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1:50



**EXISTING MATERIALS:**  
THE CURRENT HOUSE IS CONSTRUCTED WITH A MIXTURE OF FINISHES, MAINLY PAINTED RENDER TO THE ROAD SIDE ELEVATION, WITH A RED/BROWN BRICK PLINTH AND RED BRICK TO THE SIDE AND REAR ELEVATIONS. THE EXISTING WINDOWS AND DOORS ON ALL ELEVATIONS ARE WHITE UPVC DOUBLE GLAZED UNITS. THE MAIN ROOF AND ALL OTHER ROOFS COVERING THE BAYS ETC. ARE FINISHED WITH RED ROSEMARY TILE AND RIDGE TILES. THE DWELLING IS A SEMI-DETACHED

THE PREVIOUS REAR EXTENSION IS FINISHED WITH RED BRICK AND WHITE WINDOWS TO MATCH THE EXISTING. THIS ALSO HAS A ROSEMARY TILE ROOF FINISH.

THE GARAGE HAS LARGE TIMBER GARAGE DOORS AND THE WINDOWS ARE UPVC WITH A BROWN FINISH ON THE FRAMES.

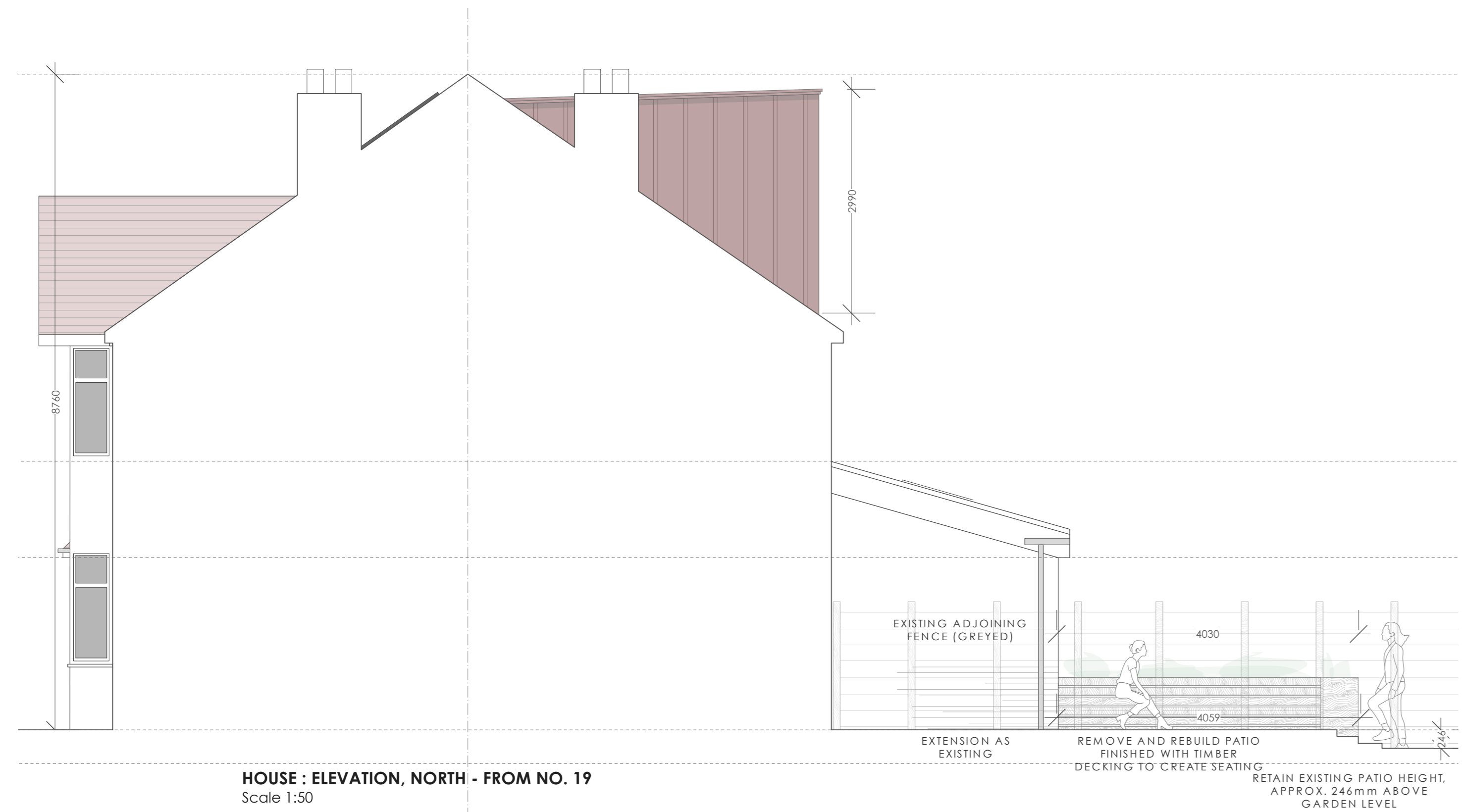
**PROPOSED MATERIALS:**  
THE PROPOSALS SEEK TO MINIMISE THE IMPACT OF THE DORMER BY USING A METAL STANDING SEAM FINISH OF A SIMILAR RED COLOUR TO BEND INTO THE EXISTING ROSEMARY TILE ROOF.

