

## Design & Access Statement



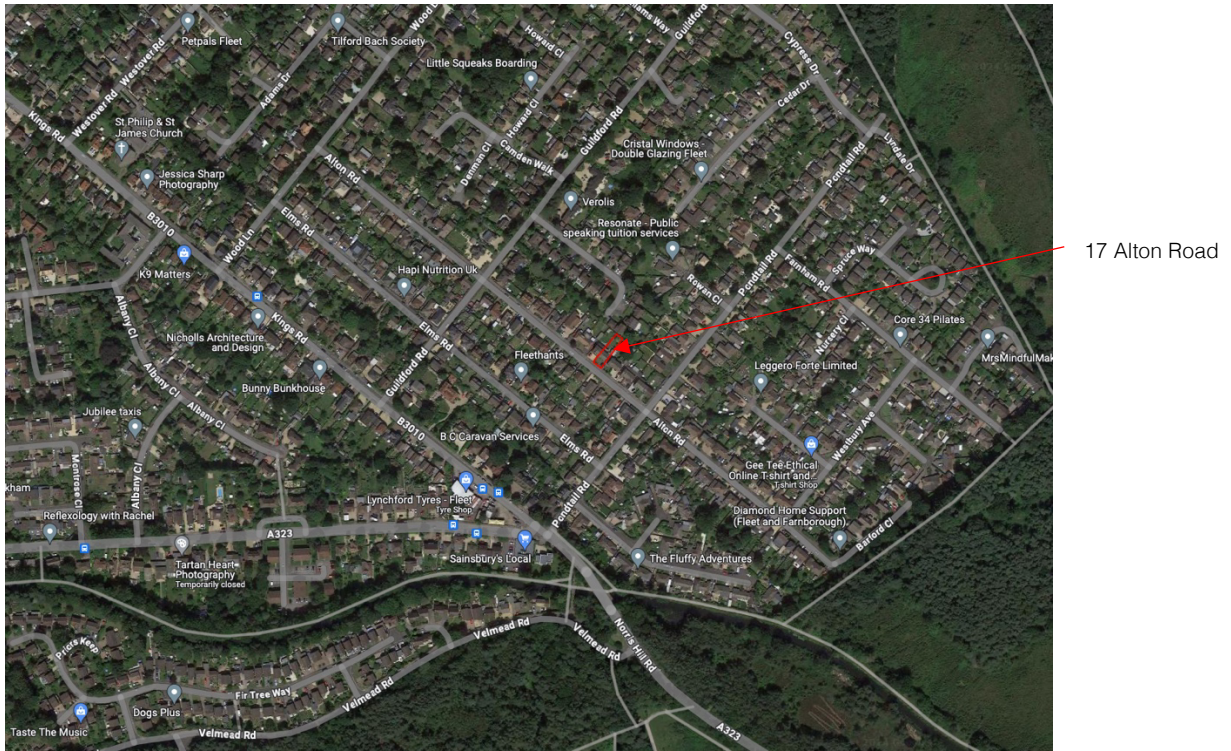
17 Alton Road, Fleet, Hampshire, GU51 3HN

