of a particular policy, development or other activity may not have been given adequate weight when assessing the noise implications.'

Local Planning Requirements

Policy ENV2 of the emerging Local Plan for York states that development will be permitted where it does not unacceptably harm the amenities of existing and future occupants on the site and in neighbouring communities. The policy further states that where proposals are acceptable in principle, planning permission may if necessary be granted subject to conditions to prevent adverse impacts from noise and vibration during the construction and life of the development

Noise Sensitive Receivers

The nearest Noise Sensitive Receivers to the site have been identified as the three storey residential accommodation known as Aldbrough House, which is approximately 16 m to the west of the proposed plant locations (see below).

The site is also bounded to the north by Brook Street, with residential properties located opposite at a distance of approximately 25 m from the existing building.

Noise Sources

The main sources of environmental noise have been identified as new plant located on the flat roof area to the south of the proposed extension. These will comprise:

- 2 off. Air Source Heat pumps
- 1 off Outdoor condensing unit

The proposed location of the plant is shown in figure on the right.

Assessment and Design Approach

Existing background noise levels will be determined by means of an environmental noise survey. This will establish the existing noise climate at selected locations around the site providing a baseline against which predicted noise emissions can be compared.

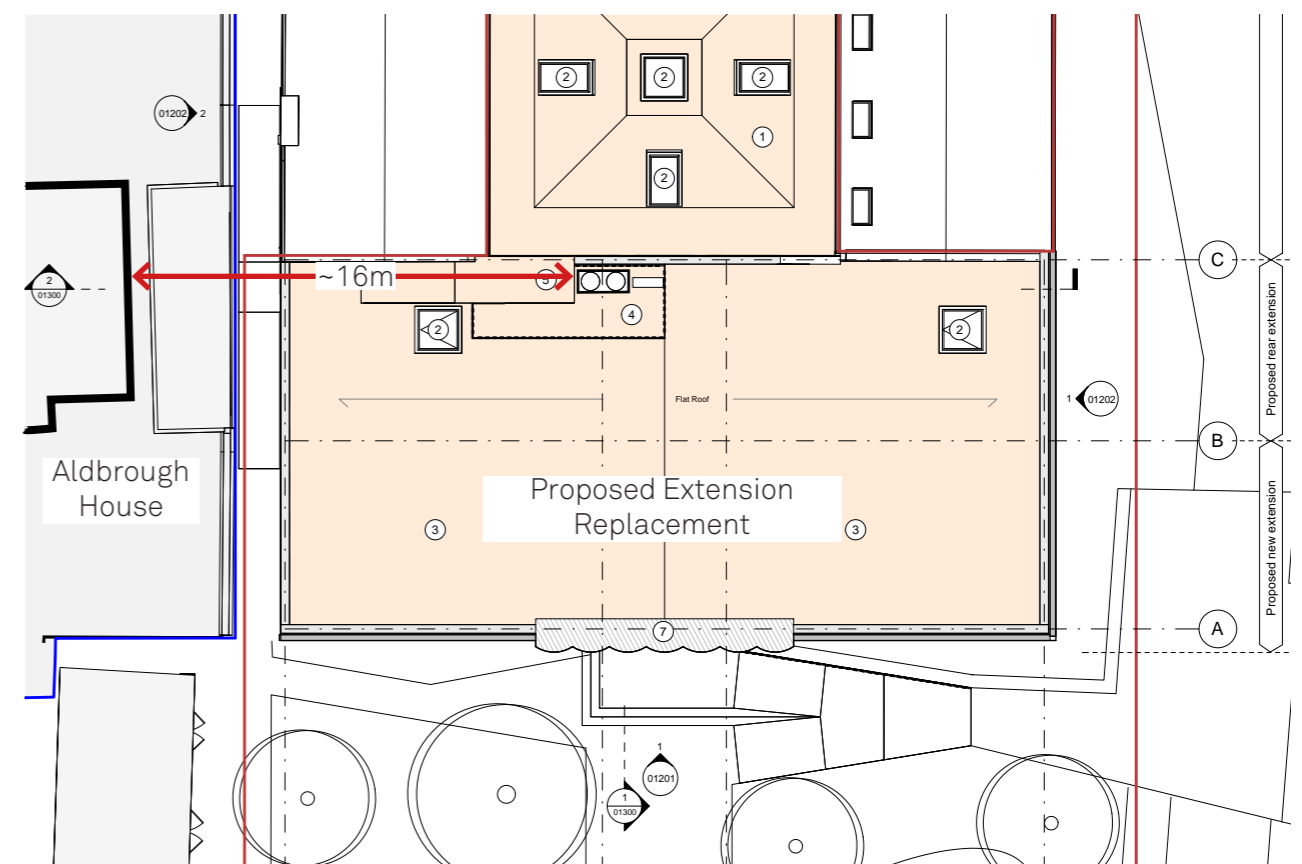
The noise emissions from all the candidate plant operating simultaneously will be calculated to produce worst case noise level predictions at the receiver location.

