

LBE Services Chartered Surveyors

## Condition Survey Report

Of

## Building Fabric

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The Orchard Centre 1 Douglas Crescent Bonnyrigg EH19 2D

On behalf of

**Esk Homes Ltd**



## LBE Services –Chartered Surveyors

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*Building Surveying - Architectural Design - HSE & CDM Advice - Rope Access Surveys*

Regulated by RICS

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## 1. Project Details

Project Name:	The Orchard Centre 1 Douglas Crescent Bonnyrigg EH19 2DF
Job Number:	LBES539
Client Contact:	Mr Phillip Thompson –Esk Homes Ltd
Surveyor:	Keith Hogg Bsc(hons) MRICS CMaPS TechIOSH MCIAT
Date of Survey:	Various inspections from Nov 2023 –Mar 2024
Weather:	Inspected under varying conditions



LBE Services were instructed by the client to undertake a detailed inspection of the building fabric on the subjects, which comprise a category B listed former government building situated within the Midlothian town of Bonnyrigg. The inspection included a review of the roofs, chimneys, rainwater-goods, elevation masonry, render, external windows & doors, internal fabric and external areas.

The surveyor undertaking the inspection is a chartered building surveyor (MRICS), chartered architectural technologist (MCIAT), certified member of APS (CMaPS), technical member of IOSH (TechIOSH), holds a first class honours degree in building surveying, holds a NEBOSH certificate in construction health & safety, holds a NEBOSH certificate in Fire Safety & Risk Management, holds a NEBOSH certificate in Environmental Management and holds a City & Guilds in Legionella Management. The surveyor also has over 20 years experience in the inspection, adaptation and repair of heritage properties.


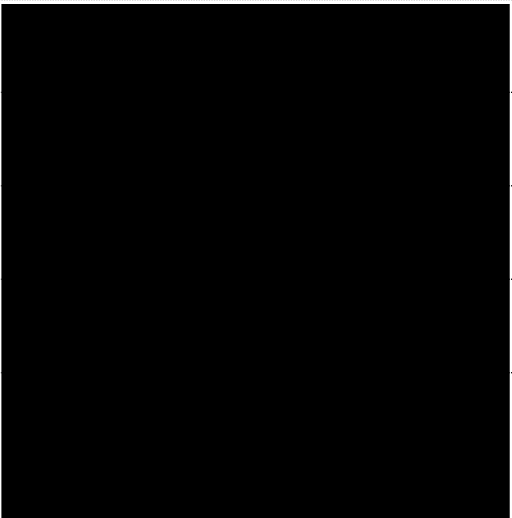
## 2. Executive Summary

Following our inspection at the subjects we would consider the following items to be the main points of consideration in the immediate term:

1. Pitched roofs –close up inspection required, SE pitch (Douglas Crescent) will likely need re-slating with remaining pitches over-hauled. Slate vents will need introduced to mitigate condensation risk should refurbishment & insulation upgrades go ahead (suggest installing insulation to upgrade thermal fabric).
2. Flat roofs –poor condition & weathered beyond repair.
3. Rainwater goods & service pipes –guttering loose to turret & evidence of corrosion + leaks throughout. Overhaul & redecoration required at minimum with all corroded & cracked sections of cast iron replaced.
4. Chimneys –close up inspection required; appear to have been re-rendered in dry dash system in fairly recent times.
5. Elevations –stonework –ground level plinth to Douglas Crescent & Lothian St elevations heavily weathered & road salt damaged. Cut out and replace significantly damaged stone, repair remainder & re-point in lime based mortar.
6. Elevations –pebble dash render over common brick –replace in entirety (bossed, cracked & time expired with various previous patch repairs evident –stitch any underlying cracks & re-point / repair brick as required).
7. Elevations –solum vents –reinstate (partially obstructed by macadam pavement).
8. Windows & doors –overhaul & redecorate (cut out & repair rot, reinstate glazing putty seals, replace glass that has been illicitly altered, reinstate leaded astragals, replace sand mastic seals, ease / adjust and redecorate with new weather-shield gloss).
9. Timber suspended floors –lift floor boards, inspect & repair as necessary (high chance of rot given lack of ventilation from high pavement level); install insulation to improve thermal fabric.
10. Internal finishes –replace and undertake isolated rot repairs (dry rot prevalent to NW corner of 1<sup>st</sup> floor). Upgrade thermal fabric.
11. Sanitary installations –replace (dated & time expired).
12. M&E Services –full replacement required (dated, time expired & not energy efficient).
13. Thermal fabric & renewable technologies (no insulation present and poor energy performance).
14. Fire safety –full risk assessment required in conjunction with suitable fire stopping, compartmentation, fire protection, review of fire alarm & emergency lighting systems, etc.
15. External surfacing –replace with suitable permeable type.
16. Asbestos –obtain report & review.
17. Historic coal mining –site is located within high risk development area; conversion work will require detailed site investigation with respect to ground gas migration & stability - specialist foundations / floor build ups & grouting may be required for any future extensions / new build work within the site.
18. Boundaries –re-point & repair brick & stone boundary walls.
19. Boundaries –no parking provisions on site.
20. Planning restrictions –category B listed building; no planning brief for site.

## 3. Next Steps / Recommendations

The subjects require a scheme of fabric repairs to be implemented in order to ensure longevity. The contents of this report should be reviewed in entirety and utilised as part of the client's business case for the site. The costs calculated within this report relate to repair & reinstatement only and do not factor in any alterations or adaptations associated with the intended use of the premises.

4. Budget Cost Summary	
The following prices have been calculated using the BCIS Maintenance Price Book 2023	
Works Costs	
Access Costs –Scaffolding	Incl
Preliminaries @ 15% (N.B –10% overheads and profit inclusive within BCIS rates)	
Sub Total with BCIS Regional Adjustment Factor	
Contingencies @ 10%	
Professional & Statutory Fees @ 15%	
Total	
The above costs exclude VAT, which would be chargeable at the standard rate at time of invoicing.	

## 5. Limitations & Exclusions

1. No areas built in; covered up or otherwise inaccessible were inspected (IE –we have not inspected wall or floor cavities –a limited inspection of the roof void was undertaken –no crawl boards present for safe access).
2. The survey was non-intrusive and no opening up or destructive testing was carried out; the external render was tap tested and found to be bossed.
3. No areas were surveyed, which were un-safe to access; N.B –no access to upper elevations, eaves, chimneys or roof –ground level inspection only (easy to miss defects from ground level that would otherwise become apparent on close inspection).
4. No investigation into deleterious materials such as asbestos, RAAC, calcium silicate or woodwool slabs was carried out. No investigation into the presence of invasive plant species was carried out (IE –Japanese Knotweed or Giant Hogweed).
5. No mechanical or electrical services were tested as part of the survey.
6. The weather conditions during the surveys varied (N.B –undertaken over several visits).
7. The survey report is for the sole use of the client and we accept no liability for its use by third parties.
8. Further defects may come to light on erection of scaffolding and on opening up of finishes (IE –rot, nail sickness, more serious defects hidden by patch repairs etc).
9. The budget costs provided are based on the 'BCIS Maintenance Price Book 2023 –43<sup>rd</sup> Edition' and our experience from recent tenders. In practise costs can vary significantly (+ or -) on the open market when tendered due to varying market conditions, materials fluctuations and materials / labour availability. In particular, we have seen wild cost increases in recent times due to inflation.
10. This survey and report has been conducted in accordance with our agreed fee proposal and associated terms & conditions.

## 6. Description of Property

For the purposes of this report we have taken the Douglas Crescent elevation as facing southwest and the Lothian Street elevation as facing southeast.

### Elevations

The original listed building comprises part of a pair of properties built opposite one another on entrance to Douglas Crescent. The elevations comprise pebble dash rendered brickwork with feature red sand-stone detailing to plinths, pediments, sills, jambs, lintels and string courses. A more modern single storey pre-fabricated timber clad flat roofed extension has been added to the northeast side of the original building, which has a pre-cast stone plinth.

### Roof & Rainwater Goods

The main roof to the original building is of traditional pitched green slated variety with over-hanging timber eaves; a feature rounded turret presents to the southwest corner. The annex to the northwest corner is also of pitched slated variety and the flat roof to the north-eastern extension comprises bituminous felt with solar reflective chip overlay.

The ridge to the pitched roofs appears to comprise of coping; elsewhere abutment details have been finished in lead (water-gates etc).

3No chimney stacks are present; 1No on the northeast facing end gable, 1No tall stack to the left hand side of the turret (Douglas Crescent) and 1No tall stack to the rear northwest facing elevation. The stacks comprise a mixture of red ashlar sandstone masonry and dry dash rendered brickwork (N.B – original pebble-dash render appears to have been removed & reinstated with inferior alternative).

The rainwater goods and service pipes comprise painted cast iron variety to the original building with some replacement UPVC sections on the rear elevations. The more modern extension to the northeast has UPVC fittings.

### Windows & Doors

The windows to the original building comprise traditional timber framed single glazed sash & case units with leaded astragals providing '6 over 6' arrangement. The doors comprise traditional timber panelled units. The windows on the more modern extension comprise Alu & timber framed units.

### Internal Areas

The internal areas to the original building comprise an octagonal entrance porch, a central staircase, 2 large reception rooms, a store and an annex kitchen facility; the areas have been altered in the past with evidence of structural slappings and blocked up windows. The upper floor comprises 2 large rooms and a toilet. The more modern extension has toilet facilities, a link corridor and several cellular offices. Finishes generally comprise plasterboard, lath & plaster and plaster on hard with timber floorboards, skirting's & facings. The ground floor reception rooms benefit from decorative cornices.

