

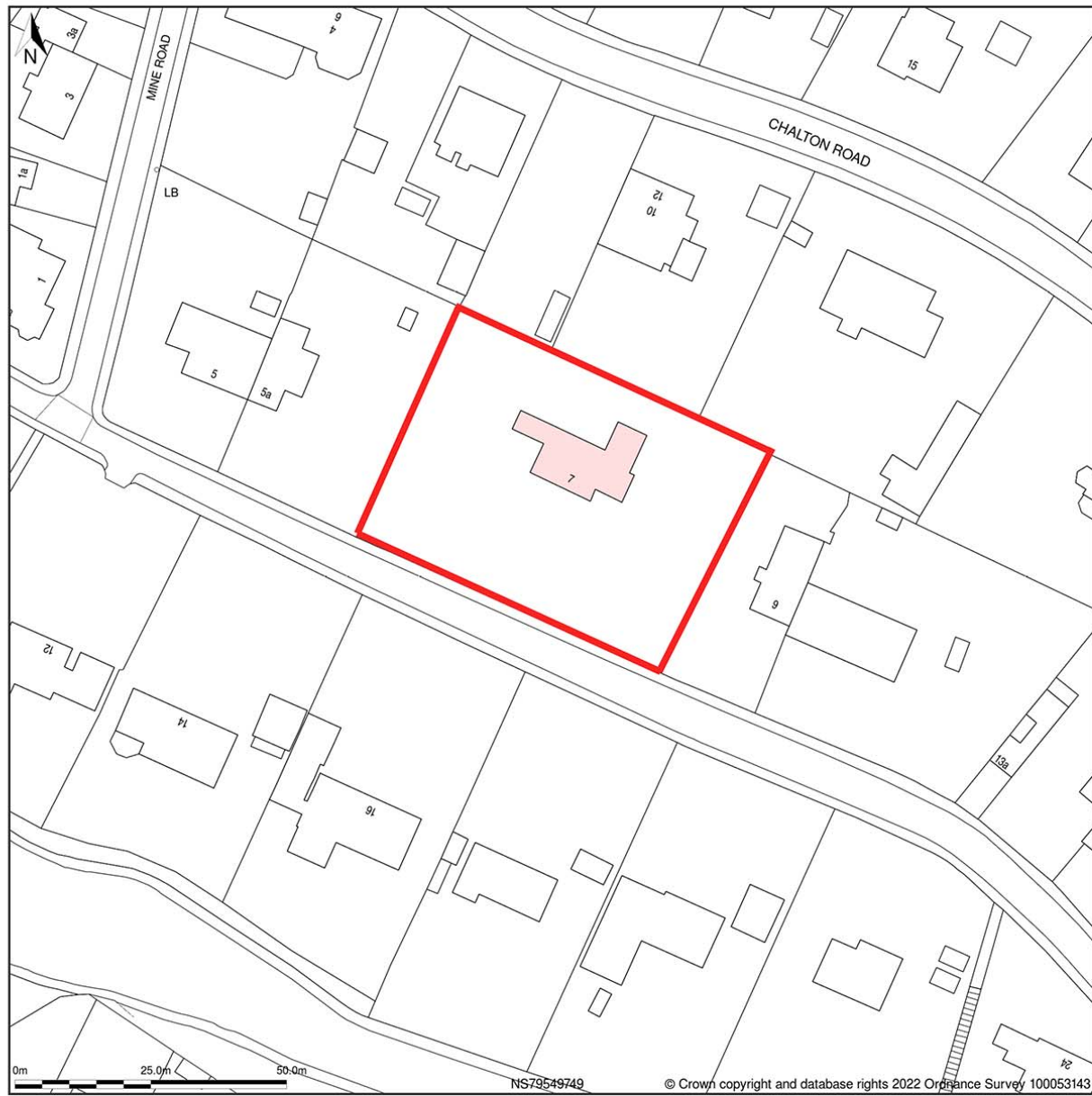
PROPOSED EXTENSION AND ALTERATIONS
TO
EXISTING GRADE C LISTED DWELLING HOUSE
AT
7 KENILWORTH ROAD,
BRIDGE OF ALLAN,
FK9 4DU

FOR MR AND MRS TAYLOR

28/03/24



ALLY CROLL
ARCHITECT



LOCATION PLAN AS EXISTING
SCALE 1:1250



HISTORIC PHOTOGRAPHS PROVIDED BY HISTORIC SCOTLAND/ CANMORE IMAGES

Description of the property taken from Historic Scotlands' Listing;

Circa 1850. 2-storey villa, coursed rubble, 1-window between 2 canted bays and centre architraved and bracketted doorpiece, gabled roof, eaves unfortunately cut back. Lower 2-storey 1-window wing, rubble, slated roofs. Statement of Special Interest; Formerly Kenilworth.

Existing Property, Context and setting

The property is located to the west end of Kenilworth road and is set back from the road within mature private gardens. Large, mature trees and bushes screen the property from the street and it cannot be readily seen as you pass by. The property is largely built from coursed rubble sandstone, with dressed Ashlar to the main front elevation (this has been crudely repaired historically with an overcoat), dressed stone quions, cills, lintels and architraves; similar to other neighbouring properties and is a 2 storey building as described above. A low level garden sandstone wall provides a boundary to the garden ground, with original iron railings removed, as are other nearby properties, although some of the neighbouring properties have new metal railings, gateposts and gates installed. We have recently received Planning consent to install new railings, gateposts and metal gates and associated works- Planning ref; 22/00382/FUL and Listed Building ref; 22/00383/LBC. The garden is bound by stone walls on all edges, with the ground level rising to the rear (north). The ground level is held back by a retaining wall to the rear, where the ground rises. a level plateau has been created historically for the construction of the house and creation of the lawn and garden. The existing windows and doors are timber with a painted finish- the windows are all finished white. A large brown UPVC and timber conservatory has been added in recent years to the west elevation- out of keeping with the quality of materials and design of the original buiding, surrounding properties and wider Conservation Area. The roofs are all finished in natural slate, other than the monopitch roof over the garage and utility areas, which have a felt finish and the glass and UPVC roof to the conservatory to the west. It seems the existing garage to the east side has also been altered or has possibly been an add-on, historically, due to the wall finishes (roughcast) and the flat/ monopitch roof finish.