In terms of the determination of the planning application for the development this will be based on the noise levels and impact predicted at the nearest noise sensitive receiver location. These are assessed based on the principles of BS 4142:2014 +A1:2019.

In terms of the potential noise impacts at the existing accommodation within the application site itself; the design criteria set out in BS 8233:2014 are more relevant. The acceptability of these impacts is for the consideration of York St John University alone as they are not a material planning consideration.

Noise from the plant will be controlled so as meet the local planning criterion. Limiting noise levels will be specified as appropriate for all relevant plant.

The design to date incorporates the form of the proposed extension to mitigate plant noise emission to Aldbrough House by using the lift overrun housing to screen the plant. In addition, mitigation measures will be incorporated into the design as required including but not limited to fan attenuators, acoustically attenuated enclosures / shrouds, noise barriers or louvres.



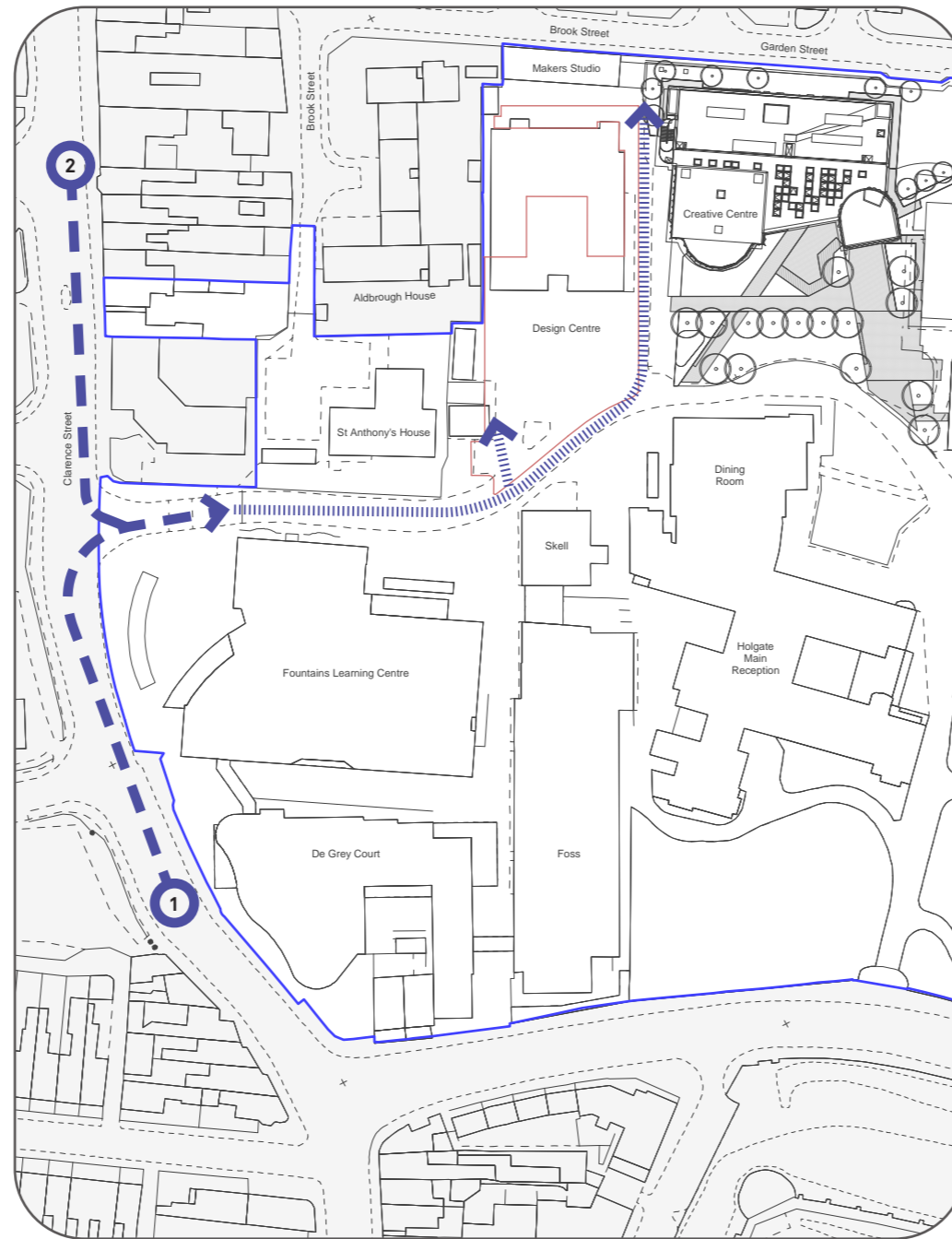
4.4

Access Strategy

Pedestrian access to the campus is mainly to the south and west of the site, along Lord Mayor’s Walk and Clarence Street. There is also an access point along Garden Street. There is no access from St. John Street on the east boundary.

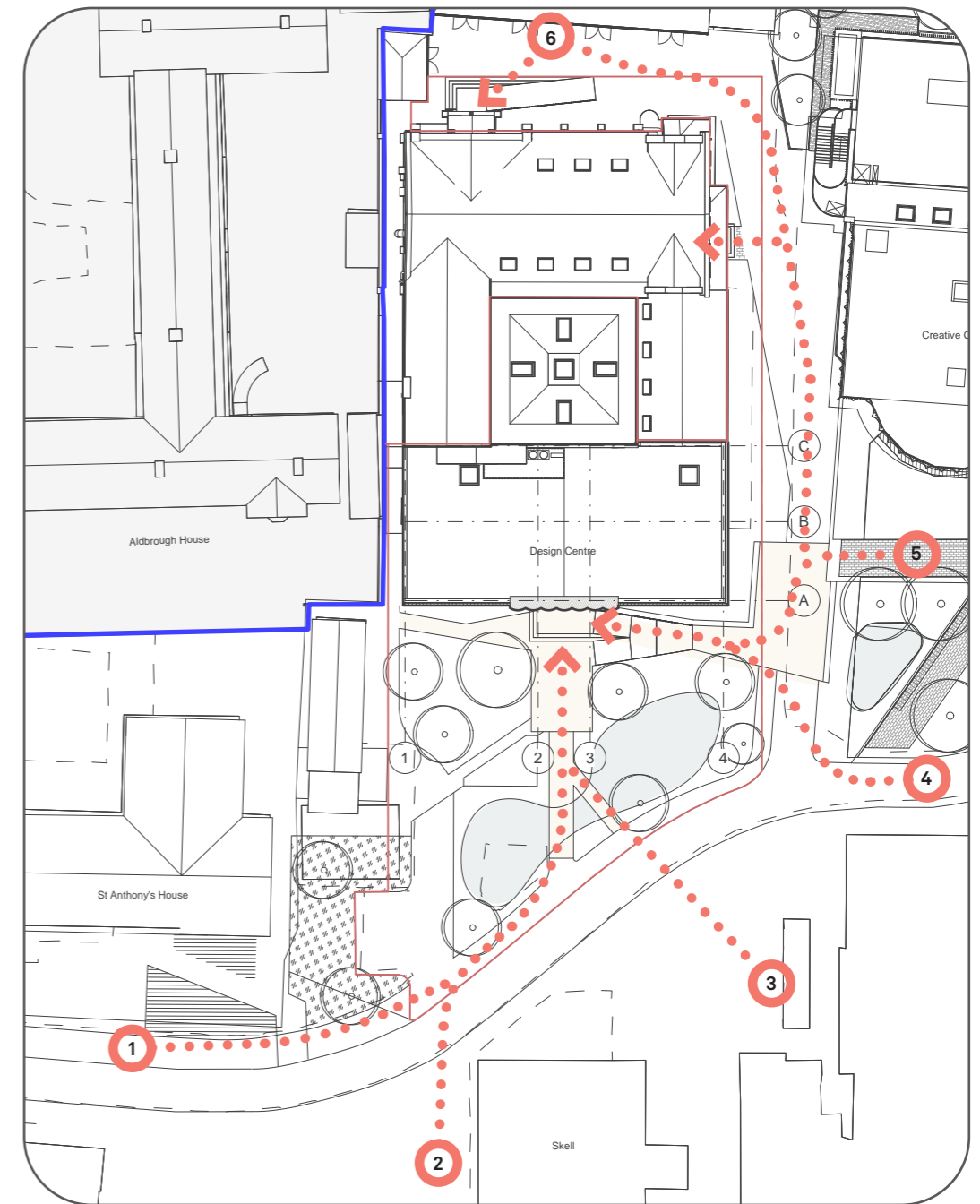
Levelled pedestrian access will be integrated into the campus-wide masterplan strategy connecting the Design Centre with the rest of the campus. Pedestrian movement through the campus is relatively porous, with numerous pedestrian walkways and through-routes permeating through the campus. With the current main access to the Design Centre located at the south of the building.