### **External Areas**

Externally the property has an open courtyard fronting onto Lothian Street, which appears to have been used for bin & recycling storage; a pedestrian ramp leads off of this area providing level access to the modern extension. A post & wire fence connects the extension to the mutual brick boundary at the southeast corner, which benefits from a set of double gates leading into a narrow strip of grassed land with 1 No mature tree. A rear garden area exists to the northwest corner of the site abutting No 3 Douglas Crescent. The garden benefits from a hedgerow and trellised seating area.

### **M&E Services**


The heating and hot water services for the property comprise dated electric systems; the lighting comprises a mixture of pendant and fluorescent strip fittings –small power is provided by wall mounted sockets and compartment trunking. Evidence of data, telephony, security, fire and emergency lighting installations was also noted.

### **Information Reviewed**


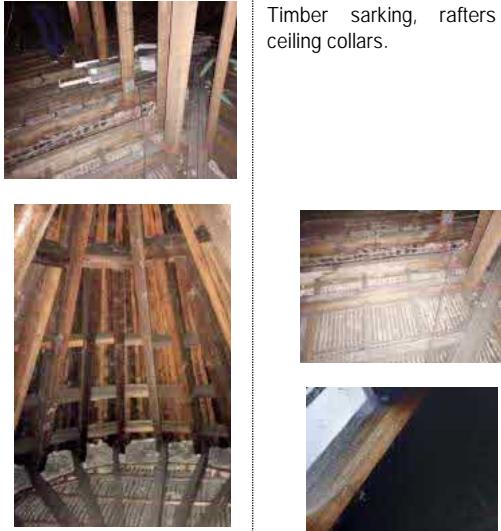
The following information has been reviewed as part of the condition survey process and has been referenced where appropriate:

- Historic maps, archives & listing.
- Utilities search plans.
- LBE Services –architectural measured survey plans, elevations & sections.
- Planning and building standards records for the site.
- Asbestos management plan & Energy Performance Certificate






7. Detailed Condition Report								
No	Element	Photo	Description	Condition	Recommendation	Qty & Rate	Cost	Priority
1.	Ext - Pitched Roof – Covering's		<p>Traditional green slate finish over timber sarking &amp; timber rafters.</p>	<p>The roof was inspected from ground level only; no physical testing of slates was carried out and we therefore cannot verify that the covering is free from nail sickness. The southwest facing pitch on Douglas Crescent was noted to be in poor condition with multiple slipped, dislodged and / or missing slates; several were found lying on the ground beneath following recent storm and there was evidence of penetrating day-light from within the roof void indicating that the external covering has been breached. Localised slipped &amp; missing slates were evident to the remaining pitches and turret. The Douglas Crescent elevation appeared the worst &amp; has likely been affected by the prevailing wind; notwithstanding this, the ground level slates were found to be worn thin.</p> <p>Given the condition and age of the roof, it is unlikely to have ever undergone a full strip &amp; re-slate; the defects on site would indicate that the Douglas Crescent pitch is at the end of its serviceable life-span with repair / overhaul being required to remaining pitches &amp; turret at minimum (more comprehensive works may be required upon inspection from scaffold).</p>	<p>The slates to the Douglas Crescent pitch should be stripped off in entirety, any salvageable materials retained &amp; redressed and quantities made up with good quality slate to match existing (Green –Westmoreland). This should be done in consultation with local conservation officer. Re-slating should be undertaken in accordance with BS5534; clout nails should comprise copper or stainless steel (not galv!).</p> <p>Any membrane (if present) should be removed in entirety and sarking de-nailed + inspected for rot &amp; insect damage. We would expect rot to be prevalent at ridges, hips, water-gates, roof-lights, service penetrations and eaves locations given the defects on site and poor state of the rainwater-goods. Any rot should be cut out and replaced with new treated timbers, any timbers in contact with masonry should be wrapped in DPC and all surrounding surfaces should be dual purpose sprayed.</p> <p>It would be advisable to introduce a breather membrane in lieu of under-slating felt as this would allow for natural ventilation of the cold roof void (assuming insulation is to be introduced to the ceiling collars). Conservation style slate vents should be introduced @ head &amp; foot of pitches.</p>	<p>Safe Access Scaffolding</p> <p>250m2</p> <p>Re-slating + membrane</p> <p>75m2 x</p> <p>Overhaul remaining pitches + slate vents</p> <p>Cost for rot repairs allowed in section 3 below</p>		


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2.	Ext - Pitched Roof – Abutments		The majority of the roof abutments comprise lead water-gates & cover flashings with a coping detail to the ridge.	The lead-work appeared fair from ground level inspection, although further defects may come to light upon close inspection (IE –worn thin sections, cracked sections, etc); an 'Acropyl' type coating was noted to the RHS of the turret potentially indicating historic issues.	Undertake further close up inspection from scaffolding and allow for any necessary repairs during overhaul of slated pitches. Provisional sum allowed for repairs in meantime.	Provisional sum		
3.	Ext - Pitched Roof – Structure		Timber sarking, rafters & ceiling collars.	<p>A brief inspection of the roof void timbers was afforded; N.B –no crawl boards present. The roof void timbers appeared in sound condition, although there were signs of penetrating day-light on the Douglas Crescent elevation and moisture ingress was noted around the roof-light, which has corrosion to its frame. The roof is also lacking insulation.</p> <p>We would expect several of the rafter feet, bottom chord ends and wall plates to be affected by rot given the condition of the external roof covering's and rainwater-goods. We would also expect some of sarking to require replacement.</p>	A modest provisional sum should be allowed for rot repairs and a precautionary dual purpose spray treatment would be advisable to ensure the longevity of the structure. It is assumed that new insulation will be considered with slate vents introduced.	P Sum for Rot Repairs Preservation work 90m2 Upgrade insulation 90m2		

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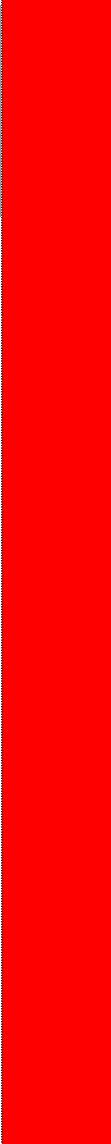
No	Elemen	Photo	Description	Condition	Recommendation	Qty & Rate	Cost	Priority
4.	Ext - Flat Roofs – Coverings		Built up felt bituminous flat roofs with solar reflective chips to NE extension.	Poor –flat roof coverings at end of life-span and beyond economical repair. Covering solar degraded and numerous patch repairs evident. Evidence of leaks internally; particularly to storage @ SE corner.	Remove and replace with new built up bituminous felt roof covering.  Note that it may be considered more economical to demolish the extension in entirety given its poor condition, poor architectural value & lack of insulation.	Flat roofs 130m2 [REDACTED]  Upgrade insulation 130m2 x [REDACTED]	[REDACTED]	[REDACTED]
5.	Ext - Flat Roofs – Structure		Timber rafters & declivities.	Evidence of leaks internally; particularly to storage @ SE corner; high chance of extensive rot.	Inspect on opening up & allow provisional sum for rot repairs to deck & rafters.	P Sum for rot to deck and rafters	[REDACTED]	[REDACTED]
6.	Ext - Roof-lights		1No single glazed cast iron rooflight to rear pitch (above 1 <sup>st</sup> fl WC access hatch).	Poor condition –cast iron frames corroded, putty seals failed and perimeter flashing's worn thin.	Replace with new double glazed conservation style unit.	1No x [REDACTED]	[REDACTED]	[REDACTED]

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No	Elemen	Photo	Description	Condition	Recommendation	Qty & Rate	Cost	Priority
7.	Ext - Chimneys		<p>3No chimneys comprising:</p> <p>Tall rendered 4 vent chimney to rear elevation.</p> <p>Tall rendered 2 vent chimney to Douglas Crescent elevation.</p> <p>Red sandstone ashlar 2 vent chimney to NE gable.</p>	<p>Limited inspection from ground level; the tall chimney's appear to have re-rendered and do not match the original pebble dashed elevations. It is unclear if the chimneys originally comprised exposed stone; although ashlar masonry was noted @ heads of same.</p> <p>It is difficult to determine the condition of the red sand-stone chimney from ground level; chimneys can be susceptible to weathering and chemical attack from flue gasses; a provisional allowance should be made for repairs.</p>	<p>Ideally the tall chimneys should be re-rendered to match the elevations, although if the existing render is found to be sound it would be inadvisable to hack it off as it could cause more damage than good. It may be possible to over-coat the existing system to achieve an appropriate uniform aesthetic solution.</p> <p>A close up inspection of all stacks should be undertaken, we would expect re-pointing and re-flaunching of pots &amp; copes at minimum with provision of weather cowls to same (all flues now redundant and susceptible to nesting birds + weather ingress).</p>	<p>P Su [REDACTED]</p> <p>(note that this is a modest sum for general repairs &amp; reinstatement; if a chimney is found to be structurally unsound it could cost several times this to repair / rebuild!)</p>	[REDACTED]	







No	Elemen	Photo	Description	Condition	Recommendation	Qty & Rate	Cost	Priority
8.	Ext - Rainwater-goods	    	<p>Half round cast iron guttering to original building with circular down-pipes (some UPVC sections to rear).</p> <p>Half round UPVC guttering &amp; down-pipes to extension.</p>	<p>Poor condition –the guttering is suffering from a lack of recent maintenance with evidence of leaks and dislodged sections on site (section has come loose to RHS of tower). Several sections have been replaced in UPVC to annex at rear of building (illicit alteration). Corrosion was also noted to down-pipe joints &amp; brackets (SVP's and rain-water pipes).</p>	<p>Overhaul all guttering &amp; downpipes; to included thorough clean, replacement of loose / significantly corroded sections, re-alignment of brackets to falls, re-sealing of joints and redecoration with weather-shield system incorporating zinc rich primer.</p>	<p>Prov sum for overhaul &amp; replacement</p> <p>Decorations – Guttering</p> <p>40m [REDACTED]</p> <p>Decorations – Downpipes</p> <p>25m [REDACTED]</p>	<p>[REDACTED]</p> <p>[REDACTED]</p>	<p>[REDACTED]</p>

