

47 WESTBOURNE GARDENS

JULIE & SIMON JOHNSTONE

Design Statement

FEBRUARY 2024



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Introduction

This document has been prepared by George Buchanan Architects in support of a Planning Application for 47 Westbourne Gardens, Glasgow.

Proposals have been based on design discussions with our client who is seeking to create additional accommodation and improved access to their private garden along with some internal alterations within the current lower ground floor.

The proposals have been designed to minimise visible changes from the street, whilst providing a high quality, contemporary intervention to the property complementing the wider Conservation Area setting.

Location

Westbourne Gardens is situated South of Great Western Road, within Glasgow's West End Conservation Area.

An Area Appraisal of the Glasgow West Conservation Area was undertaken in 2009/10 and was finalised in April 2011. This was undertaken to reassess the boundaries of the Conservation Area and to provide a basis for the development of a Conservation Area Management Plan.

Westbourne Gardens sits within the Dowanhill 'Character Area' noted within the Conservation Area Appraisal document.

The rear of the property is serviced via a lane, a common feature in the area. 2 metre high walls flank the lane along with various garages and mews properties, resulting in lower floors being hidden from view.

Listing Status

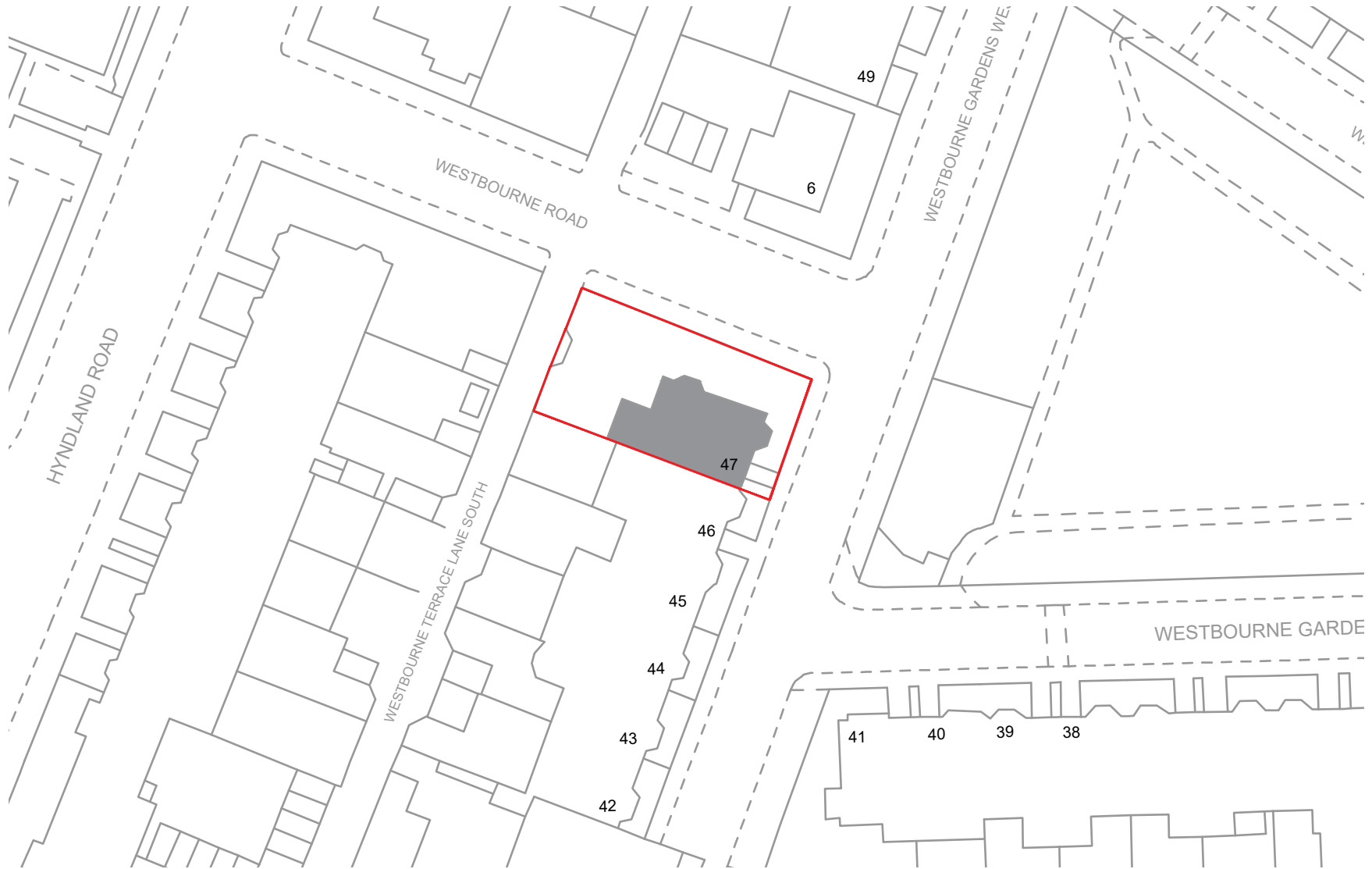
47 Westbourne Gardens Glasgow G12 9XQ
Listing Status: Category B Listed – LB32602
42-47 (Inclusive Nos) Westbourne Gardens
Date of Listing: 8 May 1975

Statutory Description

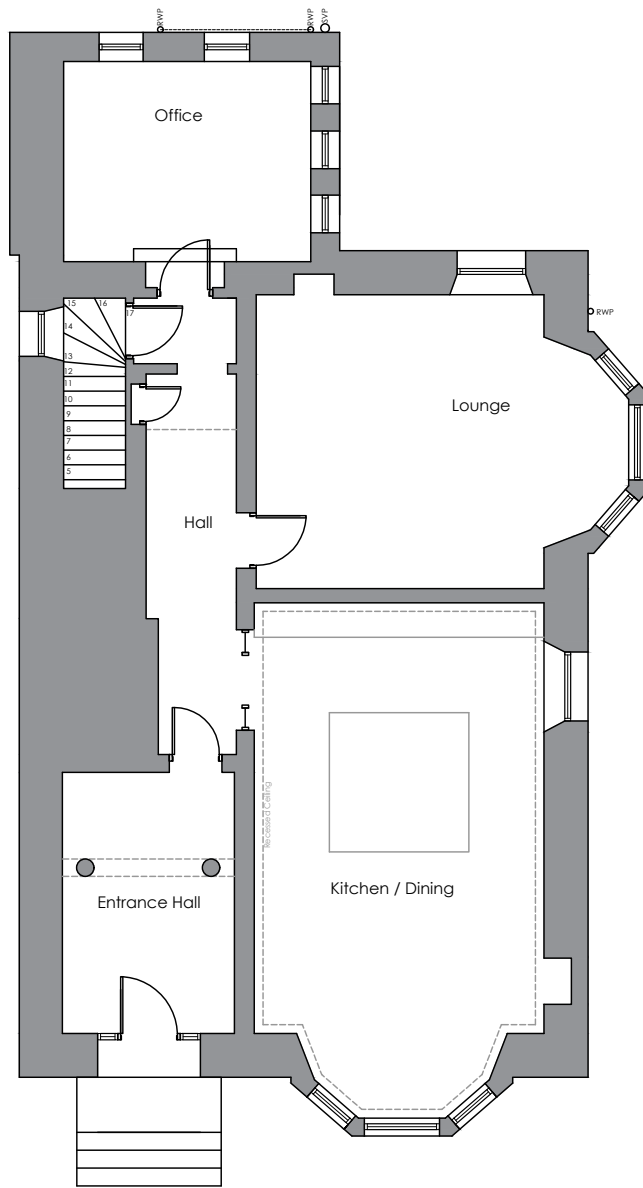
Circa 1875. Astylar terrace of 6 2-bay houses; 3 storeys, attics and basement. Polished ashlar, droved at basement, stonecleaned or painted.