For Mr and Mrs B. Martin

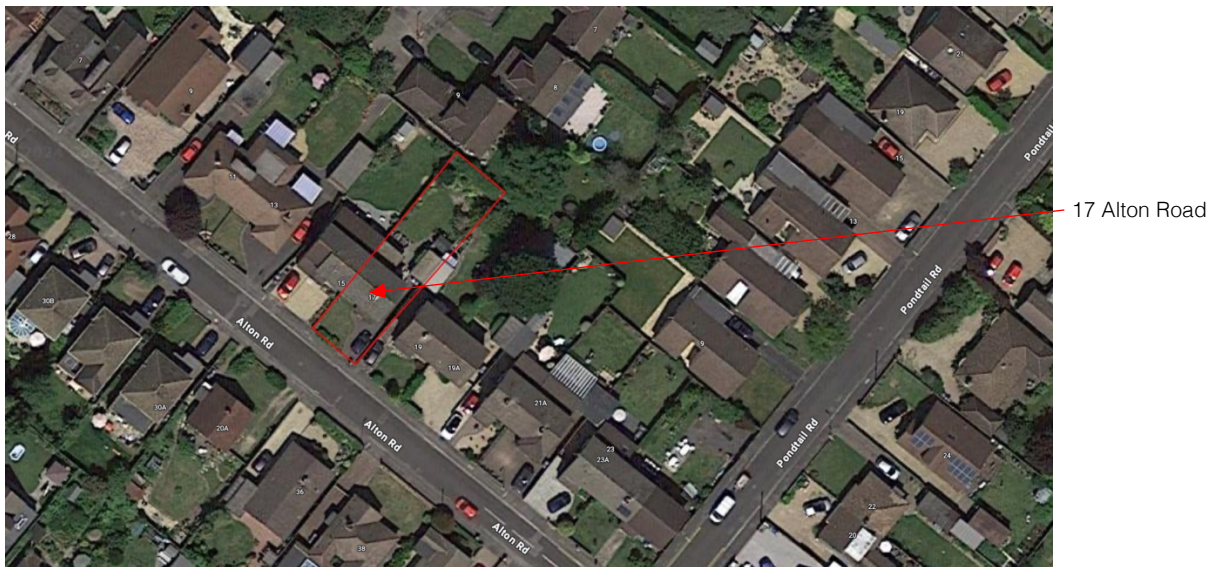
March 2024

## Introduction

This statement has been assembled to support the householder application to erect an extension to the rear of 17 Alton Road Fleet. Alton Road is in the southern part of Fleet in Pondtail, off the bottom of Kings Road. The house was constructed in the 1960s as part of the development of Pondtail in the mid-to-late 20<sup>th</sup> century. This location is not within a conservation area or any other restriction that would restrict the development.



Google Maps extract showing the south end of Kings Road and Pondtail.



Google Maps extract showing the position of the house (no. 17) on Alton Road.

## Description of the Building

17 Alton Road a semidetached dwelling with 3 bedrooms. The house is constructed in a buff-coloured brick, with modest infill areas of UPVC cladding between the cill and heads of the windows. The roof is weathered in concrete interlocking tiles. There is a single chimney stack that rises in front of the ridge, located approximately halfway along the roof. The windows are double-glazed with white UPVC frames. Along the south-eastern edge of the property, there is a driveway leading to a single bay, brick, garage.

In the early 2000's the front porch and rear extension were constructed. The rear extension is constructed in a buff-coloured brick matching those used to build the main body of the house. The extension currently has a flat roof weathered in bitumen felt. At the centre of the existing rear extension, there is a glazed sliding door that leads out to the garden. To one side there is a window. Both of which are double-glazed units with white UPVC frames. The existing rear extension is used as a dining space.

The existing Kitchen is a small narrow space with a glazed door which leads out into the garden.



*Rear of 17 Alton Road As Existing*

## **Amount/Extent of Development**

The gross internal floor area of the existing dwelling not including the later-built porch and the rear extension is 79.1m<sup>2</sup> and the garage is 11.9m<sup>2</sup>.

The porch and rear extension equal to 14.9m<sup>2</sup>

Therefore the existing extension is equal to a 16.37% increase.

It is proposed to extend and infill the area between the rear extension and the garage. The proposed extension will be single-storey. The rear wall of this proposed extension will be in line with the existing rear wall of the existing rear extension. The gross internal floor area of this extension is 7.9m<sup>2</sup> therefore including the existing extensions this is equal to a 24.9% increase on the original dwelling constructed in 1960's.

The proposed extension will also be in brick to tie into the existing rear extension. It is proposed to remove the existing flat roof from the existing rear extension. A new mono-pitched roof will be constructed across the existing and proposed extensions. The proposed roof will match and tie into the neighbouring properties' roof, over their rear extension. It is proposed to weather the roof in interlocking concrete tiles to match the neighbour's roof.

All new windows proposed will be double-glazed with white UPVC frames. On the roof it is proposed to install two roof lights, The frames will be black, finished aluminium to blend in with the colour of the proposed tiles.

The existing kitchen window, facing southeast into the drive will be removed and the opening will be filled in masonry to match the existing. A smaller window will be inserted to serve the proposed cloakroom.

It is proposed to extend the existing foul drainage pipework out into the driveway, in front of the garage. A new Manhole and access chamber will be installed here. A new soil vent pipe and foul drainage pipe work will be installed onto the side of the main house to serve the upstairs bathroom, kitchen and proposed cloakroom downstairs.

## **Access**

The existing access is to remain unchanged.

## **Summary**

In conclusion, this application is for a modest infill at the rear of a 1960's constructed dwelling. The extension is single-storey. The materials proposed will match the existing house and neighbouring properties.

We hope that you will support this application if you would like to visit the property, please contact the Applicant to arrange access.