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9.	Ext - Elevations - Stonework		<p>Red sandstone ashlar feature detailing to dormer windows, pediments, window &amp; door surrounds, band courses and plinths.</p>	<p>The ground level plinth was found to be heavily eroded; red sandstone is notably soft &amp; susceptible to road salt damage. Weathering was also noted to the door jambs on Douglas Crescent elevation and to the feature detailing at the head of the main entrance. A close up inspection is required to upper level stonework; pediments can often be loose depending on the integrity of the ties back to the roof structure; copes and skewes also sit on a slip plane and may need doweling. The stonework requires whole-sale re-pointing.</p>	<p>Undertake stone repairs comprising replacement of heavily eroded sections, re-dressing of loose sections, localised lime repairs, de-scaling, cramping, doweling, re-bedding &amp; whole-sale re-pointing in lime based mortar.</p> <p>N.B –the subject stonework is soft red sandstone; care should be taken to ensure a sufficient match (suggest Lochabriggs) and an appropriate weak grade of lime mortar should be used to ensure breathability (NHL2 – allow white lime putty to tight ashlar joints).</p> <p>Replacement / indents would be preferable to lithomix as plastic repairs tend to fail on soft sandstone (surface not strong enough).</p>	<p>Stone replacement / repairs</p> <p>Dowel / cramp repairs &amp; re-bedding</p> <p>Whole-sale re-pointing in lime mortar</p>		

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No	Elemen	Photo	Description	Condition	Recommendation	Qty & Rate	Cost	Priority
10.	Ext - Elevations - Brickwork		<p>There are several sections where the render has deteriorated showing that the underlying substrate comprises common brick (not stone).</p>	<p>The brickwork appears in fair condition from limited inspection. Moderate cracking was noted to the render at the front entrance turret; this will likely be due to a lack of movement joints use of circular detail with lots of openings; notwithstanding this, it is suggested that the brickwork is further inspected on removal of the render to verify its integrity (may require localised cramping or under-pinning if more serious issue identified –allow prov sum).</p> <p>The solum vent grilles were found to be partially covered by the macadam pavement. These should be reinstated to ensure sufficient ventilation of the sub-floor void.</p>	<p>An allowance should be made for repairs to the brickwork on removal of the defective render (render mentioned below), which should include for structural repairs where potential movement evident. Re-pointing &amp; dubbing out of the brickwork may be required as part of the re-rendering operation if damaged on removal.</p>	<p>Pick &amp; point 10m2 x [redacted] Localised repairs 10m2 x [redacted] Structural Repairs P Sum of [redacted] Solum vent grilles 10No x [redacted]</p>	[redacted]	[redacted]

No	Elemen	Photo	Description	Condition	Recommendation	Qty & Rate	Cost	Priority
11.	Ext - Elevations – Rendered Masonry	    	<p>Pebble dash render over common brick substrate.</p> 	<p>Poor condition –the render is at the end of its serviceable lifespan and has started to fail with large-scale bossing noted on tap testing, moderate cracking to the turret and full height cracking to the end gable. This will likely have been exacerbated by the lack of movement joints on the property and use of inflexible cement based system. Salt staining also prevalent to ground level street facing elevations (road salts).</p> <p>Several poorly executed patch repairs have been undertaken including a render panel to the 1<sup>st</sup> floor of the turret and infill to the end gable. The chimneys have also been recoated creating a patch-work effect across the building.</p>	<p>Hack off and replace external render with new render system. Brick substrate to be repaired &amp; primed before application (as above); allow for scratch base coat, top coat and pebble dash harl (N.B –it is unclear if this style of render is original to the building given that archive drawings &amp; photos show a grey harl to the subjects and sister library –please see appendix).</p>	<p>Hack off &amp; replace render 250m2</p>	<p>Cost</p>	<p>Priority</p>



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12.	Ext- Elevations - Cladding		Timber cladding with painted finish to NE extension. Localised panelled cladding to rear (north facing) elements.	Poor condition –suffering from rot due to a lack of maintenance, failed decorations and leaking rain-water goods. Now beyond serviceable lifespan and high chance of rot to underlying structure.	Remove & replace + repair any underlying rot.  N.B –may be more economical to consider demolishing the NE extension in entirety.	P Sum for rot Replace Cladding 110m2	[Redacted]	[Redacted]

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13.	Ext - Landscaping & Boundaries		<p>Long narrow strip of garden to northeast between NE extension and mutual boundary with mature tree to frontage and post &amp; rail fence. Modest courtyard garden to rear with trellis seating area and foliage. Boundary walls comprise mixture of rubble stone &amp; common brick.</p>	<p>The garden areas are generally unkempt and would benefit from clearing and implementation of maintenance regime. The boundary walls appeared fair with requirement for localised repairs only.</p>	<p>Implement maintenance regime to gardens and allow for clearing. Allow for basic pick &amp; point on boundary walls.</p>	Sum		

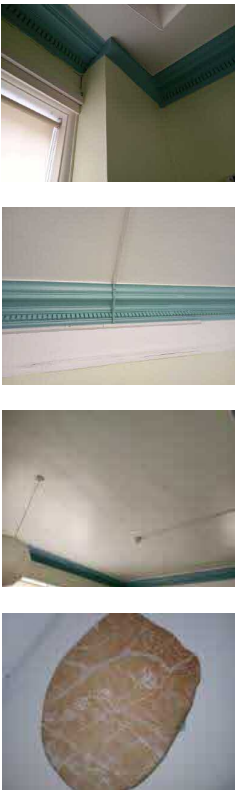


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14.	Ext - External Joinery – Windows & Doors	    	<p>Timber framed leaded sash &amp; case windows to original building and timber / Alu casement windows to NE extension.</p>	<p>The original leaded sash &amp; case windows are suffering from illicit alterations; several extract fans have been cored through the glazing, several panes have been replaced with plain glass (not leaded) and mock astragals have been created with insulating tape.</p> <p>Externally the window frames have not been redecorated in several years with evidence of blistering paint, rot to sills, failed putty seals and failed perimeter sand mastic seals. The windows are also stiff to open and not thermally efficient by virtue of single glazing.</p> <p>Several windows to the NE extension were found to be rotten and beyond repair.</p> <p>The main front door to the octagonal turret appeared serviceable; the doors on the Douglas Crescent elevation appeared rotten and beyond repair.</p>	<p>Given the properties listing efforts should be made to save the original windows by implementing an overhauls scheme and removing the illicit interventions. The windows should have all rotten sections cut out &amp; replaced, putty seals replaced, sand mastic seals replaced, ironmongery reinstated, glazing &amp; leaded astragals reinstated, frames eased &amp; adjusted and frames redecorated with primer &amp; weather-shield gloss.</p> <p>The windows to the NE extension would benefit from replacement, although consideration could be given to demolishing this element as a more cost effective alternative.</p> <p>Efforts should be made to save the main front door to the turret; the remaining doors would benefit from replacement to match original period style.</p> <p>N.B – consideration could be given to improving the energy efficiency of the existing windows by the introduction of secondary glazing; this would also improve the acoustic performance. It is noted that similar works were approved to the sister building over the road at 12 Lothian St / 2 Douglas Crescent.</p>	<p>Overhaul Sash &amp; Case Windows 50No Sashes @ [redacted]</p> <p>Replacement windows to NE Extension 25m2 [redacted]</p> <p>Decorations 100m2 [redacted]</p> <p>Overhaul door 1No [redacted]</p> <p>Replace doors 4No [redacted]</p> <p>Decorations 20m2 [redacted]</p> <p>P Sum for application of secondary glazing [redacted]</p>	[redacted]	[redacted]

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15.	Ext - External Joinery – Timber Fascias		Projecting timber soffits & fascia's to original building and timber fascias to flat roofed extension.	The timber soffits & fascias are suffering from a lack of recent decoration with signs of blistering paintwork and rot; particularly at corners & abutments. The fascias to the flat roofed extension appeared rotten.	Allow provisional sum for rot repairs to original building (closer inspection required) and replace fascias to extension.	P Sum for rot repairs to original building  Decorations to soffits & fascia's original building  Soffits - 30m x [redacted]  Fascias £30m x [redacted]  Extension – Replacement fascia's  55m x [redacted]	[redacted]	[redacted]
16.	Int –Solum & Suspended Floors		Suspended timber floors to Grd & 1 <sup>st</sup> Fl levels.	<p>The ground floor appears to comprise timber suspended type with a mixture of carpet, vinyl &amp; laminate overlays'. The external solum vents are partially covered by the macadam pavement. The floor structure was noted to be uneven with slight heave to the main GFL front room (looking onto Lothian St) and the upper floor was also found to be uneven. This would be considered fairly normal for an older property and appears historic.</p> <p>The floor coverings to the NE extension are time expired and bounce was evident underfoot to several areas indicating inadequate floor structure.</p>	<p>It is recommended that the time expired floor coverings &amp; floor boards are lifted to afford a detailed inspection with any rot repaired, ventilation updated &amp; insulation introduced to improve the thermal fabric.</p> <p>All floor boards and floor coverings require renewal.</p>	Remove coverings & floor boards 290m2 x [redacted]  P Sum for rot repairs  New insulation (acoustic & thermal) 290m2 X [redacted]  New floorboards 290m2 x [redacted]  New floor coverings 290m2 [redacted]	[redacted]	[redacted]