Steps oversailing basement to architraved consoled corniced doorways, door with glazed side and fanlights. Above door, architraved consoled and corniced window. To right 2-storey 3-light canted bay window rises from basement; 2nd floor windows architraved with bracketted cills. Sash windows plate glass glazing; leaded upper sashes at No 47. Continuous band course over ground; string-course at 2nd floor lintels.

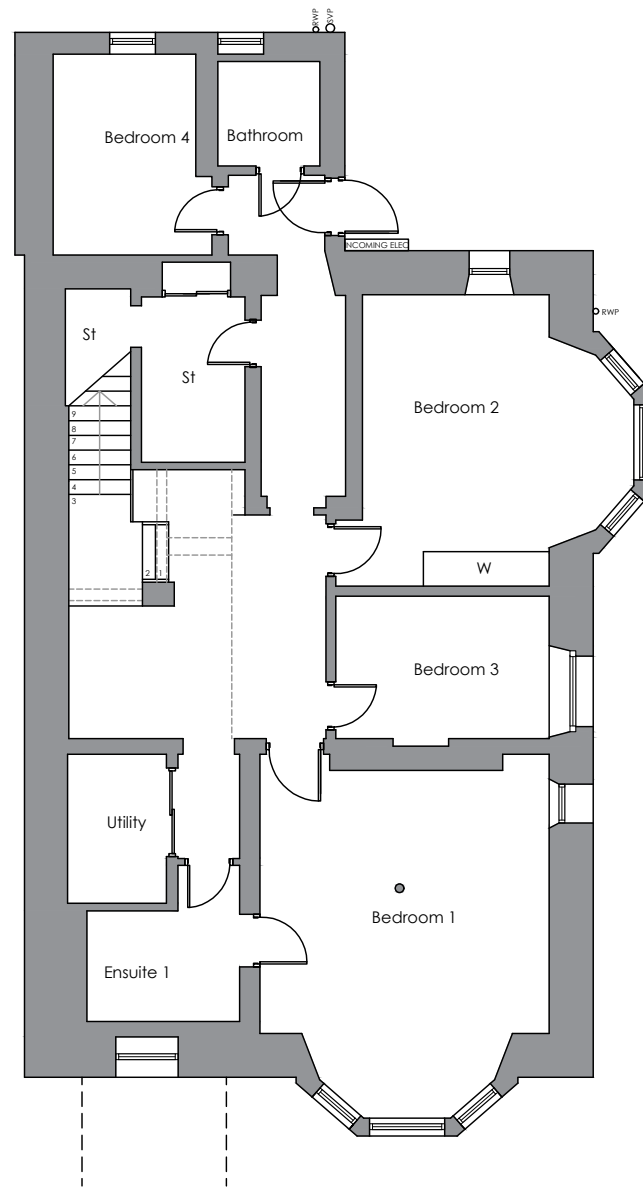
Mutule cornice to end houses, otherwise plain cornice. End houses have individual piended platform roofs and dormers. Axial stacks, slate roofs. Flanks with similar details. Droved ashlar rear, mainly 4-pane glazing. Various types of cast-iron railings to steps and basement some modern. Good leaded glass vestibule door to No 47.



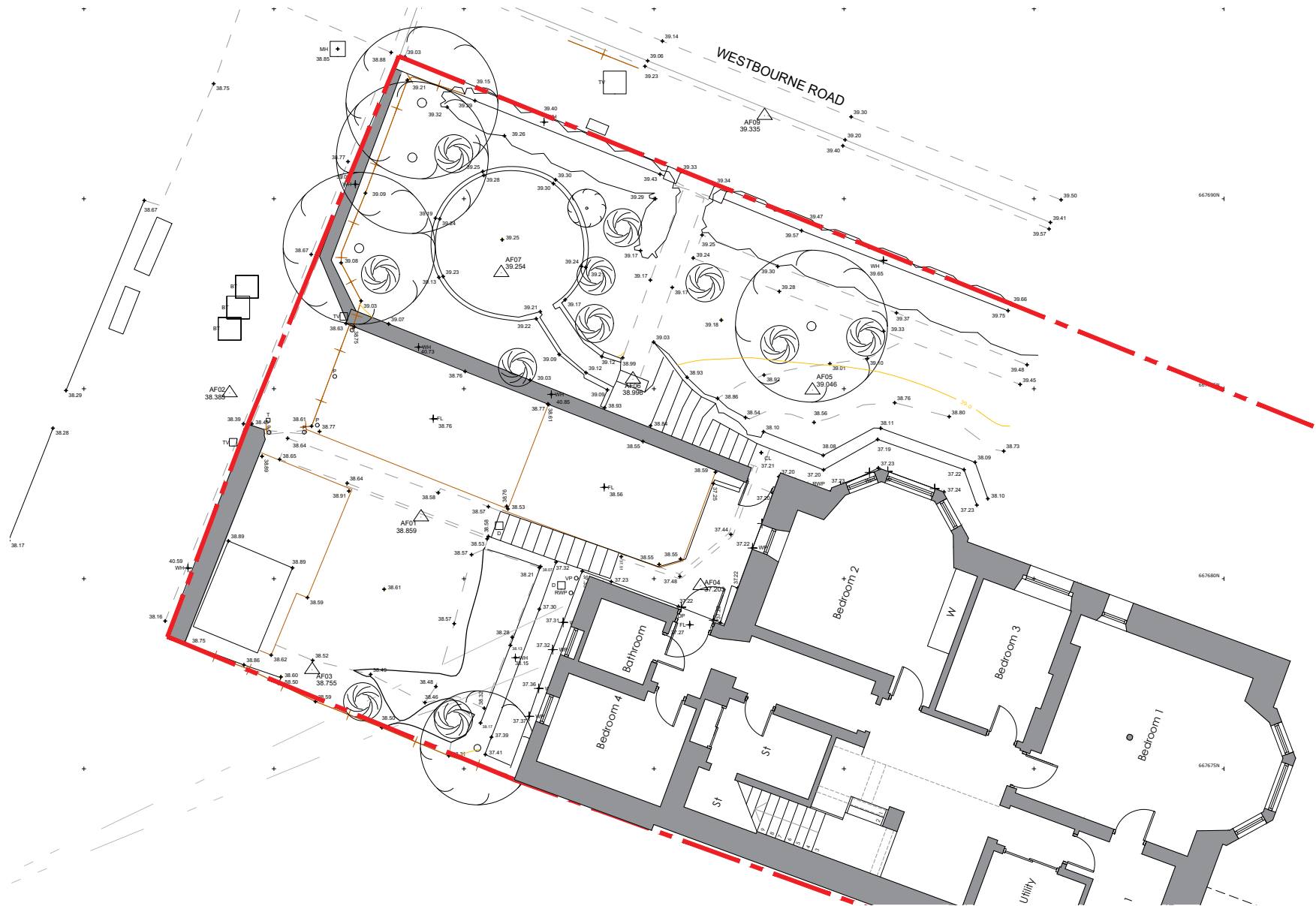
Location Plan



Existing Ground Floor Plan



Existing Lower Ground Floor Plan



Existing Lower Ground Floor and Topographical Survey



Views from Westbourne Road



Views from Westbourne Road



Views of existing boundary to Westbourne Road



Views of existing boundary to Westbourne Road



Existing Garden - Bunkers and Decking



Existing Garden - Wall looking North



Existing Garden - North side of wall



Existing Garden - Wall looking South



Existing Ground Floor Lounge



Existing Ground Floor Kitchen



Existing Ground Floor Lounge



Existing Ground Floor Study



Existing Lower Ground Floor Hall



Existing Lower Ground Floor Hall



Existing Lower Ground Floor Bedroom 4



Existing Lower Ground Floor Bathroom

Planning History

In June 2023, GBA submitted a pre-application (reference: 23/01546/PRE) for a proposal for this property. The project was put on hold by the clients who have since re-visited the design and wanted to update it.