The property has a main floor plan area, with a lower wing to the east (steps down into from both ground and upper floor levels), with the garage/ utility areas tucked behind the east wing. A curved narrow driveway provides access to the house with an in and out arrangement at either end of the street front elevation.

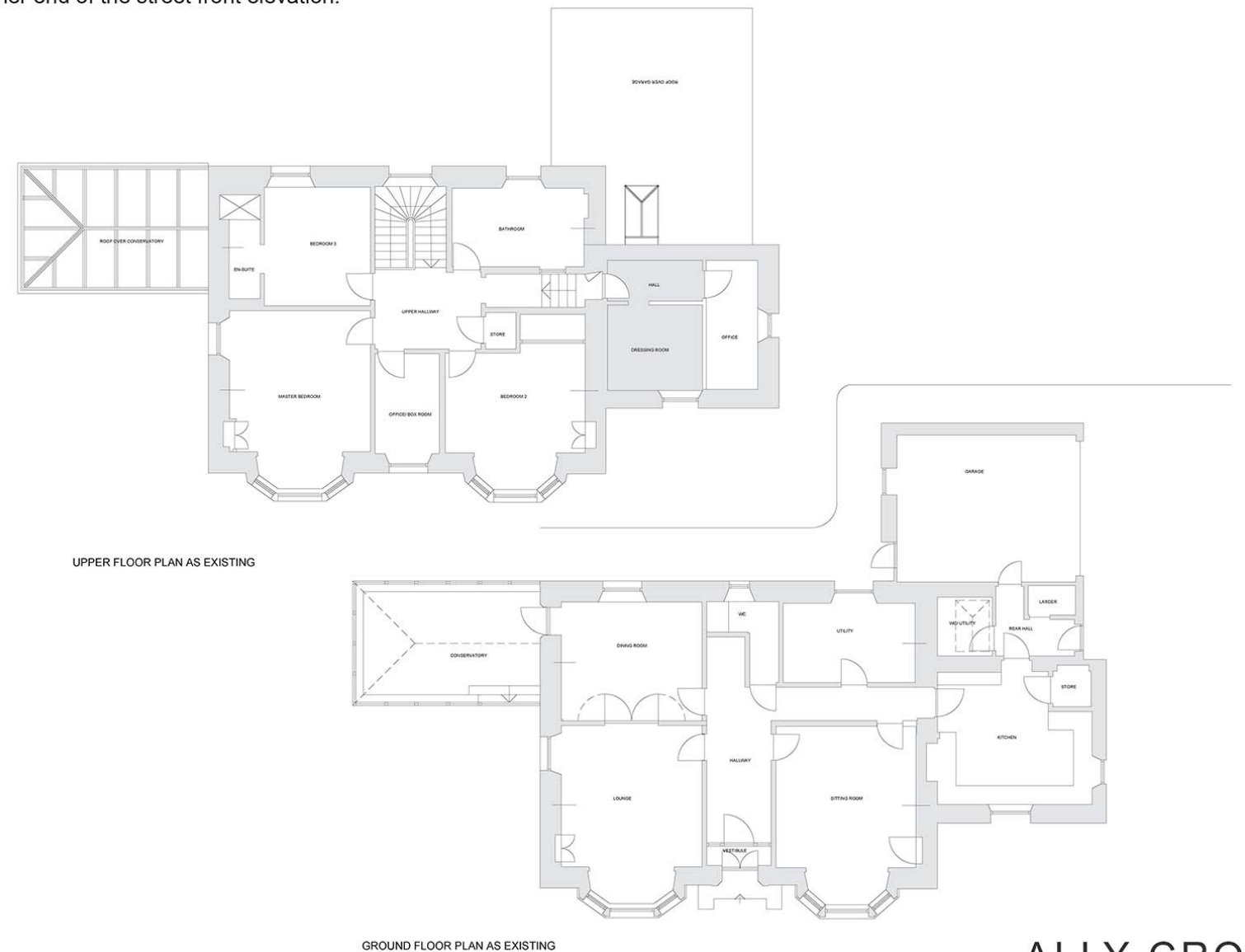




PHOTO 1. LOOKING TOWARDS PROPERTY AT EAST DRIVEWAY ENTRANCE.



PHOTO 2. STREET FRONT LOOKING FROM WEST TO EAST TOWARDS WEST DRIVEWAY ENTRANCE.



PHOTO 3. LOOKING TOWARDS PROPERTY AT WEST DRIVEWAY ENTRANCE. EXISTING HOUSE SCREENED BY MATURE GARDEN



PHOTO 4. VIEW OF PROPERTY FROM EAST SIDE DRIVEWAY APPROACH.



PHOTO 5. EXISTING PROPERTY TO WEST



PHOTO 6. EXISTING PROPERTY TO EAST



PHOTO 7. VIEW OF PROPERTY FROM WEST SIDE DRIVEWAY APPROACH (ONLY PARTIAL VIEW OF CONSERVATORY CAN BE SEEN).



PHOTO 1. FRONT AND EAST SIDE ELEVATION.



PHOTO 2. EAST ELEVATION, SHOWING MONOPITCH ROOF OVER GARAGE/ UTILITY AREA.



PHOTO 3. FRONT ELEVATION, SHOWING CONSERVATORY TO WEST.



PHOTO 4. REAR ELEVATION LOOKING AT NORTH ELEVATION OF GARAGE.