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No	Elemen	Photo	Description	Condition	Recommendation	Qty & Rate	Cost	Priority
17.	Int –Walls	   	<p>The internal walls comprise a mixture of plastered masonry, lath &amp; plastered masonry and timber stud partitioning. Evidence of previous structural layout alterations was noted.</p>	<p>The walls appeared fairly structurally sound, however there was evidence of moisture damage and dry rot in the vicinity of the 1<sup>st</sup> floor window at the northwest corner (external roof &amp; gutter leaks) and the finishes throughout were generally found to be tired, dated and impact damaged.</p> <p>The timber panelling to the octagonal entrance porch appeared serviceable, although it has been altered several times in the past to accommodate services.</p>	<p>Remove all finishes back to structure, repair underlying masonry &amp; timbers then reinstate. Consideration should be given to introducing thermal insulation to external walls and acoustic insulation to internal stud partitions to meet SBSA standards.</p> <p>The above will need to be undertaken in consultation with the local conservation officer as the internal finishes will be listed.</p>	<p>Replace plaster finishes 450m2 x [redacted]</p> <p>Upgrade insulation 450m2 [redacted]</p> <p>Repair timber panelling P Sum</p> <p>Replace WC Cubicles 3No [redacted]</p> <p>Decorations – Emulsion 450m2 x [redacted]</p>	[redacted]	[redacted]

No	Elemen	Photo	Description	Condition	Recommendation	Qty & Rate	Cost	Priority
18.	Int –Ceilings		<p>The internal ceilings comprise lath &amp; plaster mounted to under-side of timber suspended floors and roof trusses.</p> 	<p>Poor condition –a skim coated panel has detached and fallen onto the floor in the main front room of the original building revealing a cracked &amp; bossed substrate; veins were also prevalent throughout the rest of the ceiling - this would indicate that the plaster has deteriorated &amp; lost its integrity.</p> <p>The main front room has a classic dented cornice; although its integrity would be in question given the signs of failure to the plaster-work and there are several instances where surface mounted services have been run over the top of it. The cornice has also been covered adjacent to the front entrance to form an enclosure for electrical switch-gear.</p> <p>Evidence of moisture ingress and rot was noted to the NE extension ceiling; in particular to front storage room.</p>	<p>Take down and replace in entirety; consideration should be given to upgrading roof void insulation and acoustic insulation at the same time.</p>	<p>Replace ceilings 290m2 x [redacted] Decorations 290m2 x [redacted]</p>	[redacted]	
19.	Int –Staircase		<p>The staircase comprises a timber unit with handrails and balustrade.</p>	<p>Poor –the staircase would not be considered compliant by current standards with respect to width, pitch, dimensions of tapered treads, protective barrier height or head room (&lt;2m beneath landing; signage has been installed warning of risk).</p>	<p>Replace / consider alternative.</p>	<p>P Sum</p>	[redacted]	

LBE Services Chartered Surveyors

No	Elemen	Photo	Description	Condition	Recommendation	Qty & Rate	Cost	Priority
20.	Int –Doors	  	<p>Timber framed doors throughout; some partially glazed &amp; leaded porch door.</p>	<p>Fair condition – the doors appeared serviceable and could likely be retained subject to overhaul &amp; redecoration. Some of the hardwood door frames had more modern closer's &amp; surface mounted services affixed.</p> <p>No investigation into the integrity of fire doors was undertaken; subject to fire risk assessment based on intended use for premises.</p>	Overhaul & redecorate.	<p>Overhaul doors</p> <p>22No x [REDACTED]</p> <p>Decorations</p> <p>88m2 x [REDACTED]</p>	[REDACTED]	[REDACTED]
21.	Int – Sanitaryware & Cabinetry		<p>Water closet's, urinals, wash hand basins and localised fixed cabinetry to sanitary &amp; welfare areas.</p>	<p>Fair condition –generally dated &amp; soiled with failed mastic seals.</p>	Suggest replacing as part of modernising regime.	<p>WC's</p> <p>4No [REDACTED]</p> <p>WHB's</p> <p>4No x [REDACTED]</p> <p>Sinks</p> <p>2No x [REDACTED]</p> <p>Kitchen / tea prep</p>	[REDACTED]	[REDACTED]

LBE Services Chartered Surveyors

No	Elemen	Photo	Description	Condition	Recommendation	Qty & Rate	Cost	Priority
22.	M&E Services	    	<p>Electrical distribution boards, small power and lighting.</p> <p>Dry heating system comprising electric storage heaters.</p> <p>Extract vents to windows.</p> <p>Fire-place to 1<sup>st</sup> floor.</p> <p>Data &amp; telephony systems.</p> <p>Evidence of security &amp; fire alarm systems.</p>	<p>It should be noted that we are not qualified M&amp;E services engineers and our comments are therefore limited.</p> <p>The small power distribution, lighting, electric heating and ventilation systems on site appeared dated and are likely nearing the end of their serviceable life-spans. The storage heaters would not be considered an efficient form of heating in conjunction with the poor thermal fabric. The ventilation systems have been cored through original leaded windows, which would be considered an illicit alteration to a listed building.</p> <p>It should also be noted that upgrades may be require should the building be converted to an alternative use depending on the loading requirements for the services.</p>	<p>Review and upgrade of all incoming utilities.</p> <p>Full electrical re-wire including replacement of all distribution boards, small power and lighting.</p> <p>Provision of new fire alarm and emergency lighting system.</p> <p>Provision of new heating system.</p> <p>Provision of new hot and cold water supply systems + drainage.</p> <p>Provision of new security alarm, data and telephony systems.</p> <p>Provision of new external security lighting.</p> <p>Provision of new mechanical extract ventilation to sanitary and welfare areas; if conversion to an alternative use is proposed consideration may need to be given to introduction of mechanical ventilation and cooling.</p> <p>Consideration should be given to more environmentally friendly methods of power supply, heating and cooling for the subjects; although this will be limited due to the buildings listing (IE - won't be able to affix solar panels onto the roof).</p>	<p>P Sum o [REDACTED] allowed to cover rip out and upgrades.</p>	[REDACTED]	




LBE Services Chartered Surveyors

No	Elemen	Photo	Description	Condition	Recommendation	Qty & Rate	Cost	Priority
23.	Due Diligence		<p>The subjects are category B listed and have various statutory requirements with respect to planning, building standards, fire, legionella, health &amp; safety and environmental compliance.</p> <p>The building is also in a high risk development area for coal mining following review of coal authority maps.</p>	<p>Planning –it should be noted that any works will be subject to approval from the local conservation officer and will likely require planning &amp; listed building consent with consultation from Historic Scotland.</p> <p>Building Standards –the subjects as they stand would not be compliant with current SBSA standards with particular respect to the safety, fire, environment and energy sections. Any conversion or alterations work would need to factor in considerable upgrades.</p> <p>Fire –the building would not be considered compliant with respect to compartmentation, separation, structural protection, internal surface resistance to fire, early warning (fire alarm) and emergency lighting. Considerable expenditure would be required to meet statutory guidelines and a fire risk assessment should be commissioned to identify all requirements; N.B –conversion work may necessitate the requirement for sprinkler systems.</p> <p>Legionella –any alterations and upgrades will need to comply with L8 and associated bye laws ensuring sufficient water turnover, mitigation of dead legs and prevention of means to generate aerosols. A legionella risk assessment should be commissioned accordingly.</p>		<p>Included in building fabric and M&amp;E services allowances above</p> <p>Included in M&amp;E services allowances above</p>		