The previous proposal included the following:

a) Removal of stone garden wall which currently divides the garden.

Agreed in principle as part of extension proposal.

b) Formation of small extension at lower ground floor which will include a partial rebuild of the stone wall as the elevation facing onto Westbourne Road.

Agreed in principle as 66% of useable private garden space remains. Roof should generally be pitched but flat acceptable on high quality design (green roof proposed).

c) Updated garden design to form patio area at lower ground level along with new retaining walls to allow formation of the same. Introduction of garden room to house gym / 'home office'.

Agreed in principle as 66% of useable private garden space remains. Garden room would sit within rear garden and design in in keeping with traditional garden sheds.

d) Existing window to ground floor lounge altered to doorway providing access over roof of extension and into garden – note the head and jambs of this opening will remain.

Agreed in principle subject to detail design of door.

e) Internal alteration to form opening between existing kitchen and lounge on ground floor.

Agreed in principle subject to opening being no higher than door height subject to detail design.

f) Internal alterations to remove existing bathroom and form new slapping into extension.

Agreed in principle that the removal of parts of the bathroom walls to create a larger room with the newly formed extension provided that further details around this are submitted.

g) Re-configuration of lower ground floor hall to form new shower room.

No comments.

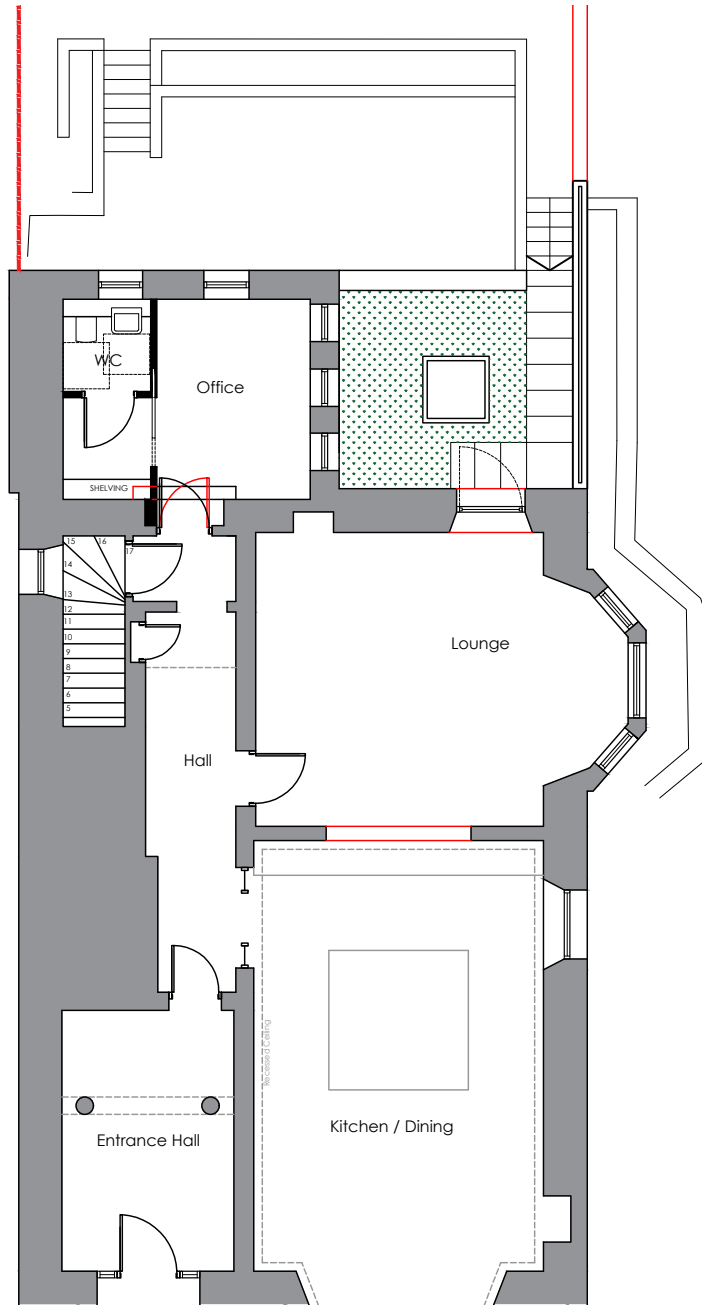
h) Formation of WC within room currently utilised as office on ground floor level.

Agreed in principle subject to further detail noting that this room is already not original and may have lowered ceiling.

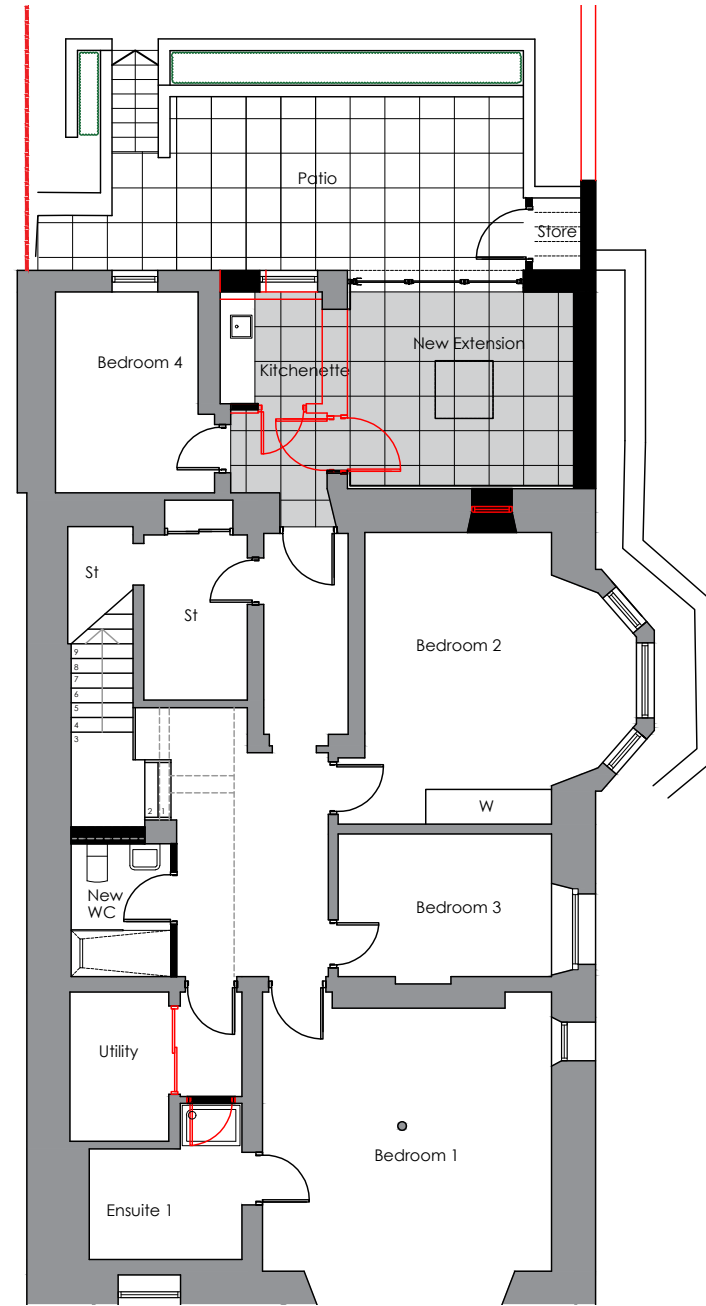
Previous Applications

The property has had previous planning applications with the following proposals:

- Internal alterations including combining the lounge and dining room on the ground floor to be an open plan kitchen/dining room. Existing kitchen to rear of property became family room. Date: September 2014; Application reference: 14/02035/DC.
- Doorway added from master bedroom to bathroom to form ensuite. Date: October 2007; Application reference: 07/03275/DC.
- Installation of new steel/timber deck and enlarge existing window openings to create new patio door access from kitchen. Date: February 2005; Application reference: 05/00417/DC.



