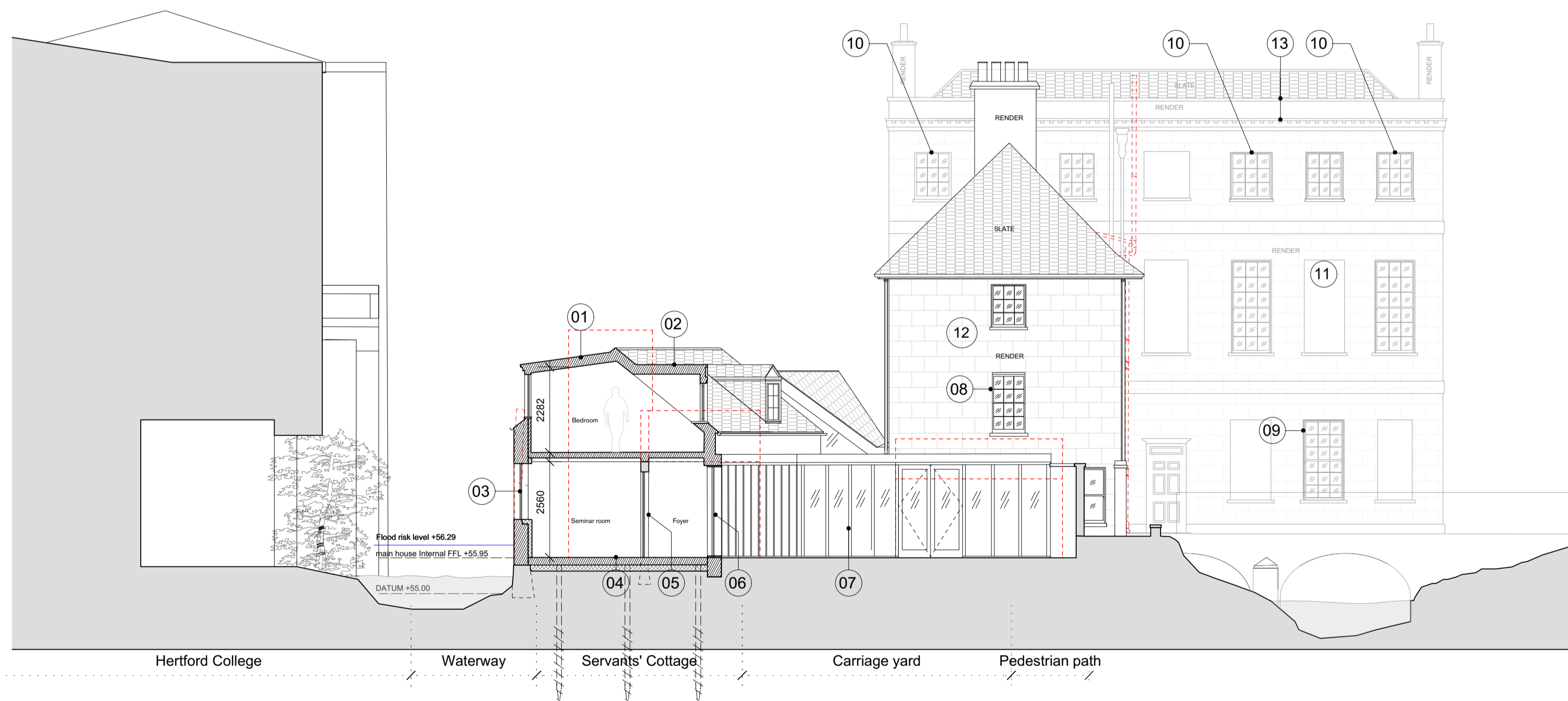
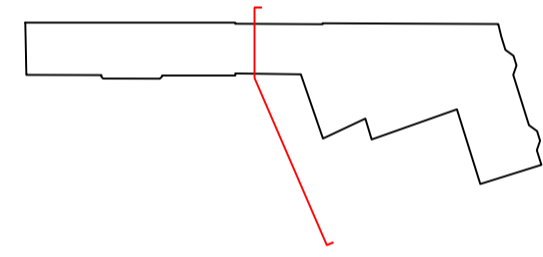