PHOTO 5. VIEW OF NORTH ELEVATION, OBSCURED BY EXISTING GARAGE



PHOTO 6. WEST ELEVATION SHOWING CONSERVATORY AND CHANGE IN GROUND LEVELS TO REAR.



PHOTO 7. INSIDE OF EXISTING DINING ROOM WINDOW, WHERE CILL PROPOSED TO BE DROPPED.



PHOTO 8. CHANGE IN GROUND LEVEL AROUND EXISTING GARAGE, WITH EXISTING STONE GARDEN WALL TO RIGHT IN BACKGROUND



PHOTO 9. VIEW OF RAISED GROUND TO REAR, SHOWING EXISTING GARAGE SET WITHIN HIGHER GROUND.



PHOTO 10. VIEW OF WEST ELEVATION OF EXISTING GARAGE, WITHIN RAISED GROUND, WITH EXISTING REAR BOUNDARY WALL IN BACKGROUND

Clients Brief

Our Clients have recently moved into the property and have a young, growing family, along with 3 dogs. Their immediate family live in Australia and they would like to be able to have them over to visit on special occasions and for extended holidays at Christmas and during the summer; to be around their children, to assist and be part of their lives as they grow up. As such they require to create additional accommodation and space for them to live in whilst they are over.

Previously approved extensions and alterations ref; 23/00252/LBC AND 23/00281/FUL.

- We have recently been granted approval as above ref, for the removal of the existing out of keeping conservatory to the west elevation and new single storey extension to the west to form a new open plan kitchen, family, dining area, with utility and playroom to the rear in its place.
- The extension is designed to sit behind a high, dressed, ashlar stone, parapet garden wall, with a 'flat' zinc roof finish over. Charred or dark, vertical timber cladding is proposed to the side and rear elevations, with semi coursed rubble sandstone to the lower walls. A new patio and BBQ area is approved to the west also.
- The approval also converts the existing garage into a new gym space, with floor raised to match the existing house, utilising existing openings within the walls.
- The approval grants permission to remove the existing felt, monopitch roof over the garage and construct a new upper floor level over this, to create a new master bedroom suite. This upper floor extension sits behind the existing east annex with a pitched roof and flat section at the top. This extension is proposed to be finished in dark or charred, vertical timber cladding, with the roof finished in zinc, to match the west side elevation. The existing roughcasted, east facing, lower wall of the garage is proposed to be repaired as required and a new smooth render installed in a buff or light grey colour.
- The approval grants consent for associated internal alterations and the reconfiguration of the existing kitchen and utility areas, adjacent to the garage, to be altered to form a small snug cinema room and bootroom.

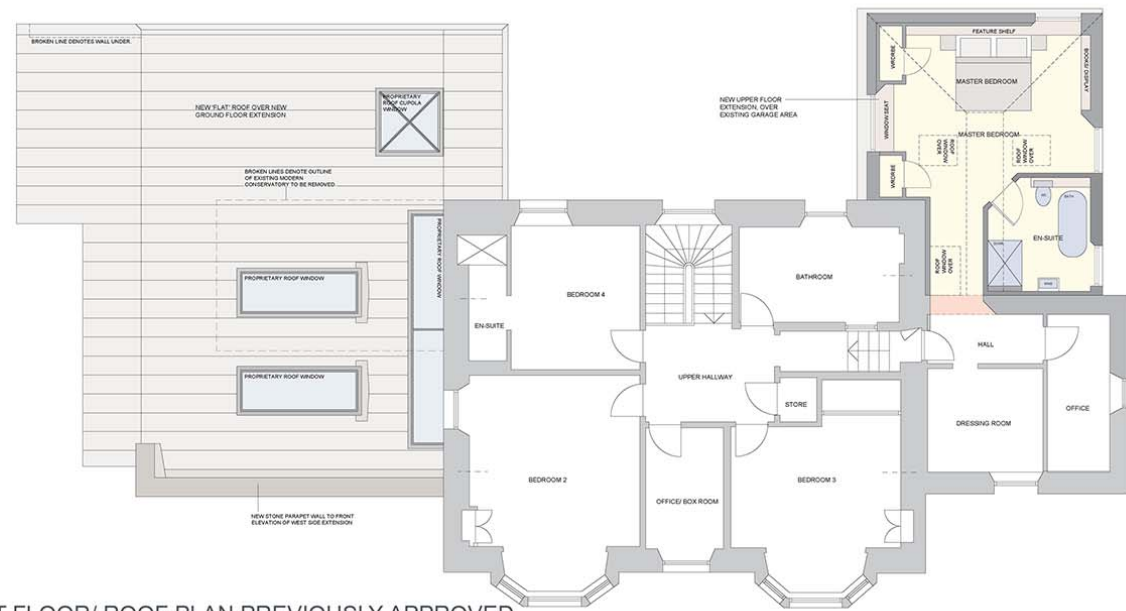
See adjacent for previously approved floor plans, yellow denotes extended areas.