Pre-App Proposal: Ground Floor Plan



Pre-App Proposal: Lower Ground Floor Plan

Visuals for Pre-App Proposal



Garden from the South



Internal view of potential extension



External view of potential extension



Garden from North West

Revised Design Proposal

This design statement document seeks to explore the impact of proposed alterations to the flatted property at 47 Westbourne Gardens. The property is accessed via the main door onto Westbourne Gardens and occupies the ground floor and lower ground floor of the Grade B listed terrace. The property also has ownership of all the garden area and has no shared access rights.

The garden space is currently accessed via a door on the lower ground floor at the rear of the property, with the gardens space split in two by a stone wall which runs in line with the elevation facing onto Westbourne Road. There are two large 'bunker' structures adjacent to the wall which are currently capped with a timber deck. At the base of the wall there is a small doorway which provides access to the northern portion of the garden.

The Applicant is seeking to improve the usable garden space by opening up the two areas with removal of the stone wall whilst also improving the access to this space. They're also looking to move the kitchen from the ground floor to the lower ground floor.

The main points for consideration are noted as follows:

- Re-build of stone garden wall which currently divides the garden.
- Formation of extension at lower ground floor which will include a partial rebuild of the stone wall as the elevation facing onto Westbourne Road.
- Relocation of kitchen/dining from ground floor to extension at lower ground floor. Existing kitchen to become lounge with ceiling re-installed with removal of suspended ceiling feature.
- Existing lounge to become master bedroom.
- New boot room to be formed within extension to lower ground floor and new snug to be created in existing bedroom 4/bathroom.
- Updated garden design to form patio area at lower ground level along with new retaining walls to allow formation of the same.
- Internal alterations to remove existing bathroom and form new slapping into extension.
- Re-configuration of lower ground floor hall and utility to form new shower room. Store on lower ground floor to be made a utility room.
- Formation of WC within room currently utilised as office on ground floor level.

As the property faces both Westbourne Gardens and Westbourne Road the proposals seek to minimise the appearance of the extension by retaining the line of the existing stone wall. This will require to be re-built as the wall is currently in poor condition and cannot be retained in its current condition. The extension will sit primarily below street level and with the formation of the stone wall and the existing property boundary to Westbourne Road, will not be visible from the street.

The works to form the altered garden spaces are all behind the line of the existing stone wall and per the extension proposals will not be visible from the street due to the existing levels and boundary conditions.

We trust that these proposals will be viewed open favorably.

Existing fence to be taken down and replaced with straight fence in-filling gap in wall

Stand-alone garden room/shed

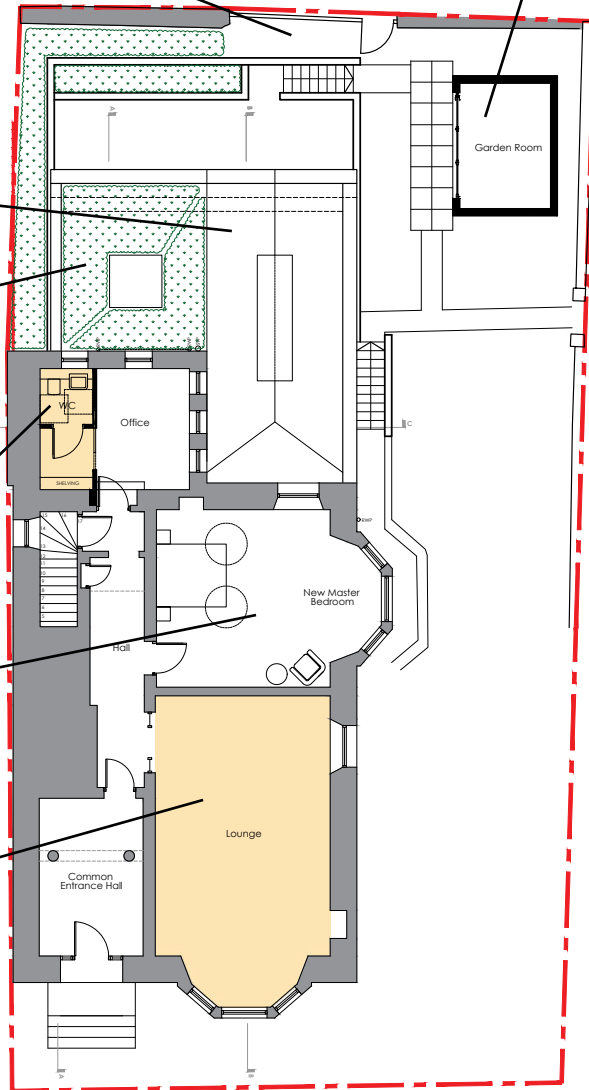
Pitched, slate roof

Sedum green roof system

Formation of WC within room currently utilised as office

Existing lounge to become master bedroom

Existing kitchen to become lounge with ceiling re-installed with removal of suspended ceiling feature.



Proposed Ground Floor Plan

Re-build of stone garden wall which currently divides the garden

New slapping to be formed at existing windows to create doorway into extension

New snug to be created in existing bedroom 4/bathroom

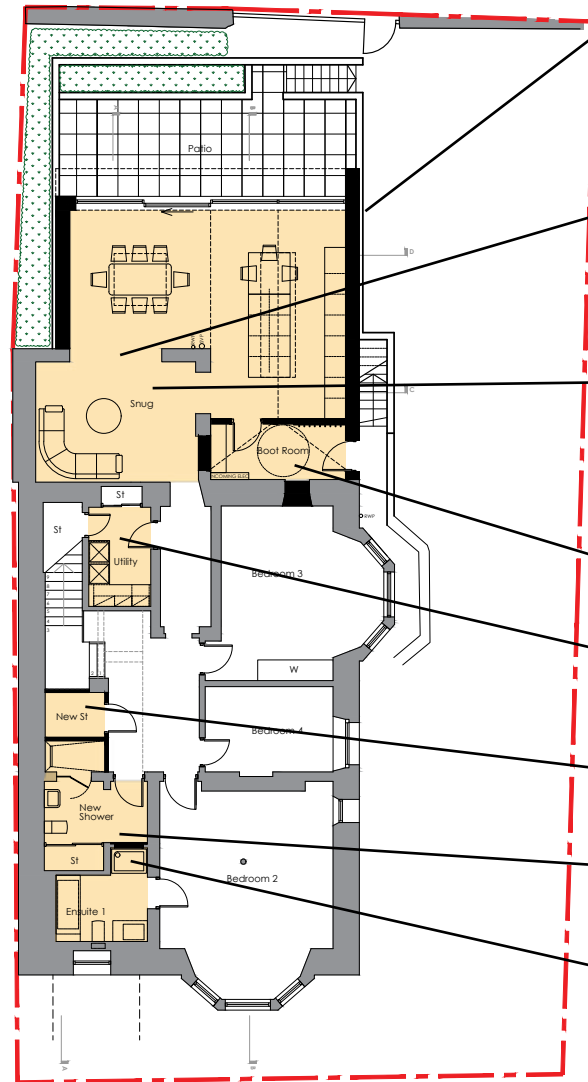
New boot room to be formed within extension