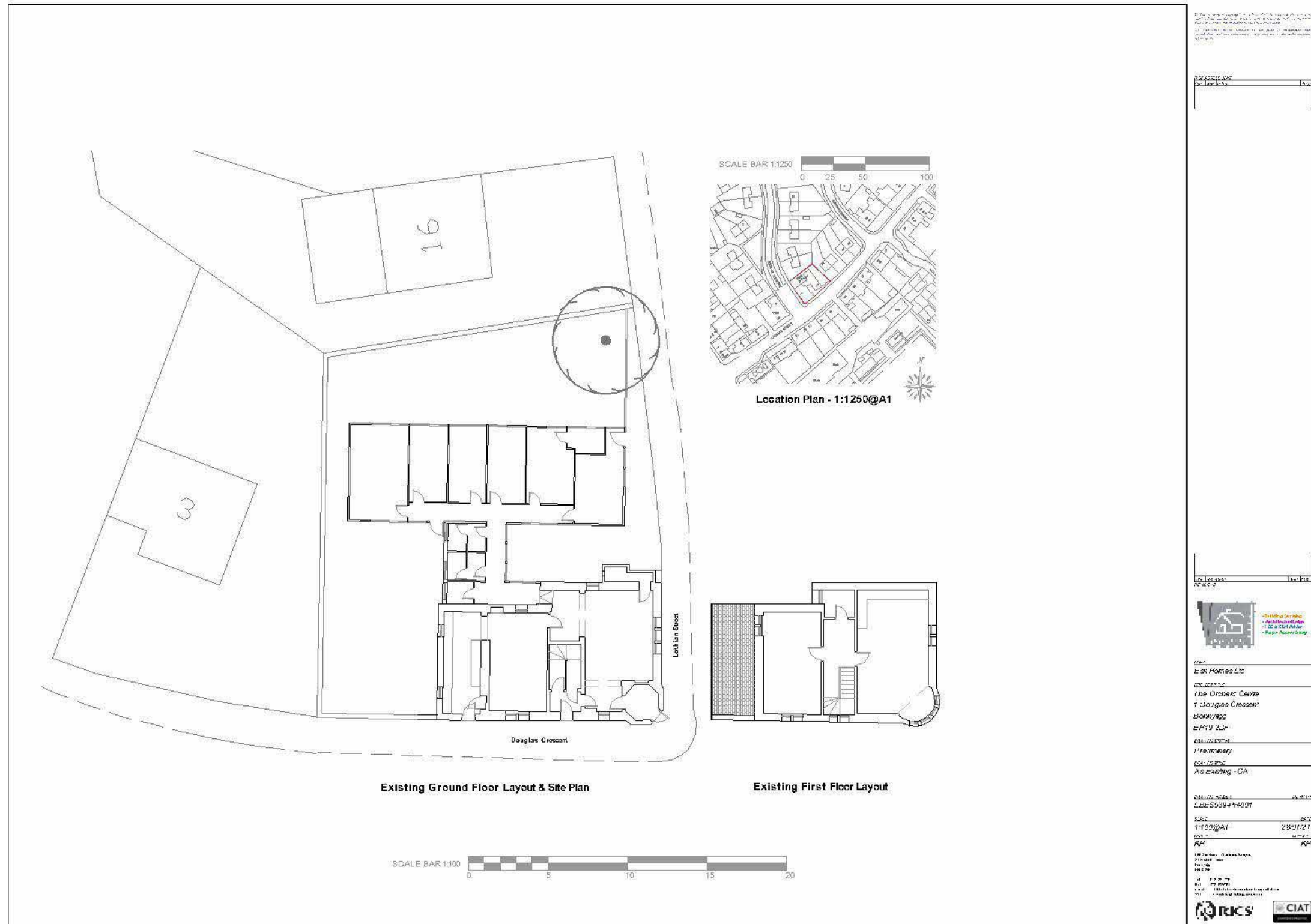
LBE Services Chartered Surveyors

No	Elemen	Photo	Description	Condition	Recommendation	Qty & Rate	Cost	Priority
	Due Diligence Cont'			<p>A review of the previous consents for the site have been undertaken with respect to planning and building standards. Alterations within the last 20 years have included a concrete plat, fire door &amp; signage. Illicit alterations have also been undertaken including the installation of extract fans through original leaded windows, replacement of leaded glass in plain glass with insulation tape mock astragals, replacement of cast iron downpipes &amp; waste branches in UPVC, mounting of services &amp; cut outs to original timber panelling &amp; corning, building switch-gear cupboard over corning and poorly executed render patch repairs.</p> <p>The site has limited soft landscaping and there would be opportunities for bio-diversity enhancement should a refurbishment or conversion scheme proceed.</p>				

LBE Services Chartered Surveyors

No	Elemen	Photo	Description	Condition	Recommendation	Qty & Rate	Cost	Priority
	Due Diligence Cont'			<p>The coal authority map for the site notes that it is in a development high risk area with potential for shallow mine workings. A coal mining risk assessment has been undertaken with recommendations given for drilling of 2No boreholes to verify assumptions; this may necessitate grouting / remedial strategy. A PH1 geo-environmental survey has been undertaken and the site has been noted as low risk with respect to contamination, although further phase 2 investigations will be required in respect of mine gasses; N.B – existing building does not have any gas protection measures.</p> <p>The SEPA flood map does not note any flood risk for the subject area.</p> <p>Asbestos –we have had sight of the management plan for the subjects and ACM's are present to several areas incl AIB paneling to walls &amp; ceilings, electrical flash guards and electrical cable sheathing. A refurbishment survey should be undertaken prior to any disruptive works going ahead and any ACM's should be removed by a competent contractor.</p> <p>An EPC has been provided for the property and it has been rated as 'G –Very Poor.' Allowances have been given above for the upgrade of the thermal fabric.</p>	<p>Undertake refurbishment survey, quantify removal works and instruct competent contract to remove all ACM's prior to refurbishment works going ahead.</p>	Prov Sum		

8. Floor Plan Drawing (1)



8. Elevations Drawing (2)



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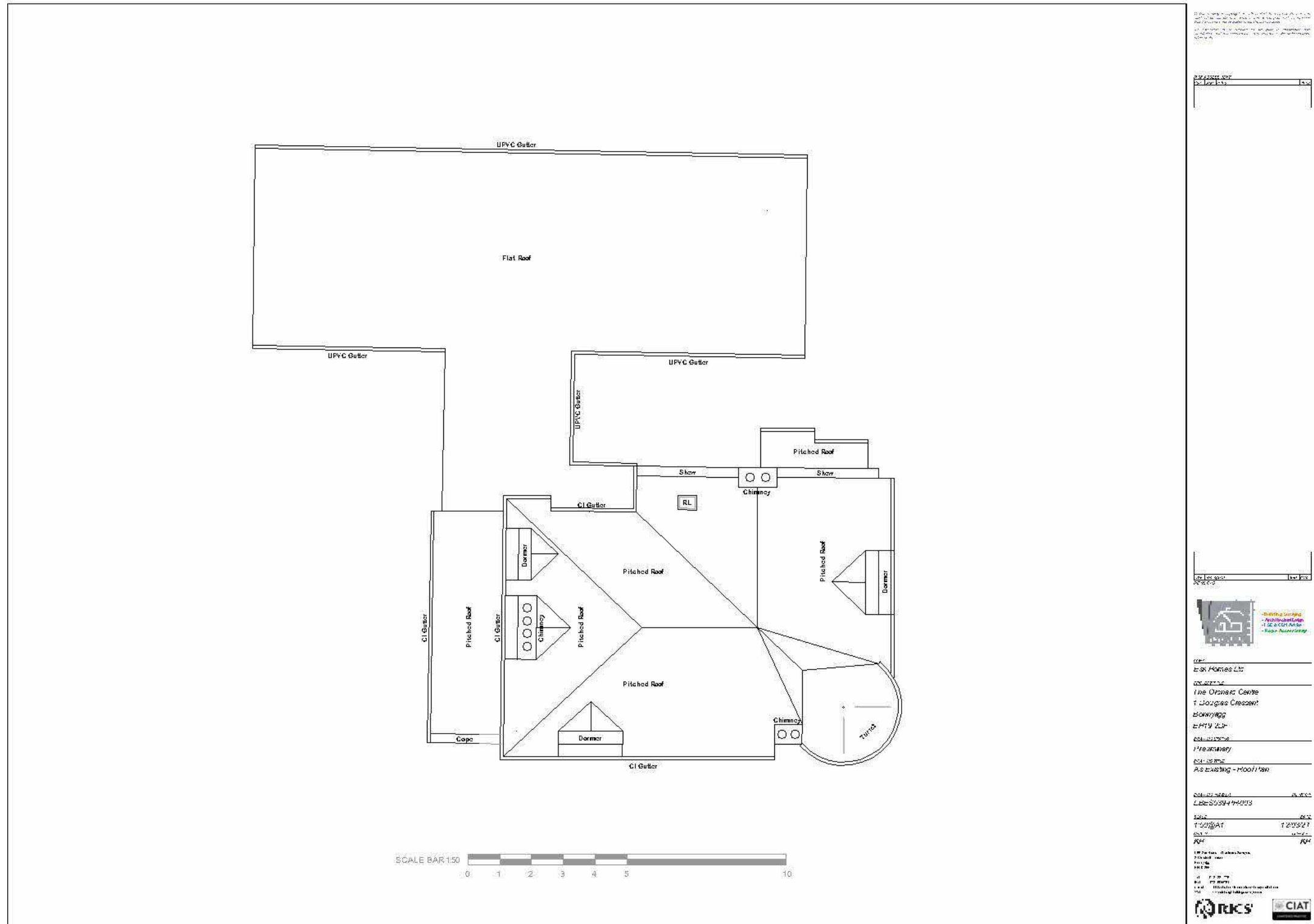


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 SCALE: [Name]  
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 ADDRESS: [Name]  
 DRAWING: [Name]  
 SCALE: [Name]  
 AS EXISTING - 2024-10-10



8. Roof Plan Drawing (3)



## 9. Copy of Listing

### Address/Name of Site

BONNYRIGG, LOTHIAN STREET, PARISH COUNCIL OFFICES, ORCHARDCENTRE LB44133

Status: Designated

Documents: There are no additional online documents for this record.

### Summary

Category: B

Date Added: 07/03/1997

Local Authority: Midlothian

Planning Authority: Midlothian

Burgh: Bonnyrigg And Lasswade

NGR: NT 30985 65251

Coordinates: 330985, 665251

### Description

Grieg, Fairburn & McNiven, 1909, with later additions. Built as pair to the Public Library opposite, (see separate list entry). 2-storey, 2-bay, asymmetrical public building with corner tower in Arts and Crafts style. Harled with red ashlar sandstone dressings. Base course; red ashlar sandstone band from ground to cill; ovolo moulded corbel course between ground and 1st floor; chamfered stone mullions to openings; deep eaves; eaves course to tower SE (PRINCIPAL, LOTHIAN STREET) ELEVATION: 2-bay, with single storey, single bay prefabricated addition set back to outer right. Corner tower, polygonal at ground, corbelled to circular at 1st floor; advanced doorpiece with corniced, architraved doorway and scrolled, carved pediment; timber panelled door; 4-light window at 1<sup>st</sup> floor above; conical roof to tower. Tripartite window at ground in bay to right; bipartite window with curvilinear dormerhead above. Modern, bipartite window to addition to outer right; flat roof.

