








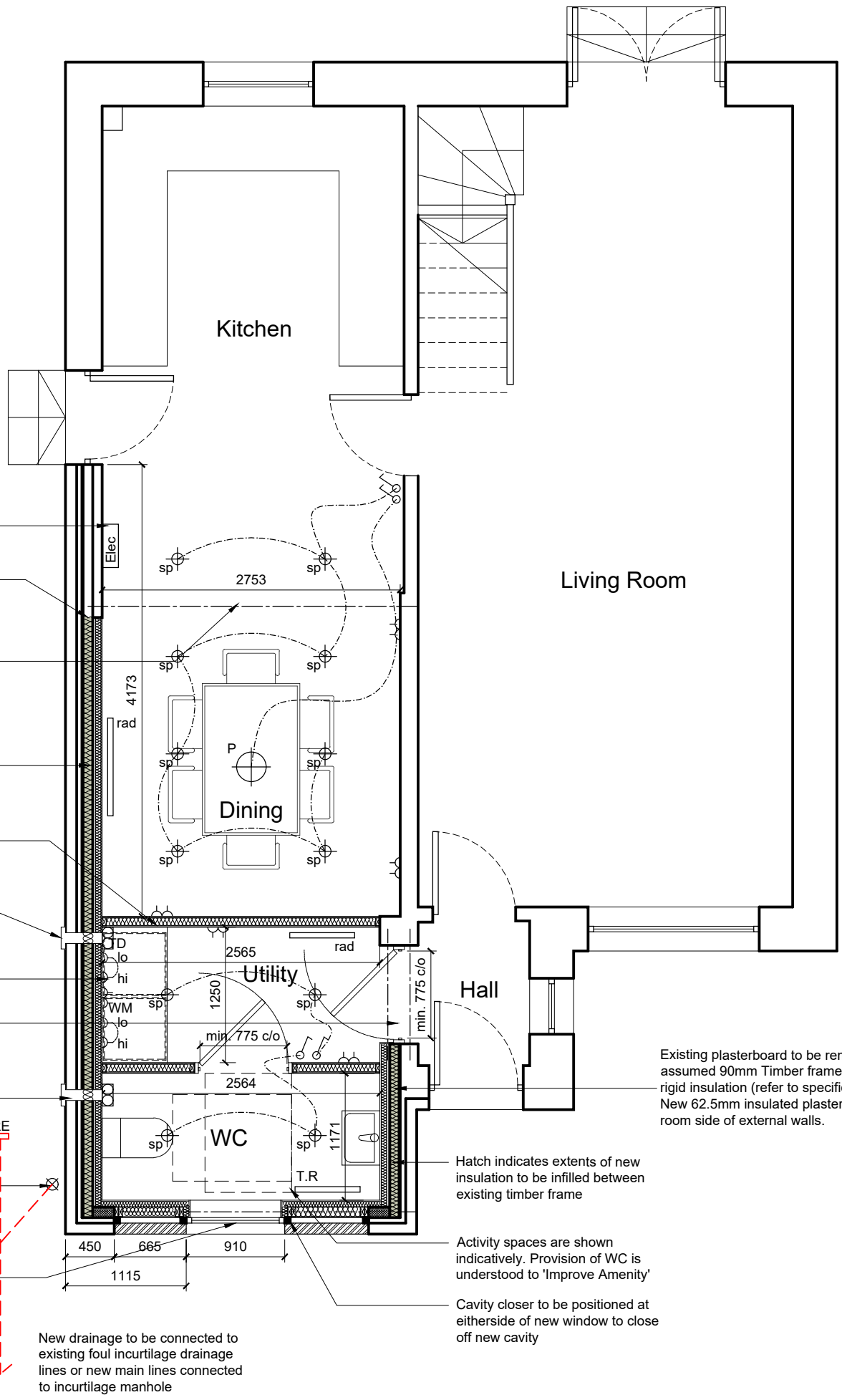


- Ex  EXTERNAL WALL LIGHT
- Int  INTERNAL WALL LIGHT
- P  HANGING LIGHT PENDENT
- sp  RECESSED DOWNLIGHTER
-  LIGHT SWITCH
-  2 WAY LIGHT SWITCH
-  TELEPHONE POINT
-  TWIN 13A SOCKET
-  LOW LEVEL UNSWITCHED SOCKET WITH WORKTOP LEVEL SWITCH



Existing cupboard to be dismantled with consumer unit retained in existing location and new boxing around formed to client specification

New insulation to be taken as far to ensure continuous insulated external wall

Dismantle existing wall between house and garage. New lintel to engineer's design and specification. Steelwork to be sheathed with 15mm Fireline plasterboard to provide min. 30min fire integrity.

Existing plasterboard to be removed and assumed 90mm Timber frame filled with rigid insulation (refer to specification notes). New 62.5mm insulated plasterboard to room side of external walls.

Form new partition be on line of step out to create flush partition line

New dMEV extract fan to be cored through existing wall. Refer to specification notes for fan speeds.

Utility pipework to be connected within service zone back to new SVP

Form new opening within existing wall. Lintels to structural engineer's design and specification

New dMEV extract fan to be cored through existing wall. Refer to specification notes for fan speeds.

New external SVP with Air Admittance valve to terminate above highest waste point

New double glazed uPVC window. Obscured glass. Colour: Brown (Match Existing)

New drainage to be connected to existing foul incurlage drainage lines or new main lines connected to incurlage manhole

Existing plasterboard to be removed and assumed 90mm Timber frame filled with rigid insulation (refer to specification notes). New 62.5mm insulated plasterboard to room side of external walls.



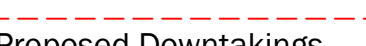
Hatch indicates extents of new insulation to be infilled between existing timber frame

Activity spaces are shown indicatively. Provision of WC is understood to 'Improve Amenity'

Cavity closer to be positioned at eitherside of new window to close off new cavity

DO NOT SCALE FROM DRAWINGS
 All dimensions to be checked on site by Contractor and any discrepancies to be notified to the Architect prior to works being commenced. Use Figured Dimensions ONLY.

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- Notes:
-  Existing Walls
 -  Proposed Walls
 -  Proposed Downtakings

Rev Date	Description	Iss
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Proposed Ground Floor Plan

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JSA

Garage Conversion

Building Warrant

Mr & Mrs Blackwood
 40 Mansionhouse Rd, Glasgow

Scale: As noted @ A3

L(20)005