Existing store to become utility

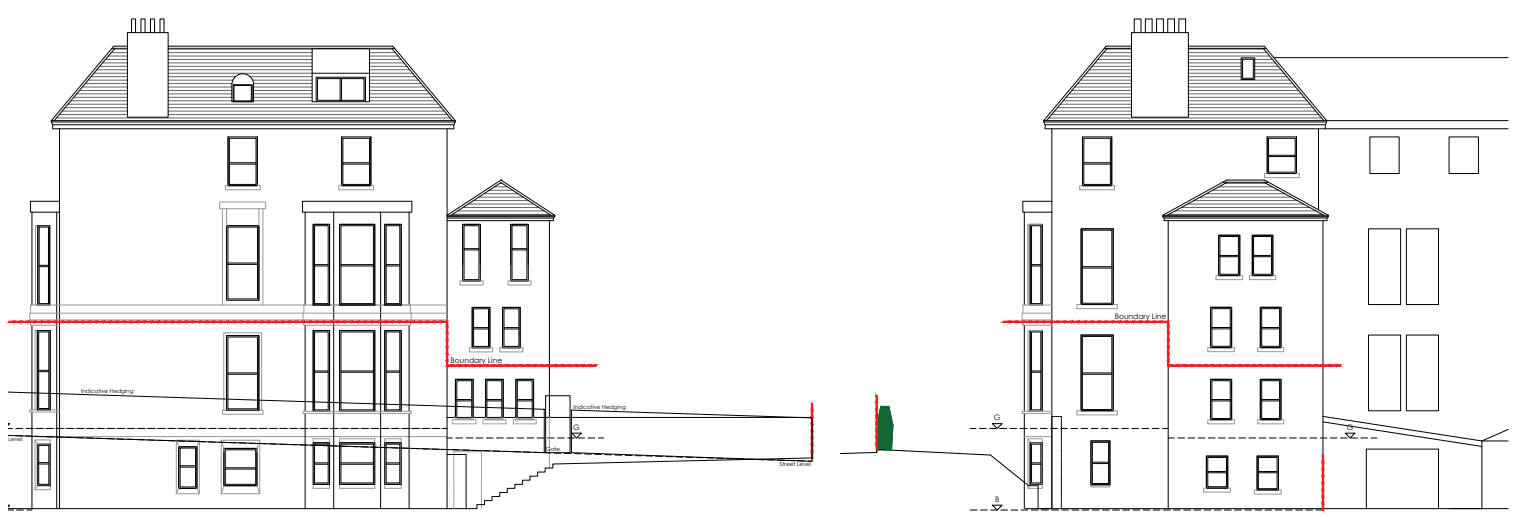
New store to be formed in hall

Existing utility to become shower room

Doorway to be blocked up and shower to be added



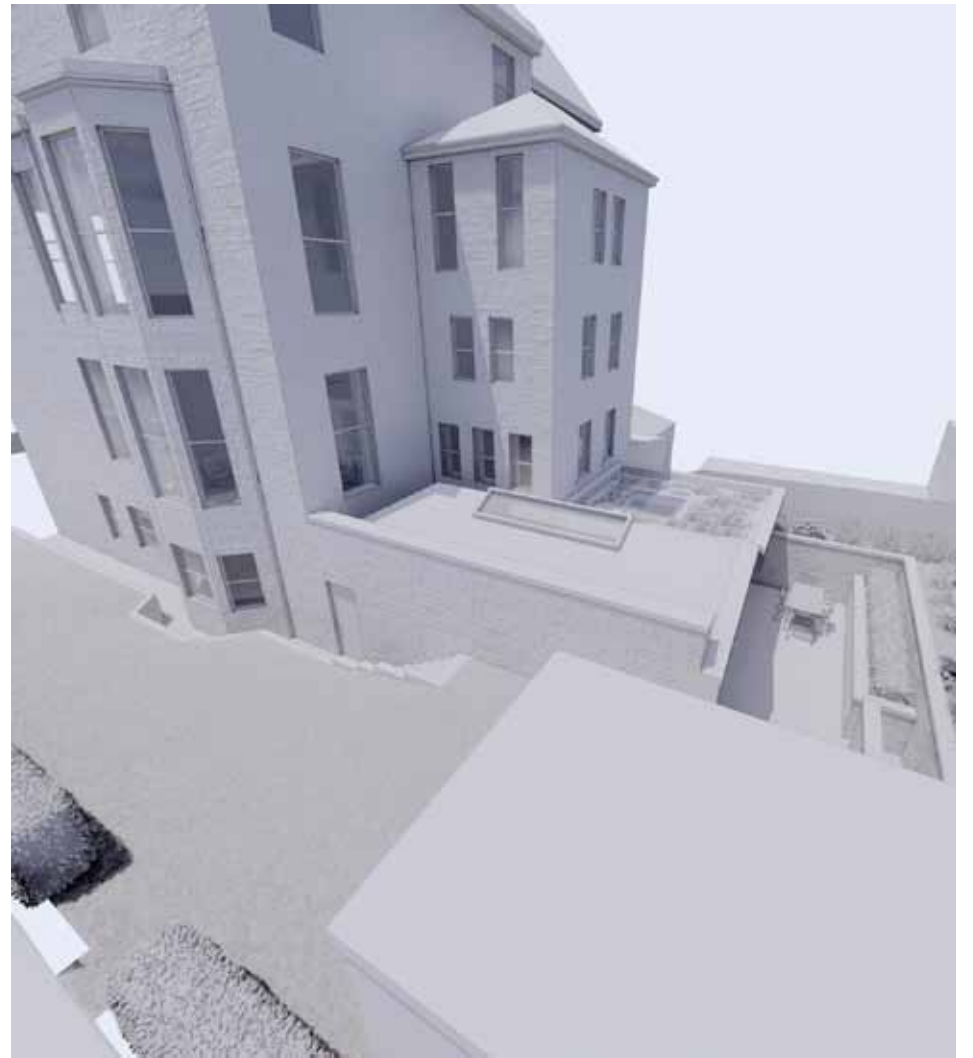
Proposed Lower Ground Floor Plan



Existing Elevations



Proposed Elevations



External Views of Extension



Section Views of Extension





Exterior View from Garden



Exterior View from Garden

Material Choices



Natural Stone

- Blonde sandstone finish to fin wall and public side of extension.



Feature Flat Roof Light

- Large feature roof light over extension to draw light down into the building.



Green Roof

- Green roof finish as flat roof will not be acceptable in Conversation Area.



Facing Brick

- Blonde sandstone finish to fin wall and public side of extension.



Slate Roof

- Tiered retaining structure to allow formation of patio space. Tiered approach allow for planting bed and avoid need for protective barrier.



Feature Ridge Roof Light

- Large feature roof light over extension to draw light down into the building.



Retaining Wall / Planter

- Tiered retaining structure to allow formation of patio space. Tiered approach allow for planting bed.

Glasgow City Development Plan

The City Development Plan is the new statutory Local Development Plan for Glasgow.

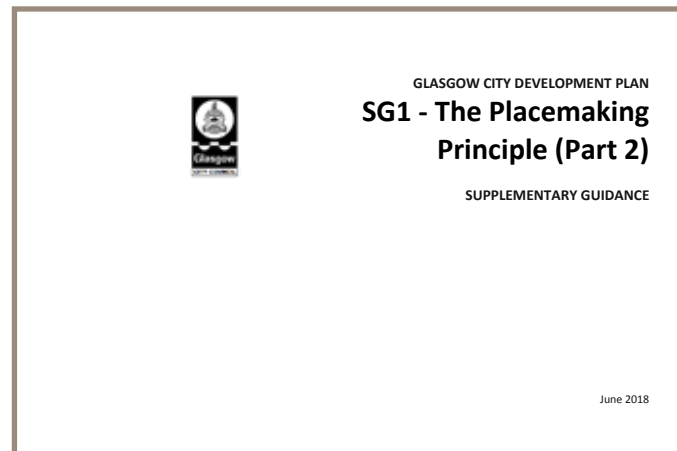
Contained within the plan are various Supporting Documents providing Supplementary Guidance. These incorporate guidance and/or design advice to support the various policies.