SW (DOUGLAS CRESCENT) ELEVATION: 3-bay with single storey, single bay stepped lean-to to outer left. Corniced and architraved doorpiece with deep-set timber panelled door in centre bay; single, bipartite window at 1st floor above. Single window at ground in bay to right; tall wallhead stack with ashlar cap above. Single bipartite window at ground in bay to left; bipartite window with curvilinear gablehead at 1st floor above. Single storey ashlar coped, stepped screen wall in bay to outer left; architraved doorpiece with timber panelled door.

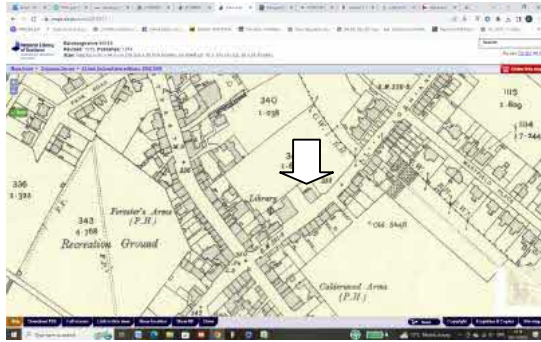
NW ELEVATION: 2-storey, 2-bay, with lean-to slate roof to ground floor. Single window in bay to right of advanced ground floor section; ashlar coped wallhead stack above. Bipartite dormer window at 1st floor in bay to left.

NE ELEVATION: Not fully seen, 1996. Coped wallhead stack. Ashlar coped skews. Leaded, small-pane timber sash and case windows. Green slate roof; stone ridge; ashlar skews; harled and ashlar coped stacks; bracketed cast-iron gutters and downpipes.

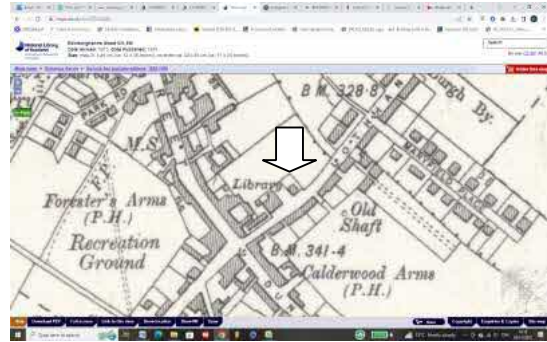
### References / Bibliography

NMRS, RIAS drawings collection; C McWilliam, LOTHIAN, (1978) p114; J Thomas, MIDLOTHIAN RIAS GUIDE (1995) p40.

### 10. Historic Maps, Drawings & Photos (1)



1912 OS Map



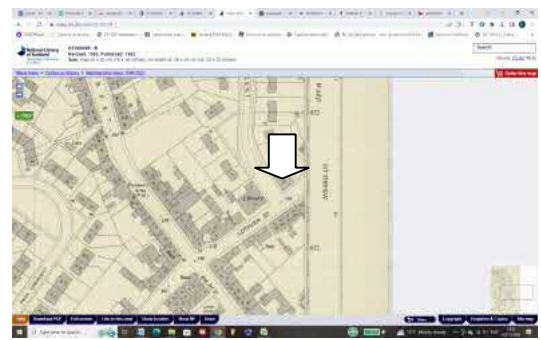
1913 OS Map



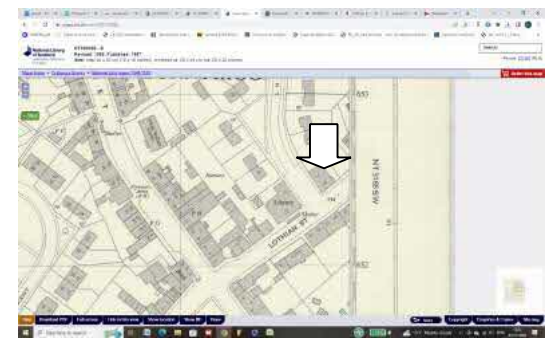
1938 OS Map



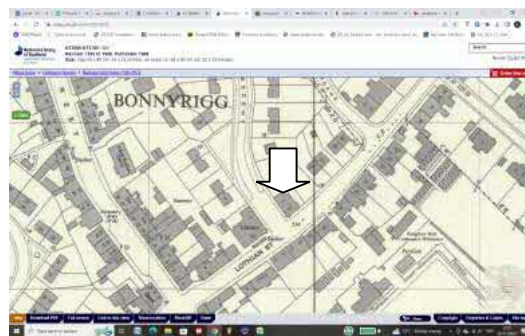
1948 OS Map



1952 OS Map



1966 OS Map



1952-1956 OS Map



10. Historic Maps, Drawings & Photos (2)



Adjacent 'Carnegie' Library (Sister Building – Note Grey Render)



Adjacent 'Carnegie' Library (Sister Building – Note Grey Render)



View of Lothian St

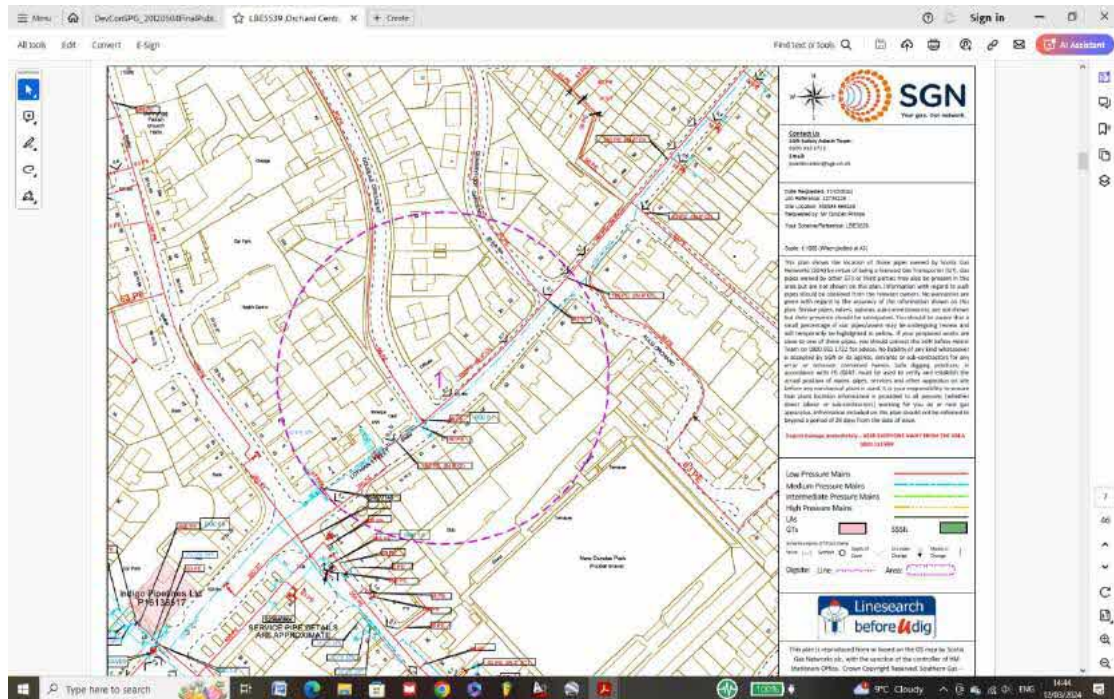


View of Lothian St (Subjects & Library Visible)

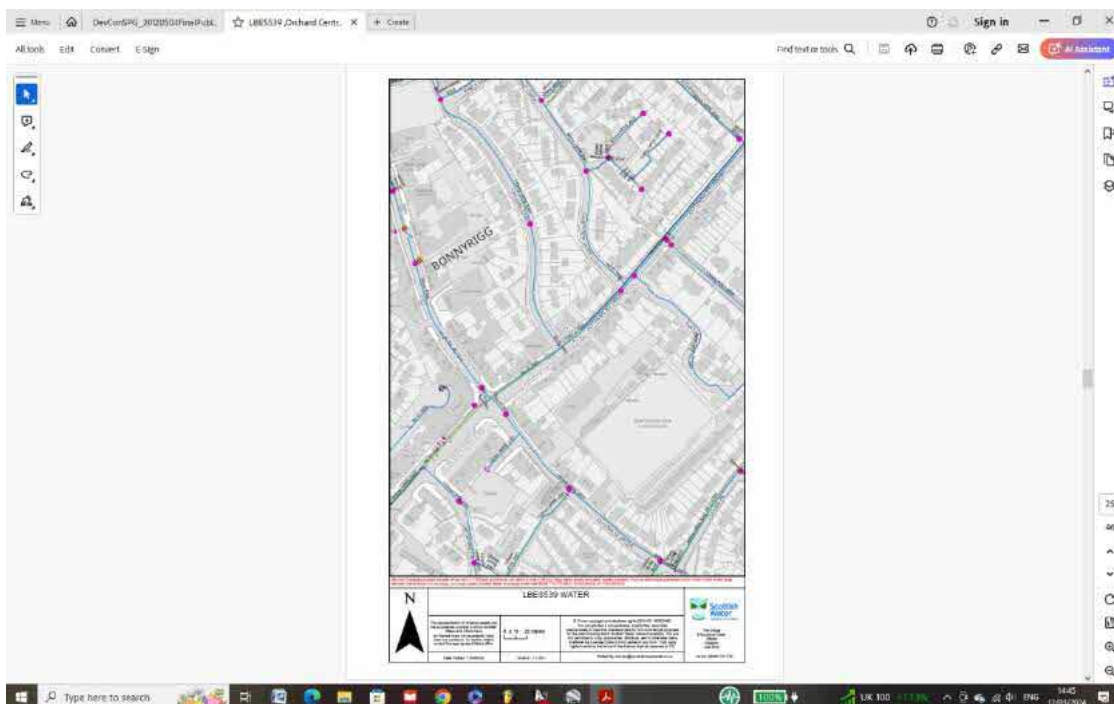


View of Lothian St (Subjects & Library Visible)