THE REMOVAL OF THE SIDE ACCESS DOOR WILL BE INFILLED WITH REDBRICK TO MATCH EXISTING.

THE DORMER EXTENSION IS ONLY POSSIBLE FOLLOWING REMOVAL OF THE HIPPED ROOF AND EXTENDING THE GABLE. THIS WILL BE FINISHED IN RED BRICK TO MATCH THE EXISTING AND THE EXTENDED ROOF WILL BE FINISHED WITH THE EXISTING ROSEMARY TILES. THERE IS ALSO THE INTRODUCTION OF A WINDOW INTO THIS ELEVATION WHICH WILL PROVIDE LIGHT ONTO THE STAIRWELL. FINALLY THE INTRODUCTION OF ROOF LIGHT TO THE ELEVATION. ALL THESE PROPOSALS ALL SEEK TO RATIONALISE THE SEMI-DETACHED DWELLING AND REINSTATE A MORE SYMETRIC ELEVATION WITH THE NEIGHBOURING PROPERTY WHICH HAS ALSO UNDERTAKEN A DORMER EXTENSION.

THE NEW WINDOWS AND DOOR TO THE DORMER AND GROUND FLOOR WILL BE POWDER COATED, DOUBLE GLAZED, ALUMINIUM FRAMED UNITS. THE CREATION OF A LARGER SINGLE OPENING IN THE REAR ELEVATION CONNECTS THE LIVING AND GARDEN SPACES AND ALLOWS INTERNAL REORDERING WHICH UPGRADE THE GROUND FLOOR SPACES TO MEET MODERN FAMILY LIVING. THE INTRODUCTION OF A SIDE WINDOW TO THE EXISTING EXTENSION IS AT LOW LEVEL AND IS NOT HIGH, THIS WILL BRING IN MORNING LIGHT AND WILL NOT OVERLOOK.

REMOVE EXISTING PATIO AND INTRODUCE NEW, SLIGHTLY LARGER DECKING TO ALLOW BOTH INTERNAL AND EXTERNAL LIVING AREA TO FLOW AND MAKES THE MOST OF THE GENEROUS AND SOUTH FACING GARDEN ORIENTATION. PATIO TO REMAIN AT EXISTING HEIGHT, APPROX. 250mm HEIGH FROM GARDEN LEVEL. TO MAINTAIN GAP TO BOUNDARY TO RETAIN SHRUBS TO EXISTING BOUNDARY WALL.



HOUSE : ELEVATION, NORTH - FROM NO. 19  
Scale 1:50



HOUSE : PRINCIPAL ELEVATION, EAST



HOUSE : SIDE ELEVATION, SOUTH



HOUSE : REAR ELEVATION, WEST

Rev.	Date	Revision Notes
A	MAY 2023	AMENDMENTS FOLLOWING COMMENTS FROM SETION 13.05.2023
B	MAY 2023	AMENDMENT TO NORTH ELEVATION HEIGHTS SETION 14.05.2023
C	JUNE 2023	AMEND DETAILS TO PATIO, DISCUSSION WITH J.FORSYTH 28.04.2023
D	APRIL 2024	NON-MATERIAL AMENDMENT TO REAR AND SIDE ELEVATION

Project Title	
CAMBRIDGE AVENUE SOUTHPORT	
Drawing Title	
PROPOSED HOUSE ELEVATIONS	
Drawing No.	Revision
2222.03.03	D
Date	Scale
APRIL 2023	1:50 @ A1
Drawn by : SAL	Checked by : JMC