Proposed Extensions and Alterations

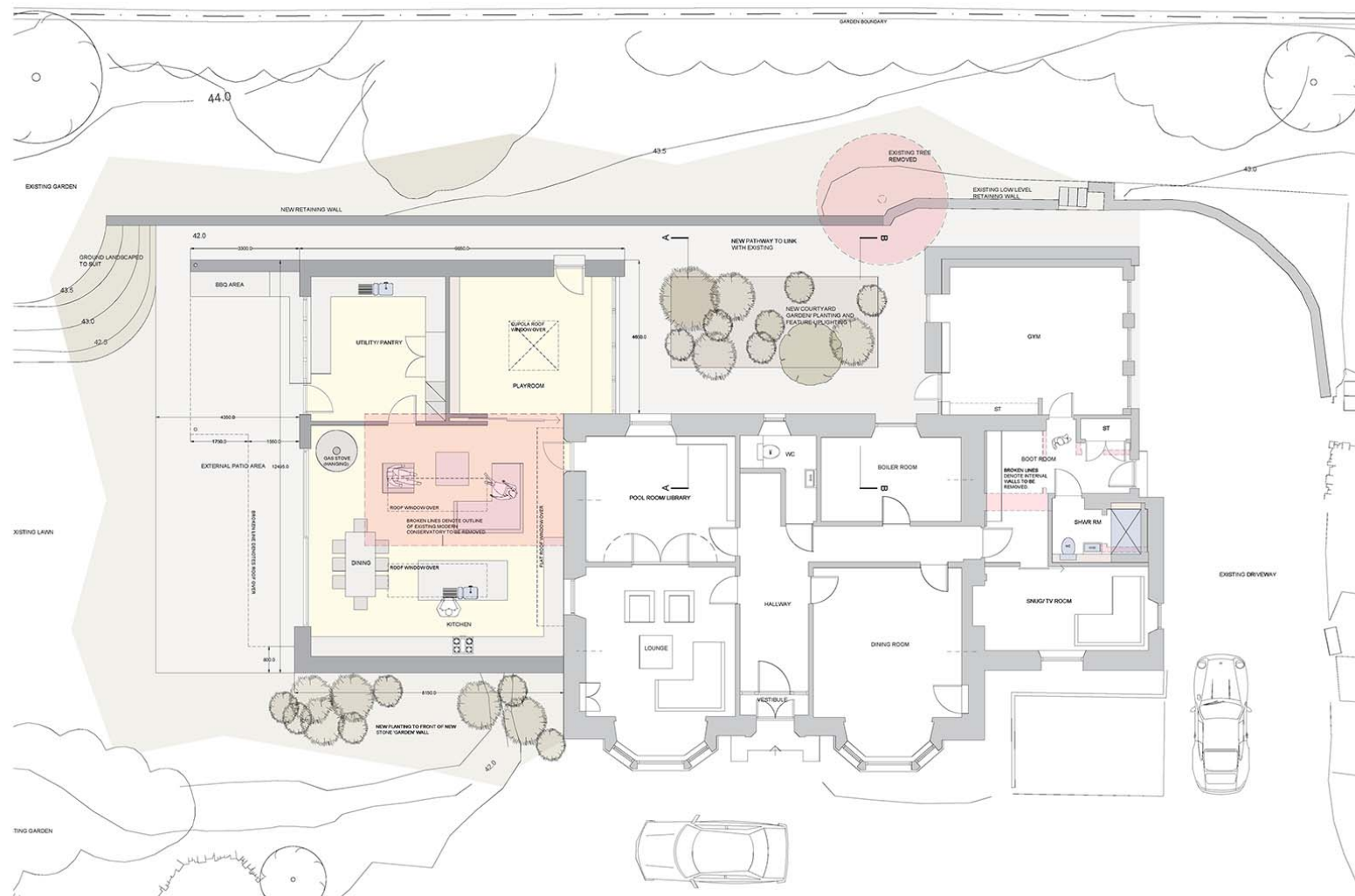
The proposal is for the construction of a new guest annex located to the north/ rear of the previously approved west elevation extension. This will be accessed via a new glazed hallway, linking to the existing dining room window, where the cill will be dropped to create a new doorway. Previously (at pre-application stage), the annex was proposed to be over 2 stories and have a larger footprint. Following pre-application feedback received, we have reduced the footprint and altered the building to a single storey.. This in turn retains almost all of the rear elevation within view, and does not create an enclosed courtyard as previously proposed. We have also omitted the rear courtyard enclosure/ swimming pool area, subsequently proposed at pre-application stage. The new annex will be cut into the sloping/ higher ground level to the rear, similar to the existing garage, albeit with the ground level meeting the new walls of the annex, rather than cutting a lower path around its perimeter. This allows the rear annex to sit low at the same level as the existing house, with the ground rising around it. Due to the annex being located to the rear of the west extension; although the roof can be seen slightly in elevation as drawn, in reality, this will not be seen from the front elevation, due to the high, parapet 'garden wall' approved to the front of the west extension. A new pitched roof is proposed over the new annex with zinc cladding to match the previously approved extensions. The walls are also proposed to be finished in matching materials; coursed rubble sandstone to the lower areas and charred or dark vertical timber cladding to the upper wall areas. A pressed metal flashing is proposed between the cladding and lower stone area. New metal, dark grey, powder coated windows with slender frames and timber doors are also proposed to match previously approved extensions.

A new standalone garage is proposed to the rear, east side of the existing house. It is proposed to cut this into the higher ground level also, whilst retaining the existing topography around the new building. A new studio room is proposed over the garage, creating a 1.5 storey building. It is proposed to finish the lower walls of the garage in smooth buff or light grey render to match the existing garages approved finish, with dark, Cedral, vertical cladding to the upper floor, to match the timber cladding; due to proximity to the boundary. This material has been found acceptable on other nearby projects within the Conservation area.. New metal, powder coated, dark grey windows and timber door to match the approved extensions, with a powder coated, metal up and over garage door in a similar style to the vertical cladding.