### 11. Utilities Plans (1)

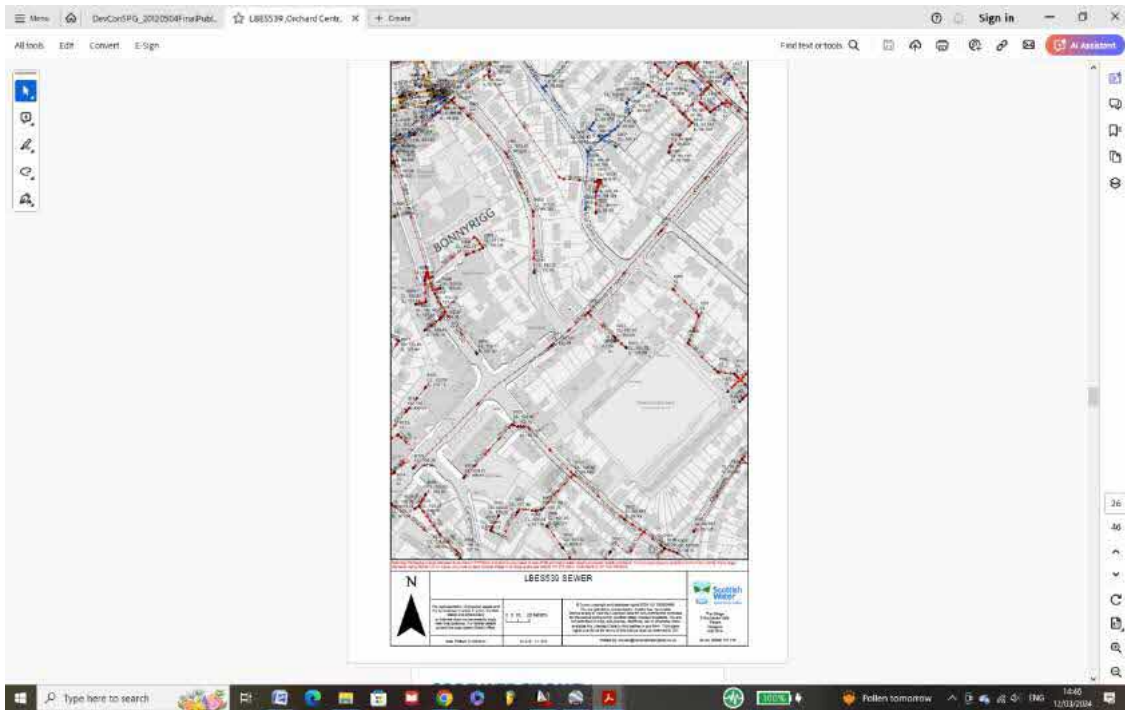


Gas

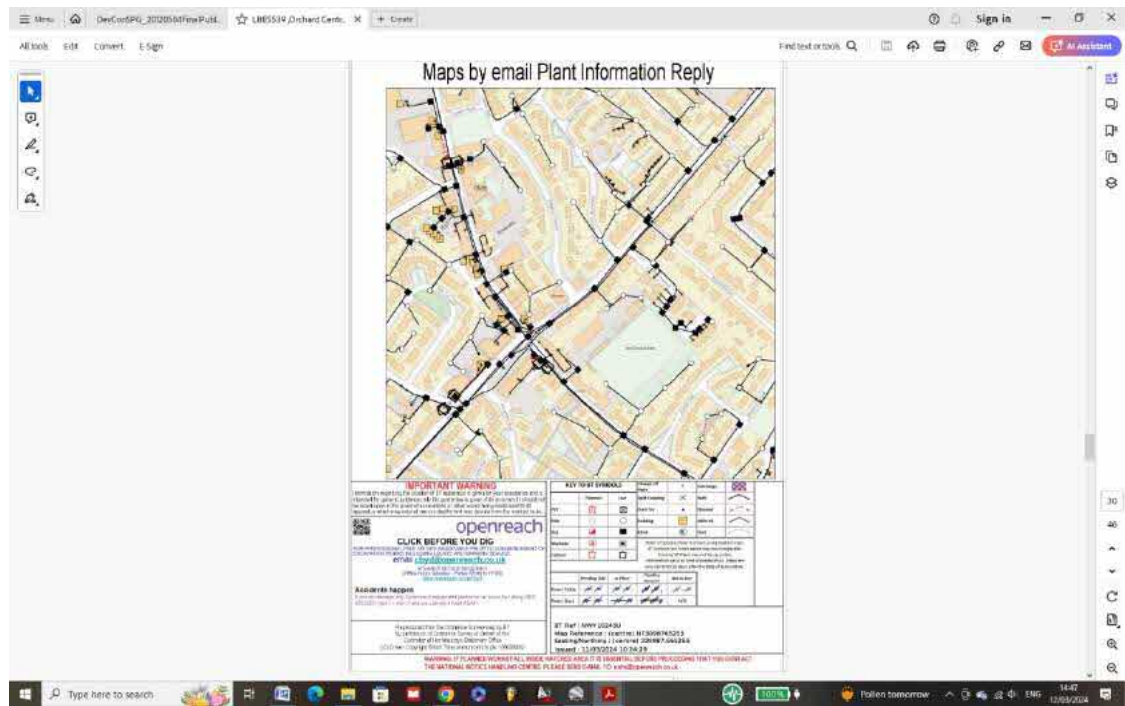


Water

### 11. Utilities Plans (2)

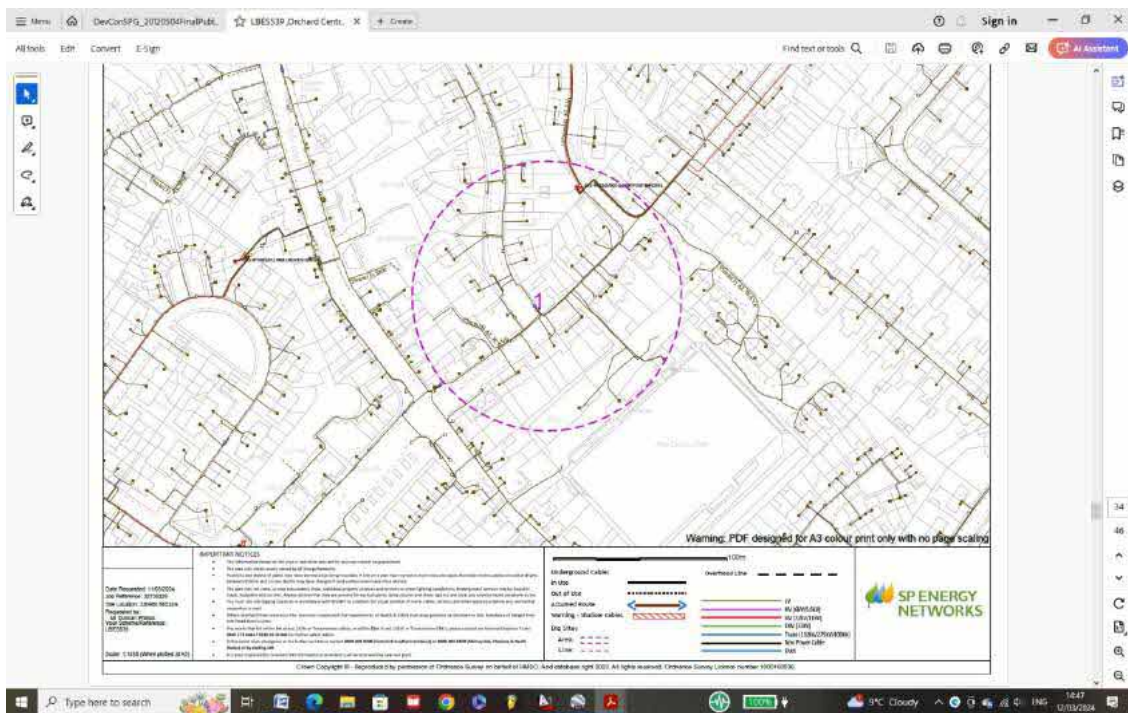


Drainage



Telecoms

### 11. Utilities Plans (3)



Electric

## 12. Planning & Building Standards Records

### Property History

000120014030 | 14 Lothian Street Bonnyrigg EH19 3AB

- [Constraints \(0\)](#)

- 

- [Map](#)

- 

### Planning Applications (2)

- ♣ [Display of signage](#)

Ref. No: 08/00191/LBC | Status: Application Permitted

- ♣ [Installation of replacement fire door, formation of concrete platt and step and erection of handrail](#)

Ref. No: 08/00224/LBC | Status: Application Permitted

### Planning Appeals (0)

### Properties (0)

### Building Standards Warrants (1)

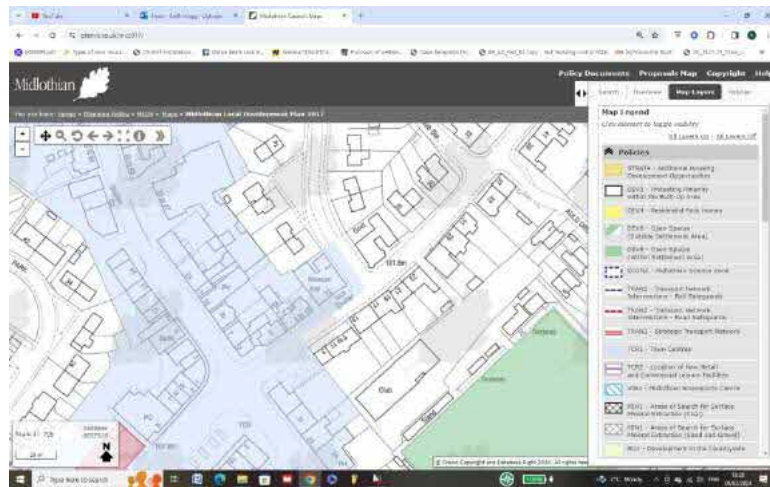
- ♣ [Alter public access](#)