Proposed Section S03  
1:100 @A1

- KEY:
- 01 Later addition roof structure and covering to be replaced to allow creating new mansard roof with dormers. New roof ridge level to be 500mm above existing and roof to be insulated and covered with natural grey Welsh slates to match existing
  - 02 Existing south facing masonry wall of Stables block to be locally underpinned to allow new internal finish floor level
  - 03 New stone coping over the existing masonry wall raised by two brick courses to form concealed box gutter behind. Brick reclaimed
  - 04 Existing window's opening to be lowered to allow forming new mezzanine level above. Existing non-sympathetic later addition PVC casement window to be replaced with a new thermally broken double-glazed, crittal style, black-coloured steel window
  - 05 Existing floor level of Stables and Carriage house to be lowered by approximately 220mm. New floating floor slab on screw pile foundation to be tanked, insulated and fitted with under floor heating

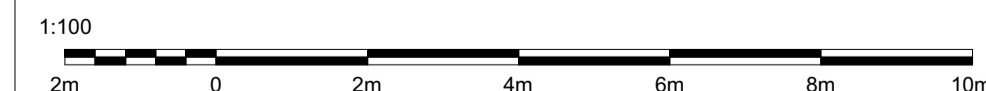


Proposed Section S04  
1:100 @A1

- KEY:
- 01 Ruined Servant's Cottage to be re-roofed with a new insulated slate pitched roof to allow forming Student accommodation at the mezzanine level.
  - 02 New shed roof dormer. New dormer to be fitted with a double glazed timber casement windows
  - 03 New window opening to be formed into the existing masonry wall of the servants' cottage. New steel windows to be Crittal style, thermally broken, double-glazed, and black-coloured
  - 04 Reinstated floor into the Servants' cottage. New floating floor slab on screw pile foundation to be tanked, insulated and fitted with under floor heating. Floor level to match existing
  - 05 Historic Servant's cottage masonry wall to be retained. Blocked historic arched openings to be reinstated
  - 06 New solid CLT timber frame glazed link-corridor between the principal house and the Stables block
  - 07 New solid CLT timber frame glazed entrance and link building with dark grey zinc flat roof and fascia
  - 08 Blocked window to historic rear facade of rear wing of principal house to be reinstated. New single glazed, timber, double hung, 6 over 6 panes sash window
  - 09 Blocked window to historic rear facade of principal house to be reinstated. New single glazed, timber, double hung, 9 over 9 panes sash window
  - 10 Blocked window to historic rear facade of principal house to be reinstated. New single glazed, timber, double hung, 3 over 6 panes sash window
  - 11 Existing defective wall render and timber laths to be carefully removed. Timber framing filled with breathable insulation, oak laths reinstated with 3 coats of lime render with ashlar pattern and finished with lime paint
  - 12 External damaged render to be removed, mortar joints repaired and replaced with 3 coat natural lime render with ashlar pattern and finished with lime paint
  - 13 Degraded lead flashing on cornice ledge and upon parapet to be replaced

NOTES:

- A. All historic fabric and features to be retained and reinstated except where otherwise noted
- B. All existing timber floor boards to be retained. Where noted on plan boards to be carefully lifted to allow running of services and insulating floor voids. Damaged planks to be replaced where necessary.
- C. All existing retained windows to be fitted with secondary glazing
- D. Existing windows to be retained and refurbished except where otherwise noted on plan.
- E. All repairs to historic fabric and features to match existing profiles and materials i.e. doors, architraves, skirtings, dado rails and cornices
- F. Defective areas of plaster to walls and ceilings to be cut out to a sound base and repaired and made good to match existing
- G. All existing fireplace's mantels to be retained and restored except where otherwise noted
- H. Existing services to be stripped out and re-serviced discretely and sympathetically throughout
- I. All modern style radiators to be removed and replaced to be in keeping with the character and the period of the property



Planning Application 28/03/24 -  
issue: date: revision:

Project  
Grandpont House  
Drawing  
Proposed Section S03 / S04  
Drawing No.  
GH(20)A16

Job No. Date Scale  
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