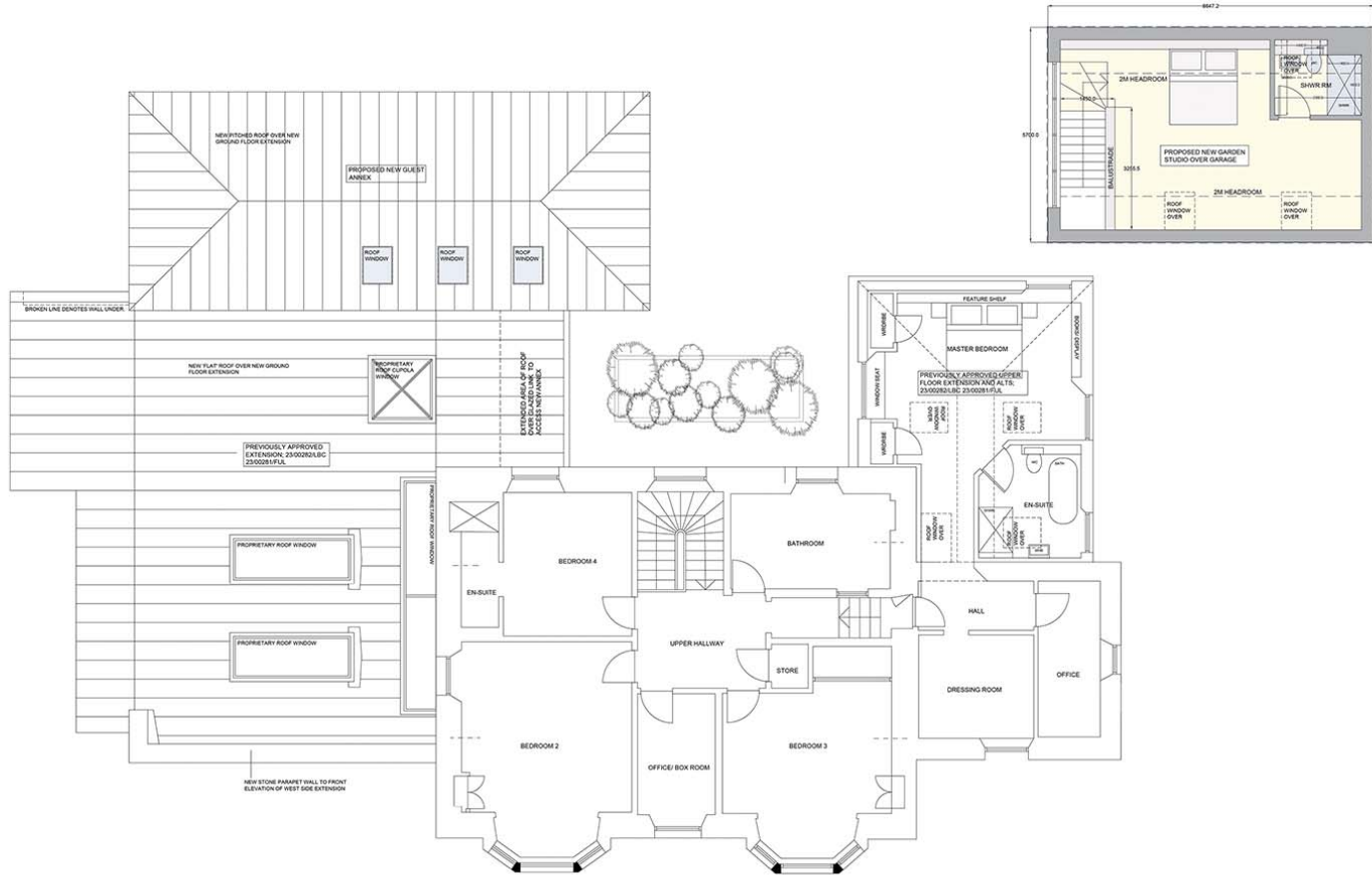
The new guest annex and garage will tie in with the aesthetics of the previously approved extension and alterations.



FIRST FLOOR/ ROOF PLAN PREVIOUSLY APPROVED.
NTS



GROUND FLOOR PLAN PREVIOUSLY APPROVED.
NTS



PROPOSED FIRST FLOOR/ ROOF PLAN
NTS

Proposed Extensions and Alterations

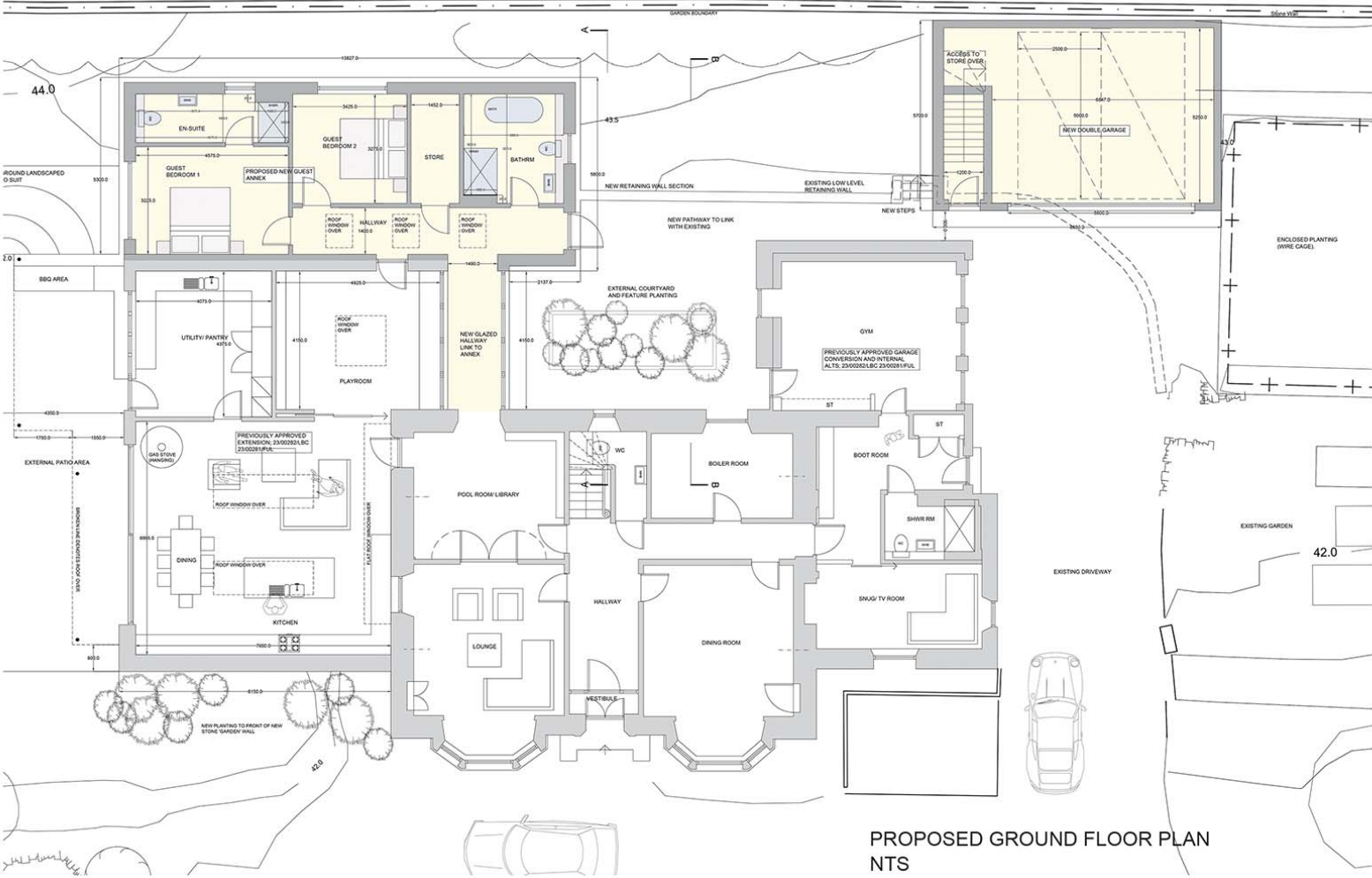
The proposal is for a new guest annex located to the north/ rear of the previously approved west elevation extension. This will be accessed via a new glazed hallway, linking to the existing dining room window opening, where the cill will be dropped to create a new doorway.