Vehicle access is limited to the road between the Design Centre & Creative Centre, with delivery access to the rear of the Design Centre.



KEY:

- Vehicular access via Clarence Street
- Service and maintenance vehicular access
- 1. From Lord Mayor’s Walk and Gillygate
- 2. From Haxby Road and Wiggington Road



KEY:

- Pedestrian access
- 1. From Clarence Street
- 2. From De Grey Terrace
- 3. From Holgate
- 4. From Quad
- 5. From Creative Centre
- 6. From Makers Studio

4.5

Daylight & Sunlight Report

MES were commissioned to carry out a Daylight & Sunlight report provided on the 08/02/24.

The report summarises the following:

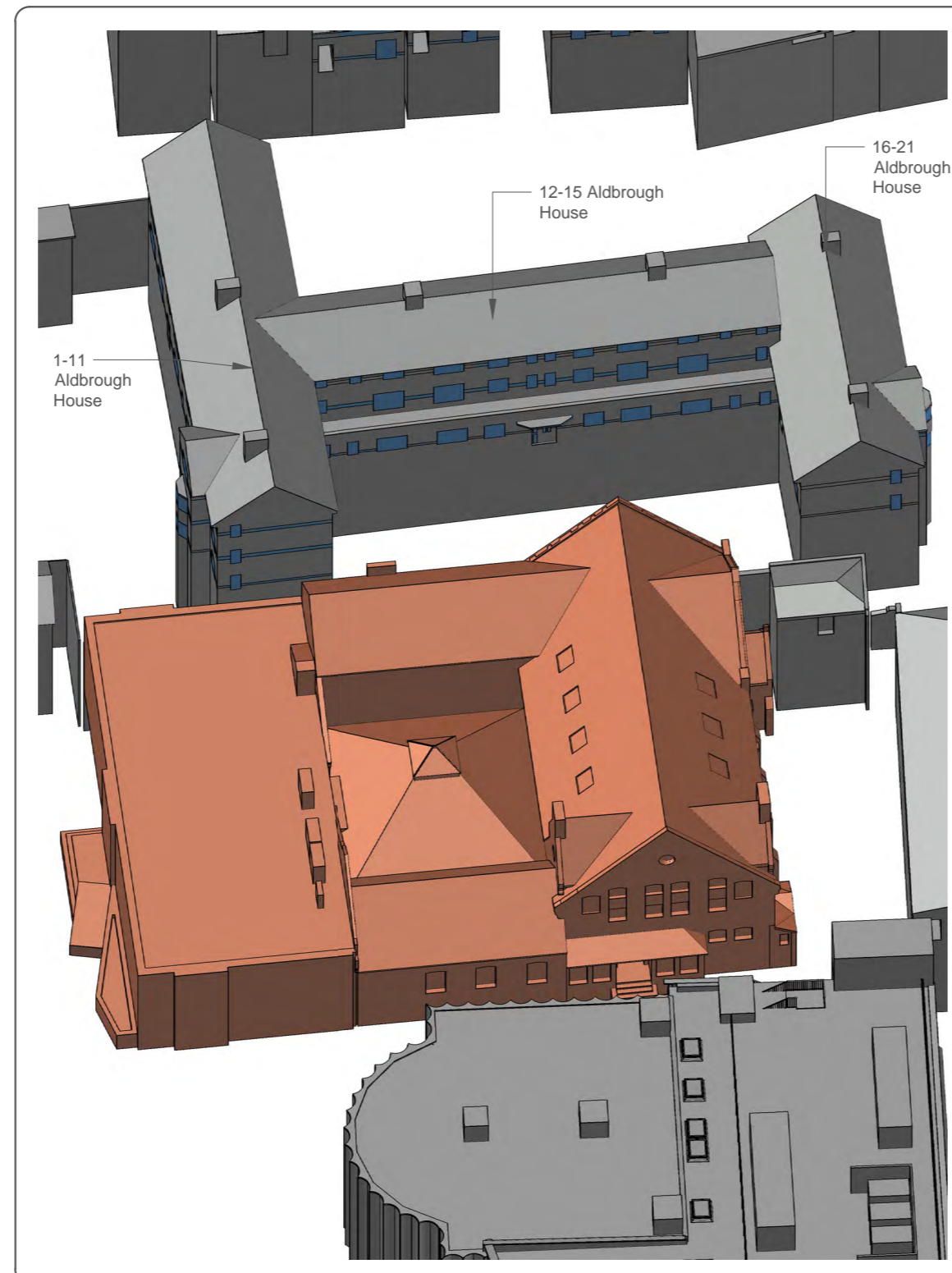
In dense urban locations such as this, site constraints, including the number, height and proximity of other neighbouring buildings means that windows and rooms will often fall short of the guidance figures.