The Policies and Supplementary Guidance most relevant to this application are:

CDP1 THE PLACEMAKING PRINCIPLE
CDP 9 HISTORIC ENVIRONMENT

and

SG1 THE PLACEMAKING PRINCIPLE
SG 9 HISTORIC ENVIRONMENT



SG 1 The Placemaking Principle

RESIDENTIAL DEVELOPMENT ALTERATIONS TO DWELLINGS AND GARDENS

2.1 This guidance sets out the planning requirements for alterations to dwellings and gardens for particular types of householder developments, such as extensions. It outlines the criteria that must be met in relation to, for example design and materials, privacy and overlooking and daylighting and sunlight. It seeks to ensure that extensions and alterations to houses and flats are carefully designed, so that the visual amenity of residential buildings and areas is not adversely affected by over-dominant extensions and that residential amenity is not reduced e.g. by the excessive reduction of useable private garden space or a loss of privacy. To ensure the visual amenity of residential streets, the Council will also, where it is able, seek to limit the areas of front gardens given over to car parking. For further information regarding the importance of understanding the context of a development, see also SG1 - Placemaking, Part 1 - Integrating Placemaking Within the Development Plan Context.

2.2 For dwellings which are listed buildings, or are located inside a conservation area, applicants will have to meet additional requirements, as set out in SG9 - Historic Environment.

2.3 Design and Materials (see also SG1 - Placemaking, Part 1 and SG1 Part 2, Detailed Guidance - Building Materials) - Good design improves quality of life. Well-designed homes and neighbourhoods create better and healthier places to live, builds

strong communities and can reduce crime, improve energy efficiency and provide homes that keep their value over time. Well-designed environments go further than the minimum. They enhance the sense of well-being, enable healthy lifestyles and create delight. The following guidance applies:

a) the siting, form, scale, proportions, detailed design and use of materials should be in keeping with the existing building and wider area;

b) high quality innovative design is encouraged where it will complement the property;

c) extensions and other alterations to dwellings should be designed so they do not dominate the existing building, or neighbouring buildings; and The proposals seek to minimise the appearance of the extension by retaining the line of the existing stone wall. The extension will sit primarily below street level and with the formation of the stone wall and the existing property boundary to Westbourne Road, will not be visible from the street.

d) external materials should reflect the character of the original building and the street and the windows and doors in an extension should match those of the existing property.

In accordance with the principles of 'New Design in Historic Settings', (2010) - our proposals for extension are different and distinguishable

from the existing building, in terms of design. In addition the highest quality materials are specified.

2.4 Front to Rear Access

N/A no change to access

2.5 Usable Private Garden Space - The following guidance applies:

A minimum of 66% of the original useable private garden space (see Definition) should be retained in all house plots after extensions, garages, and outbuildings, etc., have been built, to avoid over-development of the site. Adequate car parking shall be maintained within the curtilage of the property after any extension or structure is erected.

Original garden size 328.7 Sq M

Reduced garden size 274.6 Sq M

Percentage retained is 84%

2.6 Privacy and Overlooking -

The proposals do not change elevated windows.

2.7 Exceptions to these distances may be made in situations where windows are at an angle to each other, or, for ground floor rooms, effective permanent screening either exists, or can be erected. Decking is unlikely to be acceptable where, if there is a requirement for the erection of new permanent screening, the screening itself would have a detrimental impact on residential amenity.

The proposals do not change elevated windows.

SG 1 The Placemaking Principle - con't

2.8 Daylighting and Sunlight - Extensions to properties may cast a shadow over a neighbour's house or private garden that reduces their daylight or sunlight, and therefore adversely affect their amenity.

2.9 Extensions should not cause a significant loss of daylight to any habitable room (see Definition) of neighbouring properties, or significantly block sunlight to adjacent private gardens. There should be no significant adverse impact on either existing adjacent properties, or the proposed accommodation.

2.10 The Building Research Establishment (BRE) document 'Site Layout Planning for Daylight and Sunlight: A Guide to Good Practice', second edition (PJ Littlefair, 2011) will be used to assess any impact on daylight or sunlight.

2.11 Where deemed necessary, applicants shall be required to provide the following assessments as detailed within the BRE guide to good practice:

a) single storey extensions will be assessed using the 45° test. Failure on both the elevation and plan would result in a significant loss of daylight to the habitable rooms in the neighbouring house and will not be acceptable

The extension will sit primarily below street level and with the formation of the stone wall and the existing property boundary to Westbourne Road, will not be visible from the street.

b) two storey extensions, or larger, shall be assessed for their impact on habitable rooms of neighbouring properties using the 'Vertical Sky Component'; and

N/A No two storey extensions proposed.

c) the impact of extensions on private garden ground should be assessed, where considered necessary, using the 'Calculation of Sun on the Ground' test. Applicants should submit this information where requested using three points in time: 9a.m, 12midday and 3pm, for the Spring Equinox. The impact of the original dwellinghouse must be shown at these times as well as the impact of the proposed extension, to see whether the proposed extension will significantly increase the effect on neighbouring property.

The extension is on the lower ground floor and will sit primarily below street level, therefore it will not affect its neighbouring property, 46 Westbourne Gardens.

2.12 Extensions - Extensions should generally have a pitched roof, should not project in front of the building line (see Definition), should relate to the design of the original dwellinghouse, and should be subordinate to the original dwelling house in scale and design. Flat roofs on single storey extensions, if a high quality modern design, may be considered as long as the scale and design are appropriate for the existing dwelling.

2.13 One and a Half and Two Storey Extensions - a) Side Extensions

N/A no side extension proposed.

2.18 Conservatories -

N/A No conservatory proposed

2.19 Decking -

N/A No decking proposed

2.20 Extensions and Alterations to Flats -

N/A No flats involved

2.21 Access from Flats to Communal Backcourts and Gardens -

N/A No flats / communal backgarden

2.22 Re-Roofing -

N/A No re-roofing proposed

2.23 Conversion of Garages to Living Accommodation -

N/A No garage conversion proposed

2.25 Front Garden Parking

N/A No change to parking proposed

2.26 When such development is considered acceptable:

N/A No change to parking proposed

2.27 Development is unlikely to be supported where:

N/A No change to parking proposed

2.28 In terms of other legal requirements...

N/A No change to parking proposed

2.29 Access Ramps -

N/A No ramps proposed

2.30 Metal ramps...

N/A No ramps proposed

2.31 Fences and Walls - In some cases planning permission is not required for fences and walls. Where permission is required, generally in front of houses or bounding a road, the following guidance applies:

a) in front gardens, where privacy is less of a consideration, walls and fences should not exceed 1 metre in height; and

N/A no fences/walls proposed in front garden.

b) in rear gardens, where a level of privacy can be expected, walls and fences up to 2 metres are acceptable

Existing stone wall to be re-built as the wall is currently in poor condition and cannot be retained in its current condition.

Existing fence between gap in wall on rear boundary to be taken down and replaced with straight fence at same height.

2.32 Exceptions may be made in areas where higher garden boundaries are the established pattern.

Existing stone wall to be re-built as the wall is currently in poor condition and cannot be retained in its current condition.

Existing fence between gap in wall on rear boundary to be taken down and replaced with straight fence at same height.

2.33 Ancillary Garden Structures (Garden Sheds, Pigeon Lofts etc) –

N/A No ancillary garden structures proposed

2.34 Pigeon lofts ...

N/A No ancillary garden structures proposed

2.35 Waste/Recycling Stores -

N/A No waste recycling stores proposed

2.36 To minimise smell and noise nuisance, bins...

N/A No change to bins proposed

SG 9 Historic Environment

DESIGN GUIDANCE FOR LISTED BUILDINGS AND CONSERVATION AREAS

2.37 Solid Fuel Stoves and Chimneys or Flues -
N/A No chimney or flue proposed

2.6 All detailed guidance in relation to Listed Buildings should be read in conjunction with SG1: The Placemaking Principle.

Please refer to previous text relating to SG1

2.7 All works to Listed Buildings must be carried out in a way which protects their character as buildings of special architectural and historic interest. Building maintenance is the responsibility of its owner.

2.8 There is a presumption in favour of the retention of all Listed Buildings. Listed Buildings must be allowed to adapt to new uses and the Council will respond favourably to creative ideas and good design, in order to ensure their retention, subject to other policies in the Plan and supporting SG, particularly Placemaking.