Previously (at pre-application stage), the annex was proposed to be over 2 stories and of a larger footprint, extending further in front of the rear elevation. However, following pre-application feedback received, we have revisited the design and reduced the footprint, along with removing the proposed upper floor; changing the proposed annex to single storey. As a result, almost all of the view of the rear elevation is left exposed, other than the connecting hallway area at the former dining room window. This also addresses comments regarding an enclosed courtyard being created to the rear. At pre-application stage we also sought feedback on enclosing the rear courtyard area created, to enclose a swimming pool or garden room. This has now also been omitted and leaves the rear elevation of the house largely unaltered.

The new annex is proposed to be cut into the sloping, higher ground level to the rear, similar to the existing garage, albeit with the ground level meeting the new rear wall of the annex, rather than a pathway being cut around the building. This allows the rear annex to sit low in the ground. Due to the annex being to the rear of the west extension, although seen slightly (as drawn) on the front elevation; in reality, this will not be seen from the front elevation, due to the high garden wall proposed to the front of the approved west extension. A new pitched roof is proposed over the new annex with zinc cladding to match the previously approved extensions. The walls are proposed to be finished in matching materials to the approved extension; coursed rubble sandstone to the lower areas and charred or dark vertical timber cladding to the upper wall areas. A pressed metal flashing is proposed between the cladding and lower stone area as previously approved extension. Windows and doors will also match the approved extension; metal with slender frames and timber doors.

A new garage building is proposed, standing separately from the main house and to the rear east side of the building. It is proposed to cut this into the garden ground at the rear of the house; retaining the existing topography around the new building. A new studio room is proposed over the garage, creating a 1.5 storey building. It is proposed to finish the lower walls of the garage in smooth buff/ light grey render to match the existing garage approved finish. The walls of the upper areas of the garage are proposed to be clad in Cedar cladding, in a dark colour to match the timber cladding; due to proximity to the boundary. This material has been found acceptable within the Conservation area on other proposals recently. Window and doors to be similar to the approved extension, with a metal up and over garage door in a similar vertical style to the cladding. The new guest annex and garage extensions/ building will tie in with existing approved aesthetics of the extension and alterations.

See proposed plan drawings adjacent with new extension areas highlighted yellow.



PROPOSED GROUND FLOOR PLAN
NTS

CHARRED OR DARK, GREY, VERTICAL, TIMBER CLADDING



LIGHT GREY STONE, OR POLISHED CONCRETE FINISH TO PATIO AND PATHS TO REAR



VERTICAL TIMBER CLADDING WITHIN A WIDE OPENING SIMILAR TO GARAGE DESIGN.



IDEA OF UPPER GLAZED GABLE TO GARAGE



IDEA OF TIMBER CLADDING OVER STONE LOWER WALL WITH METAL FLASHING BETWEEN



GREY ZINC ROOF WITH STANDING SEAM



CHARRED/ DARK TIMBER CLADDING ADJACENT TO NATURAL STONE



DARK CLADDING OVER LOWER STONE WALL, / BUFF RENDER SIMILAR TO UPPER FLOOR OVER GARAGE

Materials

Materials proposed are to be of a high quality and to work well alongside the existing Listed Building and wider Conservation Area.

Charred or black/ dark grey coated timber cladding finish is proposed to the upper wall area of the new annex extension. Dark Cedral cladding is proposed to the upper walls of the new garage studio, to tie in with this. All to be installed vertically, to give a slender finish.

A coursed rubble sandstone wall is proposed to the lower wall area of the new annex, to match the side and rear elevations of the existing approved extension; to tie in with the aesthetics of the side and rear walls of the existing house.

The new garages lower walls are to be finished in smooth buff/ light grey render to match new finish on existing converted garage (as approved).

New standing seam zinc roofs in a prepatinated grey colour to both the new rear annex and new garage, will work in harmony with the existing grey slate roofs and flashings and will match and tie in with the existing approved extensions.