Daylight and sunlight is one of a number of considerations when designing a building and should therefore be balanced with other planning issues, such as the appearance of the building, the need for additional local housing, the existing street scene and the commercial viability of the project.

The guidance is clear that the advice is not mandatory, should be used flexibly and that in certain environments (such as this) a higher degree of obstruction may be unavoidable.

In this case 103 of 104 of neighbouring windows meet the BRE Guidance for VSC and all the rooms assessed comfortably fulfill all the planning guidance. This would be regarded as a high level of compliance in a dense urban environment such as this.

We have provided our further comments on those spaces that could be regarded as falling outside the planning guidance in detail in the following report.



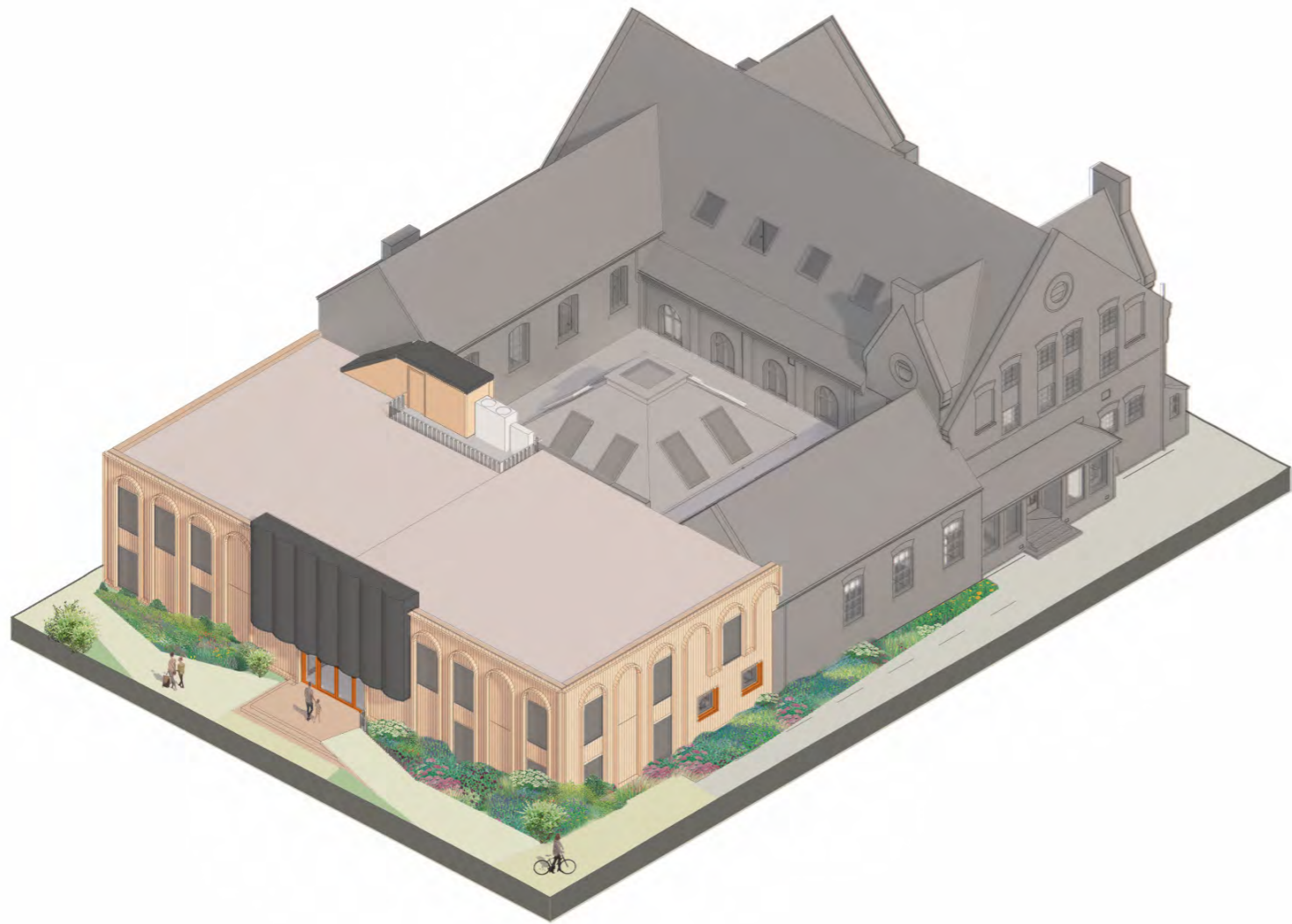
Project Name: 240202 York St John University
 Project No.: 12345
 Date of Analysis: 8/02/2024