2.9 The Council encourages the sensitive alteration and extension of Listed Buildings where this will not harm their special interest. To this end, proposals for the alteration of a Listed Building must:

a) respect the original layout and plan form of the building;

The proposals respect the original layout and plan form of the building.

Principal rooms on upper floors are retained, whilst smaller ancillary rooms to the lower ground floor are reconfigured to allow the formation of an open plan kitchen dining space.

b) not result in the loss of historic fabric, including fixtures and fittings, which contribute to the building's special interest;

External downtakings include small portion of wall, 3 windows and rear door.

Rear windows for existing bedroom 4 and bathroom to be combined to create slapping for doorway into extension. Stone to be exposed with new stone lintel over; jambs retained.

Window for existing bedroom 2 to be in-filled.

c) incorporate detailed design and traditional materials which reflect or complement the period, style and architectural character of the building;

In accordance with the principles of 'New Design in Historic Settings', (2010) - our proposals for extension are different and distinguishable from the existing building, in terms of design. In addition the highest quality materials are specified.

d) replace missing traditional features, such as period doors or decorative plasterwork with good quality replicas of the originals;

Ceiling in existing kitchen to be re-installed with removal of suspended ceiling feature.

e) follow further detailed guidance for repairs, alterations and extensions; and

The West End Conservation Manual shall be referred to where any fabric repairs are required.

f) seek advice at the outset as to whether the project will give rise to any archaeological issues. Advice sought from GCC Heritage and Design.

Extensions

2.60 All extensions will, firstly, have to meet the standards set out in SG 1: The Placemaking Principle - Detailed Design Guidance on Development Affecting Residential Property. In order to safeguard the quality of Listed Buildings and properties in Conservation Areas, the detailed guidance set out below will apply to all buildings in residential, commercial or other uses.

2.61 Proposals for the extension of a Listed Building must ensure that:

a) the scale is subservient to the original building; The scale of the extension is subservient to the original building

b) its location, design, scale, massing and proportion protects the building's appearance, character and setting; and

The extension is proposed to the rear elevation. In accordance with the principles of 'New Design in Historic Settings', (2010) - our proposals for extension are different and distinguishable from the existing building, in terms of design. In addition the highest quality materials are specified.

SG 9 Historic Environment: EXTENSIONS

c) the detailed design and use of materials complement the building's period, style and character. Developers/applicants should seek advice on materials from the Council; and In accordance with the principles of 'New Design in Historic Settings', (2010) - our proposals for extension are different and distinguishable from the existing building, in terms of design. In addition the highest quality materials are specified.

d) advice is sought at the outset as to whether the project will give rise to any archaeological issues.

Advice sought from GCC Heritage and Design

2.62 In accordance with the principles of 'New Design in Historic Settings', (2010) - it may be acceptable for additions to be different and distinguishable from the existing building, in terms of design. The use of high quality materials which complement the main building will be required together with innovative modern design that is appropriate to its context. In some cases however it may be appropriate to match the new proposals to the existing, in which case the new materials should be carefully specified in response to those of the original property.

2.63 Extensions should be located to the rear or side of the property. Extensions should not protrude beyond the front elevation of the existing building. The setting back of extensions will be encouraged.

The extension is proposed to the rear elevation.

2.64 Any extensions to a Listed Building, or its ancillary buildings and properties within Conservation Areas should be subsidiary in scale, sympathetic in design, reflect and respond to the character of the Listed Building and/or Conservation Area and not dominate the original property. Within this context, high quality innovative modern design will be encouraged.

The scale of the extension is subservient to the original building.

The form of the extension is a contemporary take on the existing rectilinear projections of the original terrace, whilst the materials specified contrast those of the original building. This is in accordance with the principles of 'New Design in Historic Settings', (2010)

2.65 Materials should complement those of the existing property in terms of their colour, texture and scale.

the materials specified contrast those of the original building. This is in accordance with the principles of 'New Design in Historic Settings', (2010)

2.66 In the case of a traditionally designed extension - windows should match those of the existing property however alternative fenestration may be considered appropriate in the case of contemporary designs.

A contemporary extension is proposed.

2.67 Roofs should be ridged or mono-pitched. Flat roofs should be avoided unless the intention is to provide a green roofing system or the design is integral to an overall approved contemporary design.

The roof of the proposed extension has both a flat and pitched slate roof. The flat roof will incorporate a green, sedum roofing system.

2.68 Extensions should not disrupt the established plot pattern and should preserve or enhance all other key characteristics of the conservation area or site.

The extension will sit primarily below street level and with the formation of the stone wall and will preserve key characteristics of the site.

2.69 Balconies - The introduction of a new balcony including Juliet or Paris balconies to any elevation of a listed building is unlikely to be considered acceptable. Balconies on unlisted buildings within conservation areas are, generally not encouraged. Where they do form part of a proposal they should not detract from the appearance of a building or disrupt the architectural unity of a group of buildings. Nor should they impact on residential amenity, by overlooking.

No external balconies proposed.

2.70 Conservatories - Existing Victorian or Edwardian greenhouses/conservatories are important original features and should be retained and repaired. Most of these structures were built in timber and cast iron with base walls in stone or brick. Although many modern conservatories aim to achieve a Victorian style, the slim moulded frames and glazing bars are almost impossible to replicate with modern materials such as uPVC.

No conservatory proposed.

2.71 Proposals for conservatories on Listed Buildings should respect the period and scale of the property.

It should be located on an elevation well screened from public view such as from a road, a park, allotments or playing fields, and should be constructed in traditional materials with wood or metal work painted. Base walls should be finished to match the materials of the wall to which they are attached. uPVC as a framing material is not acceptable.

No conservatory proposed.

2.72 Proposals for conservatories on unlisted buildings within Conservation Areas should respect the period and scale of the property. It should be located on an elevation well screened from general public view, and should be constructed in traditional materials with wood or metalwork painted. Base walls should be finished to match the materials of the wall to which they are attached. Only if the conservatory is located on an elevation that is completely screened from public view, may the use of uPVC as a framing material be considered.

No conservatory proposed.

2.73 Porches - Existing Victorian/Edwardian porches should not be infilled. A new porch may be acceptable, where it would not detract from the design of the original building or the character of the street. Design and materials should respect the character of the existing building. Porches should be painted to match the colour scheme of the dwelling.

No porch proposed.

2.110 Glasgow contains a large number of fine period interiors, many of which have been subjected to a number of unsympathetic alterations over their lifetime. While many rooms and other areas within buildings have survived intact, it is essential that any proposed new interventions preserve and enhance the most significant interior spaces and detailing including principal apartments, main corridors, entrance areas and stairwells, and decorative plasterwork (cornicing, ceiling roses and any other features), marbled fireplaces, panelled doors (integral architraves and cornices), vestibule doors, timber and stone stairs, handrails, balusters, newel posts, stairwell and room skylights, lantern lights, room and window panelling, close tiles, mosaic floors, and stained or etched glass. As a result of changing circumstances, the uses for which some Listed Buildings were designed are now obsolete. In consequence, conversion schemes which preserve and enhance the features which preserve the essential historic character of the building may be acceptable providing they are consistent with the following:

2.111 In terms of circulation and access, the following guidance applies:

a) existing access arrangements between basements and upper floors should be preserved or re-established;

Existing access between basement and ground floor retained as original.

b) the preservation or reinstatement of circulation spaces including corridors, interior halls and landings and all associated original detailing is encouraged, with any proposed alterations to be submitted in detail for assessment; and

Existing hallways and landings retained as original retained as original.

c) original doors, including associated hoods and architraves, should be preserved or reinstated, wherever possible. Where doors within an original principal circulation space are proposed to be infilled, the original doors should be retained in-situ as mock doors with original detailing retained to communal areas.

No doors to the original principal circulation space are proposed to be removed.