New windows all to be metal with slender sightlines and finished in a grey powder coated finish. New doors where shown solid, to be finished in charred or dark timber cladding to match the timber cladding wall finish. New up and over metal, powder coated garage door in a style to match the timber/ Cedral cladding.

New paths to match existing approved grey polished stone slabs, tiles or concrete paths/ patios, taken along rear garden wall as shown and along past new garage connecting to driveway area.

The new half height/ low retaining wall to the rear will be formed in coursed rubble sandstone with a new stone cope to match existing rear retaining wall (as previously approved). Ground levels to be landscaped to suit, inkeeping with the existing raised garden design to the rear- see contours on site plan. Ground levels to rear around new buildings to remain as existing.

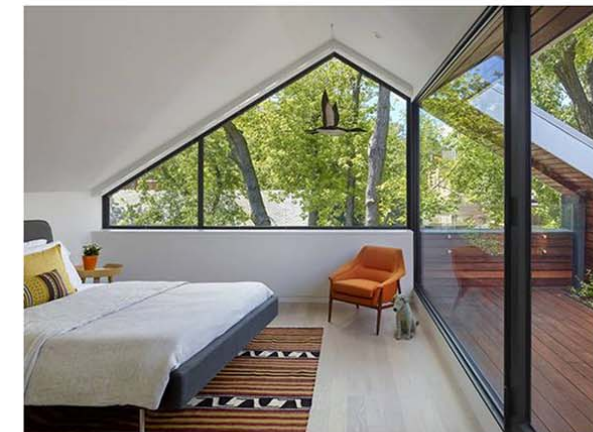
Proprietary pitched roof windows as shown- will be finished grey where frames show, by 'Roofmaker' and 'The Rooflight Company' or similar- to be compatible with zinc roof.

Gutters and Rainwater pipes to be zinc or metal with finish to match and be compatible with zinc to match previously approved.

See adjacent precedents to describe ambience, colour, textures and form.



GLAZING SUBDIVISION TO UPPER FLOOR OF GARAGE



IDEA OF HALF HEIGHT GABLE GLAZING AS VIEWED INTERNALLY.

Pre-application process introduction.

During the development of the design, we submitted a detailed pre-application for proposals, incorporating the west extension, a rear 2 storey annex building (connected), an upper floor extension and subsequently an infill extension to the rear with swimming pool.

Following this feedback, we altered and developed proposals for a west side single storey extension, upper floor east side extension and garage conversion and associated alterations. These proposals were approved ref;23/00282/LBC and 23/00281/FUL.

Our submitted design takes on board the comments from Planning during pre-application stage in relation to the rear annex and infill courtyard area. The proposal for the rear annex is reduced in footprint and reduced to a single storey design. This prevents any rear enclosed courtyard as initially proposed. We now also omit the swimming pool, enclosed courtyard element, in turn leaving the rear elevation almost entirely exposed as existing.

In the text adjacent and the following 2 pages, we have copied the relevant feedback received from Planning in sections, with our responses/ actions to each issue raised underneath the relevant section, as a record of the pre-application design process.

Responding to Planning Policy and Key Issues Raised within Pre-application.

Pre-app feedback;

Policy 7.2 states that new development shall 'preserve or enhance its character, appearance, and setting...respect the architectural and visual qualities of the area, have regard to the character of the area as identified in the relevant Conservation Area Character Appraisal, and should:

(i) Relate well to the density and pattern of existing development; the design, massing, scale, and materials used in surrounding buildings; means of access and boundary and landscape treatments such as walls, railings, trees, and hedges. The subject property has a footprint of approximately 225m2 and sits in a spacious plot, however the proposed extensions would have a combined footprint of approximately 180m2 which would result in development of a significant scale by almost doubling the existing footprint within the plot.

Our response;

Comments on additional footprint; The subject property has an existing footprint of circa 228m2. The proposed extensions as previously submitted, amounted to circa 200m2 of additional footprint. Following the pre-application, we have reduced proposals as described; the proposed footprint of extended area, including the previously approved extension results in an additional footprint of 192.5m2 (82.8m2 of this is the new annex proposed). The plot itself is circa 2829m2. The existing building, plus the proposed extended footprint area and the new garage (49.2m2) results in only circa 16.6% of the large plot being developed. This is not out of keeping with the Conservation Area, with many plots where the building is far more dominant and building to plot ratio far greater than this.

Pre-app feedback;

The Bridge of Allan Conservation Appraisal states where the subject property is located on Kenilworth Road in the Upper Town, the pattern of development follows 'the contours and slope of the hillside' (p.21). Due to the position and scale of the proposed rear annexe extension, significant earthworks due to the rising ground would be required which would ultimately change the landscape of which the original property was designed around. Furthermore, the annexe would not only obscure the majority of the rear elevation of the existing building which faces north, it would also result in the creation of an enclosed courtyard that would be dark and unwelcoming due to the lack of light.

Our Response;

We note your comments, however, the rear elevation of the property was not designed to be viewed as a main elevation and cannot be seen from the street, is a long distance from the house in the plot behind and sits at a lower level. The existing garden was cut into, to create a level platt for the original house, therefore the premise of cutting into the landscape to extend simply repeats this process. The landscape remaining would be reinstated/ left as existing levels- wrapping up and around the rear of the annex and to either side of the new garage building. As previously described, we have reduced the footprint of the annex and reduced to single storey, leaving the view of the rear elevation mostly intact.