Floor Ref.	Room Ref.	Property Type	Window Ref.	VSC	Light Retained	Meets BRE Guidance	Light Retained	Light Retained	Meets BRE Guidance	Winter Light Retained	Meets BRE Guidance	
1-11 Aldbrough House												
Ground	R1	Residential	W1	Existing 34.70 Proposed 34.61	1.00	YES	78.00 77.00	0.99	YES	26.00 25.00	0.96	YES
	R2	Residential	W2	Existing 34.40 Proposed 34.28	1.00	YES	78.00 77.00	0.99	YES	26.00 25.00	0.96	YES
	R3	Residential	W3	Existing 33.52 Proposed 33.36	1.00	YES	74.00 73.00	0.99	YES	24.00 23.00	0.96	YES
			W4	Existing 33.56 Proposed 33.40	1.00	YES	73.00 72.00	0.99	YES	24.00 23.00	0.96	YES
	R4	Residential	W5	Existing 33.82 Proposed 33.60	0.99	YES	75.00 74.00	0.99	YES	24.00 23.00	0.96	YES
	R5	Residential	W6	Existing 33.69 Proposed 33.41	0.99	YES	73.00 73.00	1.00	YES	23.00 23.00	1.00	YES
	R6	Residential	W7	Existing 33.38 Proposed 33.06	0.99	YES	73.00 73.00	1.00	YES	25.00 25.00	1.00	YES
	R7	Residential	W8	Existing 27.47 Proposed 27.47	1.00	YES	53.00 53.00	1.00	YES	17.00 17.00	1.00	YES
			W9	Existing 25.81 Proposed 25.81	1.00	YES	49.00 49.00	1.00	YES	14.00 14.00	1.00	YES
	R8	Residential	W10	Existing 31.21 Proposed 31.21	1.00	YES	57.00 57.00	1.00	YES	18.00 18.00	1.00	YES
			W11	Existing 33.71 Proposed 32.44	0.96	YES	79.00 75.00	0.95	YES	26.00 22.00	0.85	YES
			W12	Existing 30.40 Proposed 26.25	0.86	YES	73.00 68.00	0.93	YES	25.00 20.00	0.80	YES
	R9	Residential	W13	Existing 28.46 Proposed 25.42	0.89	YES	64.00 55.00	0.86	YES	22.00 14.00	0.64	YES
			W14	Existing 18.64 Proposed 14.48	0.78	MARGINAL	37.00 27.00	0.73	YES	14.00 7.00	0.50	YES
	R10	Residential	W15	Existing 24.87 Proposed 24.87	1.00	YES			*North	*North	*North	*North
	R11	Residential	W16	Existing 23.77 Proposed 23.77	1.00	YES			*North	*North	*North	*North
	R12	Residential	W17	Existing 18.21 Proposed 18.21	1.00	YES			*North	*North	*North	*North
			W18	Existing 18.07 Proposed 18.07	1.00	YES			*North	*North	*North	*North

Newark Beacon Cafferata Way Newark NG24 2TN 01636 653 055 www.mesbuildingsolutions.co.uk	CLIENT: Tate & Co.	PROJECT: Garden Street York University	DRAWING TITLE: 3D Overview	DRAWN BY: NJW	CHECKED BY: CJ
				DATE: 5/2/2024	SCALE: NTS

Excerpt from MES Daylight & Sunlight Report

TATE
+ CO



**Design and Access Statement
Design Centre Extension**

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