2.112 In terms of the arrangement of rooms, the following guidance applies:

a) original front and rear rooms, and other principal spaces, should be left intact or reinstated, if previously subdivided. There can be exceptions to this at basement and attic levels, or within original utilitarian spaces such as cupboards and service areas such as plant rooms, where there is little or no significant historical and architectural detailing. Exceptionally, subdivision of rear rooms may be permitted;

Original front and rear rooms to upper floors remain intact.

Alterations to Lower Ground floor involve removal of walls to ancillary spaces.

b) sub-division of rear rooms may be acceptable providing the front and rear rooms were not designed as a suite. A new partition erected in a rear room should incorporate original detailing including skirtings, cornices and all other detailing to match that within the existing room. Subdivision of a principle rear room that greatly reduces its scale is unlikely to be acceptable;

No subdivision proposed.

c) linkages/openings between principal rooms and spaces may be permitted where the proportion and design of the proposed opening is deemed to be appropriate. The maximum size of the opening is normally considered to be that of a double door;

N/A No linkages/openings between principle rooms proposed.

d) original L-shaped rooms at first floor level in residential properties should be preserved or reinstated; and

N/A No L-shaped rooms featured in property.

e) original decorative ceilings should be preserved or exposed and reinstated.

Original decorative ceilings retained as original.

2.114 All proposals to convert or subdivide property for residential use will have to meet the standards set out in SG 1 - The Placemaking Principle, Detailed Guidance on Development Affecting Residential Property.

No subdivision or conversion proposed.

2.115 In dealing with proposals affecting Listed Buildings, the need to safeguard the architectural character and integrity of the building imposes special considerations. Therefore, proposals should:

a) offer good quality accommodation while preserving historic character;

High quality domestic accommodation is proposed.

b) have kitchens and bathrooms situated towards the rear of the building so that pipes or ducts do not disfigure the front elevation or the interior; ensure that any necessary venting is either to a roof valley or to an inconspicuous location to the rear of the building and painted out (no vents should be fitted into glazed areas); Relocated kitchen located to rear of property.

An internal shower room is proposed at Lower Ground Floor near front of property. All ventilation ductwork shall be carefully routed within the floor space to a suitable, discreet position on the elevation.

c) have entry phone systems fitted in the door reveal, rather than on the face of the building; and

No entry phone system proposed.

d) provide television services by a communal satellite dish or aerial, located out of sight from the street.

No television service proposed.

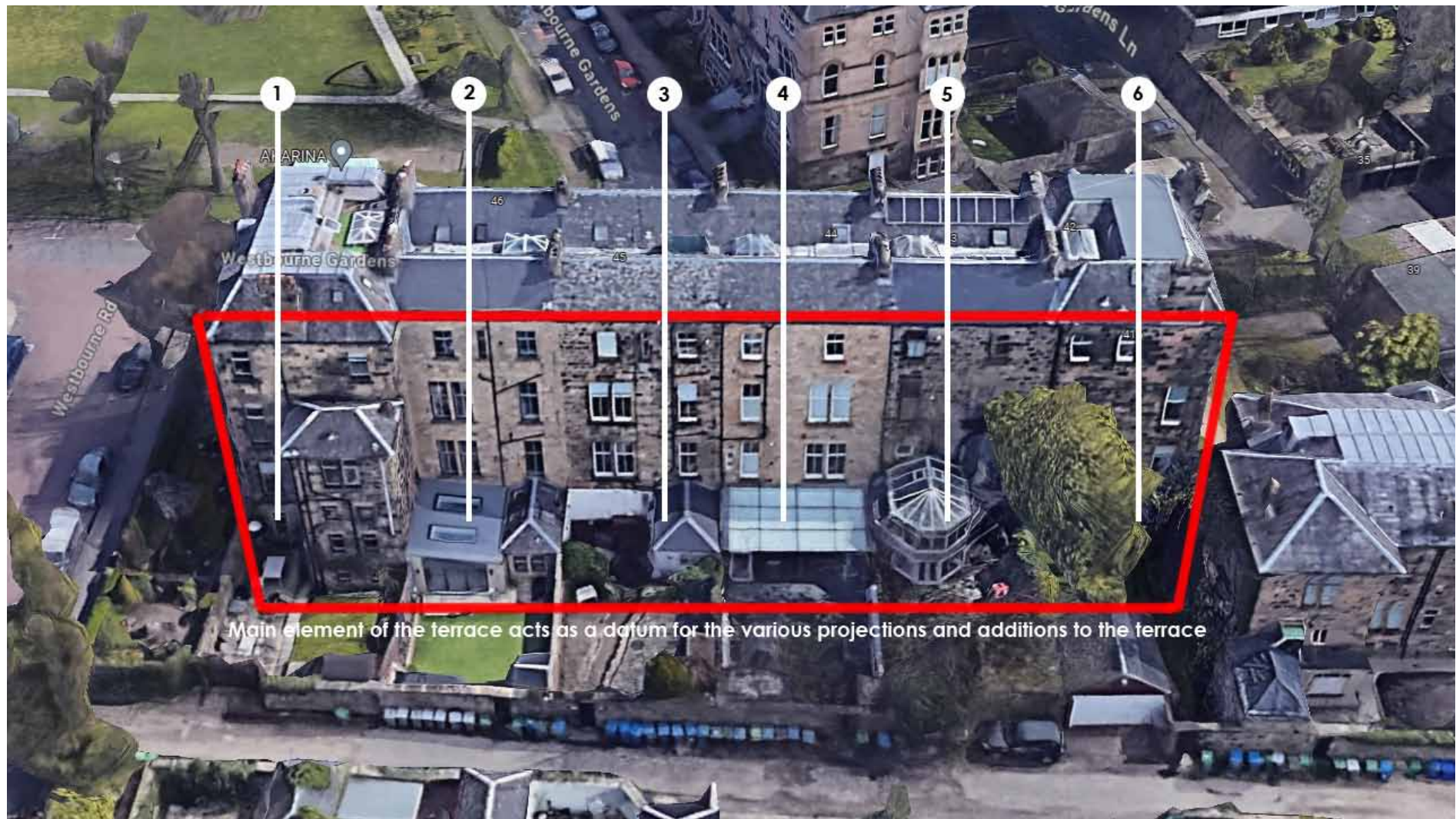
2.116 Developers should discuss the proposal (including compliance with the Building Regulations in full) with the Council N.B. Proposals should also take into account the requirements of the area specific guidance set out within this document.

N/A

2.117 Some internal alterations to Listed Buildings may require archaeological standing building recording work during the alterations. Advice as to whether or not this is the case should be sought at the outset of any project.

N/A

Previous Alterations to the Terrace



The rear of the terrace has a variety of extensions / appendages. However, the main body of the terrace acts as a datum, preventing these elements from dominating the terrace. These elements are noted as follows:

1. Single Storey Extension Proposal.
2. Two Single Storey Extensions. Left hand extension has a contemporary design, however it doesn't affect the setting of the listed terrace.
3. Single Storey Extension. This pitched-roof extension is dwarfed by the rest of the terrace.
4. Single Storey Extension. This extension spans the width of the property, however it is not large enough to detract from the terrace as a whole.
5. Single Storey Conservatory. This pitched-roof conservatory is dwarfed by the rest of the terrace.
6. No extension at this property.

The single storey extension at 47 Westbourne Terrace would not be the largest element added to the rear of the terrace. As a result, it would not detract from the setting of the listed terrace as a whole.

Conclusion

The applicants love this magnificent, period property, having invested significant time and funds restoring architectural features, damaged or covered up by previous development. They now wish to invest further and are seeking to improve the functionality of the property whilst improving links to the south facing garden.

Design proposals have been developed generally in accordance with the Glasgow City Development Plan. Where departures from the plan are proposed, material considerations have been illustrated.

Whilst the proposed amendments to the Lower Ground are substantial, they are located in the area of the building where very few architectural features remain.

Overall, the proposals seek to ensure this wonderful property is preserved whilst providing a fantastic family home, fit for the 21st Century.

We would therefore seek support from the council with a view to obtaining Planning and Listed Building Consent.





gba