- ♣

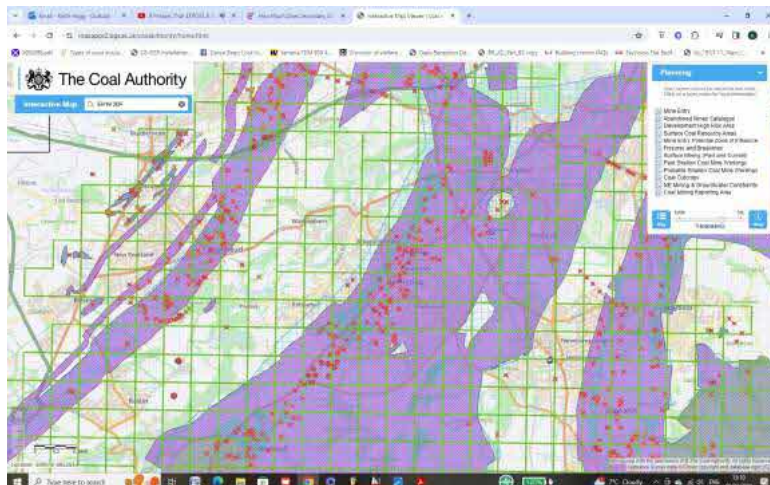
Ref. No: 08/00099/BWAL | Status: Building Work Complete

### Building Standards Notices (0)

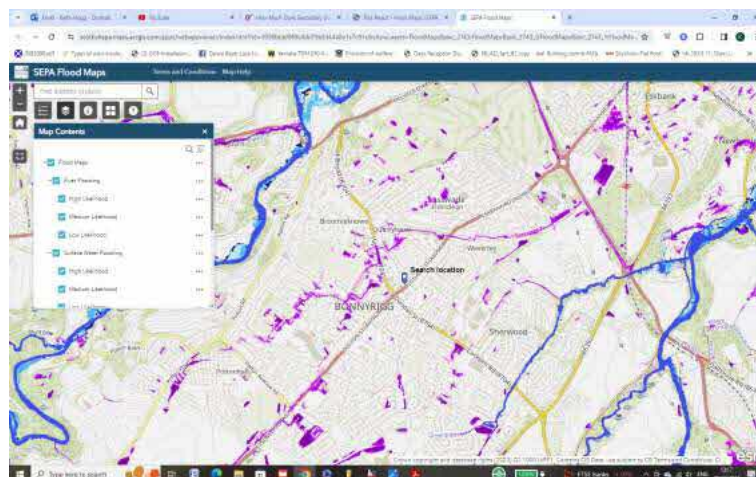
### 13. Coal Authority & SEPA Flood Risk Maps



Midlothian LDP Map –Property located in DEV-2 & out-with TCR1



Coal Authority Map –High Risk Development Zone



SEPA Flood Map –No issues

## 14. Asbestos Register & EPC

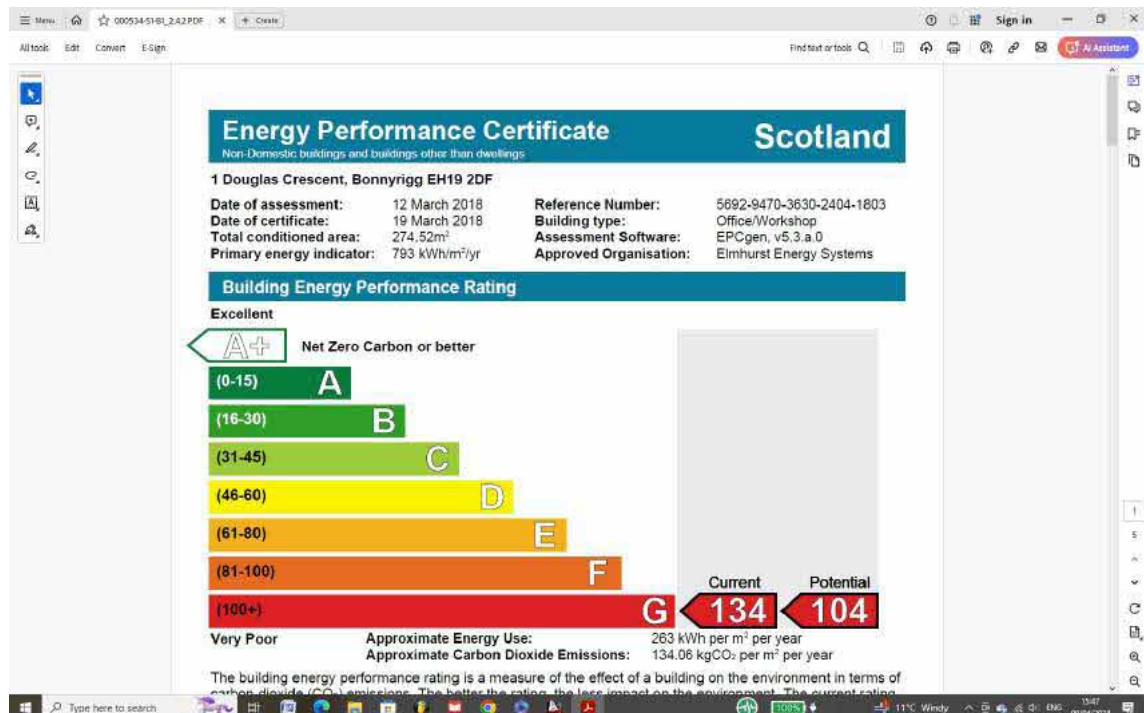
2. Summary of Findings  
Ordered by Building/Floor/Component

(for full descriptions refer to Appendix II, B, ii)

Item (Building/Floor/Room/Component)	Sample (Item No/Sample ref No)	Asbestos Type	Recommendation
15 Lothian Street / Ground Floor / Electrics cabinet / Woven flashguards - Behind fuses in fuse box	23 / MS000535	Chrysotile	No Attention Required (Label and inspect at intervals)
15 Lothian Street / Ground Floor / Store / Cement - Mounted to wall at low level	36 / MS000548	Chrysotile + Amosite	No Attention Required (Label and inspect at intervals)
15 Lothian Street / Ground Floor / Electrics cabinet / Woven flashguards - Behind fuses in fuse box	3 / MS000535	Chrysotile	No Attention Required (Label and inspect at intervals)
15 Lothian Street / Ground Floor / Electrics cabinet / Bitumen cable wrap - Electrical cable	7	Chrysotile	Inspection Required Prior to Disturbance (Further sampling/analysis)
15 Lothian Street / Ground Floor / Electrics cabinet / Flashguards - Wall mounted electric boxes	8	Chrysotile	Inspection Required Prior to Disturbance (Further sampling/analysis)
15 Lothian Street / Ground Floor / Store / Cement panel - Ceiling - underside of stairs	13 / MS000540	Chrysotile	No Attention Required (Label and inspect at intervals)
15 Lothian Street / Ground Floor / Store / Cement panel - Ceiling - above door	15 / MS000540	Chrysotile	No Attention Required (Label and inspect at intervals)
15 Lothian Street / 1st Floor / Office / Cement - Mounted on wall at low level	38 / MS000549	Chrysotile + Amosite	No Attention Required (Label and inspect at intervals)
15 Lothian Street / 1st Floor / Office / Insulating board panels - Mounted to walls at low level	40 / MS000549	Chrysotile + Amosite	No Attention Required (Label and inspect at intervals)
15 Lothian Street / 1st Floor / Office / Millboard - Back lining of metal electrical socket casings behind timber panels on skirting	44 / MS000553	Chrysotile	No Attention Required (Label and inspect at intervals)

Note: This table should be read in conjunction with all other sections of the report.

Extract from Asbestos Register



Extract from EPC

15. Enlarged Annotated Photos (1)



1. Douglas Crescent Elevation



2. Lothian St Elevation



3. NE Extension



4. NE Elevation



5. NE Extension



6. Rear Elevation



15. Enlarged Annotated Photos (2)



7. Roof void - turret



8. Defective slates to Douglas Crescent



9. Patched render



10. Patched render



11. Cracked render



12. Cracked render

15. Enlarged Annotated Photos (3)



13. Salt damaged stone plinth



14. Salt damaged door jamb



15. Plain glass overlay with insulating tape



16. Extract fans cored through leaded glass



17. Surface mounted air handler to annex



18. UPVC downpipe to annex

15. Enlarged Annotated Photos (4)



19. UPVC waste branch to annex



20. Rotten window frames to NE extension



21. Failed plaster ceiling –GFL front room



22. Surface mounted cabling over cornice



23. Switch-gear cupboard built over cornice



24. Surface mounted services & fittings on original hardwood panelling

15. Enlarged Annotated Photos (5)



25. Dry rot to lath to side of 1<sup>st</sup> fl window



26. Evidence of previous structural slapping



27. Evidence of previous structural slapping



28. Evidence of moisture ingress & rot to NE extension store ceiling



29. Previous blocked up opening to GFL



30. Dated tea prep to 1<sup>st</sup> FL