SOUTH ELEVATION (FRONT) AS PROPOSED
NTS



WEST ELEVATION (SIDE) AS PROPOSED
NTS



NORTH ELEVATION AS PROPOSED
NTS

Pre-app feedback;

The Upper Town of the Conservation Area derives much of its character from the nature of materials and design components used that are harmonious, consistent and coherent such as slate, exposed blond/ochre/buff sandstone, coursed dressed rubble construction, finely dressed stone margins, quoins and door pieces and timber sash & case windows now painted white. The proposed materials to be used in the development are all modern with no obvious connection to the material palette of the existing house or that of the wider Conservation Area; such a sharp contrast detracts and overpowers. It is therefore recommended that a blend of traditional and modern materials are used more sympathetically to achieve a balance between contrast and harmony with modern materials being located discreetly to the rear and the principal and visible elevations with a more traditional finish.

Our Response;

We have designed the proposed extension and alterations as simple modern interventions; allowing the original house to be read on its own, with a clear line between what is historic and what is new. High quality finishing materials are proposed, which will work harmoniously alongside the existing natural stone, slate, and timber of the existing building. The previously approved application sets the precedent for this.

The pitched zinc roof over the guest annex, although seen as drawn in elevation, will not readily be seen in reality, over the previously approved dressed ashlar 'garden wall' to the front of the previously approved west side extension. Note, we propose to raise this wall slightly from existing approval, due to technical requirements of the zinc roof. See elevations.

The new garage building located to the rear, is standalone and sits within the landscape along the rear wall. This will be read as a single storey building from the garden behind, due to the ground level siting higher.

As with the previously approved extensions and alterations, the location of the proposed extension proposes minimal changes to the existing Listed Building, its historic main form and setting. Access to the extension is incorporated through an window opening, altered to form a doorway. The extension is designed to sit low, within the landscape and will not appear overbearing from the plot behind. It is required to provide much needed accommodation for the applicants extended family to visit regularly from Australia.

As mentioned previously- materials will all match those as previously approved, which work well adjacent to the existing Conservation palette of materials.



ANNEX EXTENSION CAN BARELY BE SEEN BEHIND 'GARDEN WALL' AS PREVIOUSLY APPROVED.

Pre-app feedback;

Based on the submitted draft plans, the proposal would not meet the criteria of Policies 7.2 and 7.4 due to its adverse impact on the character, appearance and setting on the Conservation Area.

Policy 7.3 states that 'the layout, design, materials, scale, siting and use of any development must preserve the character of the Listed Building and its setting.' Many of the issues discussed above are also relevant with regards to the subject property in terms of its designation as a Category C Listed Building: the excessive scale of the rear annexe and western gable; the use of a flat roof with very little setback from the principal elevation; the use of only very modern materials throughout the proposal - all these separate elements combine to have an overwhelmingly adverse impact on the character of the listed building.

The applicant is therefore advised to reconsider the scale, siting, and materials in order to achieve a design that is sympathetic to the character of the existing building. The subject property is a classic example of its time with its use of traditional materials and a clear design emphasis of symmetry and proportion; HES Managing Change: Extensions is explicit in its advice that 'an extension that would unbalance a symmetrical elevation and threaten the original design concept should be avoided' (p.5).

Our Response;

All points responded to and accepted/ agreed with Planning during pre-application and subsequent Planning approval received for extensions and alterations ref; 23/00282/LBC and 23/00281/FUL. We now apply to add a reduced size annex scheme and new build garage to this previously approved design.

Pre-app feedback;

A more appropriate design solution could be achieved by adding on a wing to the western elevation that reflected what is already there on the eastern elevation. This would also remove the requirement for extensive groundworks at the rear of property which the current proposal would involve and which would alter the setting of the listed building potentially creating a different feel due to the new boundary created from the rear elevation of the proposed annexe. HES Managing Change: Extensions notes that 'extensions have the potential to impact on the setting of adjacent historic buildings, which should be taken into account when considering a proposal' (p.4). Given the close proximity of the proposed rear annexe to the shared rear boundary with the property at no.10-12 Chalton Road which is also listed, potential impacts on its setting should be considered.

Response;

The annex has been reduced in footprint and changed to a single storey building; meaning it is now less than half the size of the original proposal. The new garage will be viewed as single storey from the garden behind due to ground levels. The landscaping levels will be retained around the new annex and either side of the garage building, with the section adjacent to the main house, left open as existing.



GARAGE STUDIO APPEARS SINGLE STOREY FROM GARDEN BEHIND.



CGI VIEW LOOKING TOWARDS WEST AND NORTH ELEVATIONS.



CGI VIEW LOOKING TOWARDS EAST AND SOUTH ELEVATIONS.



BIRDSEYE VIEW LOOKING TOWARDS NORTH ELEVATION FROM NORTH EAST SIDE.

Design Statement Conclusion.

Following the original detailed pre-application process and subsequent Planning approval received, we have amended and adjusted the design for the rear annex proposal and now formally submit an application for this element.

The proposals allow the main plan form of the existing house to be retained, whilst allowing the building to be adapted to suit the contemporary family life and modern living of a young growing family; allowing the garden to be enjoyed all year round. The design allows the Listed building to largely remain intact with the new annex extension proposed to the rear, tucked in behind the approved west side extension, within the large plot. It will not readily be seen from the front of the property.

The proposed new standalone garage/ studio building, sits to the side of the property, much like a coach house, of which there are many existing and more recent examples of around the conservation area within Kenilworth rod and the surrounding area.

The proposals will not have an adverse impact on the character, appearance or setting of the conservation area or Listed Building; they will work with the existing building, sit subordinately adjacent to it within the large plot and will retain the original plan form of the existing building.

The design and materiality of both the rear annex and new garage building are designed to tie in with previously approved materials and architectural design of the approved extensions and alterations.

The connection from the main house to the new annex is done simply, by utilising an existing window opening, altered to a door and by pulling forward the previously approved roof from the west side single storey extension to create a new glazed hallway.

We look forward to hearing from you and hope following the previous detailed pre-application process and our subsequent design considerations that you can look upon the application favourably.

In the meantime, please do not hesitate to contact this office, should you require anything further.