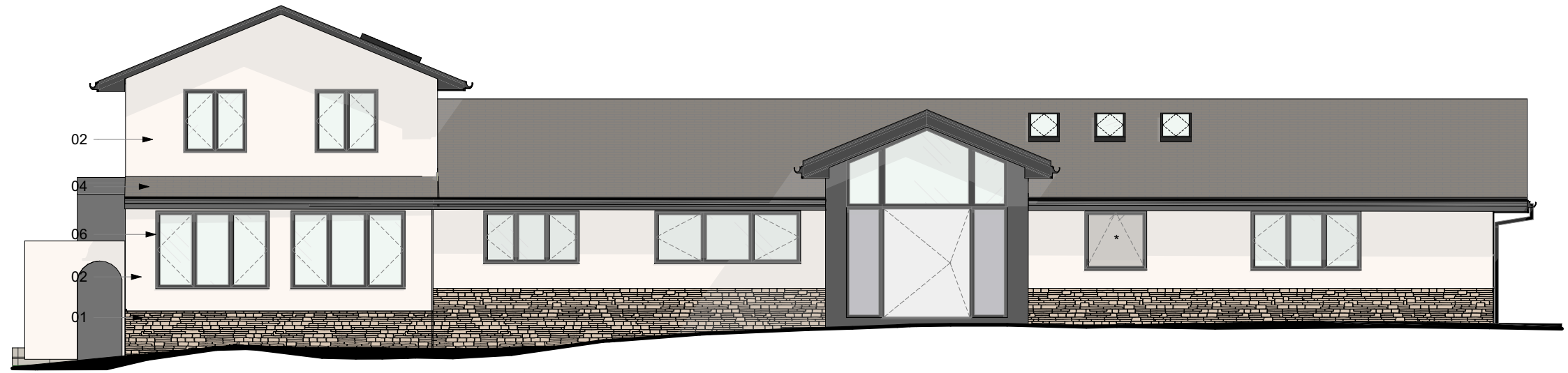
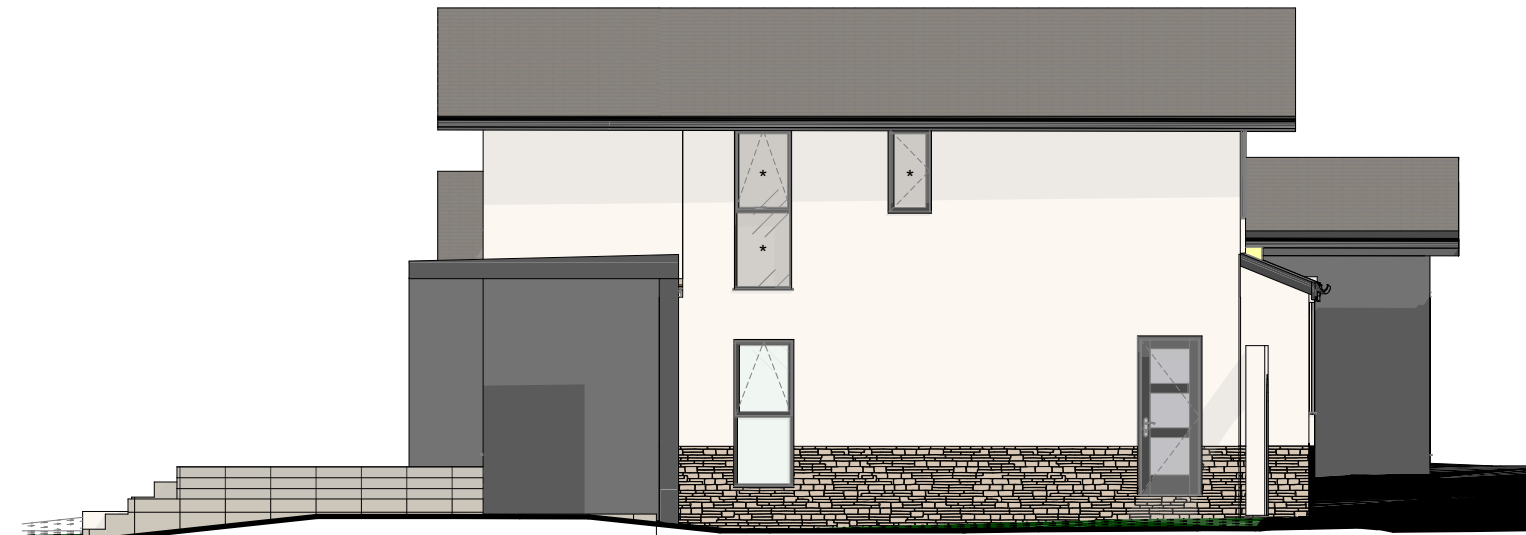


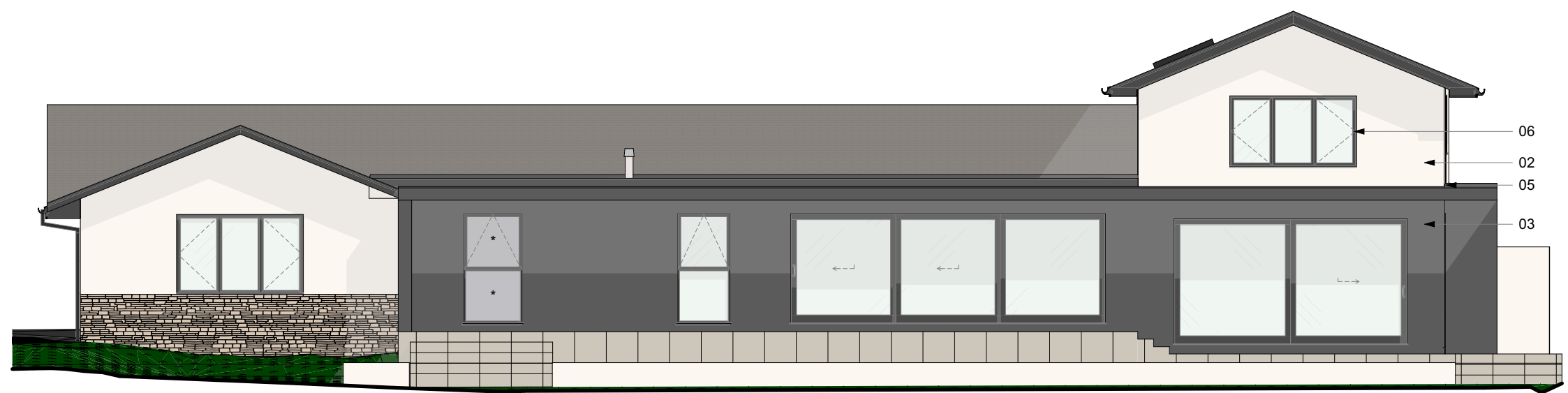
# Proposed



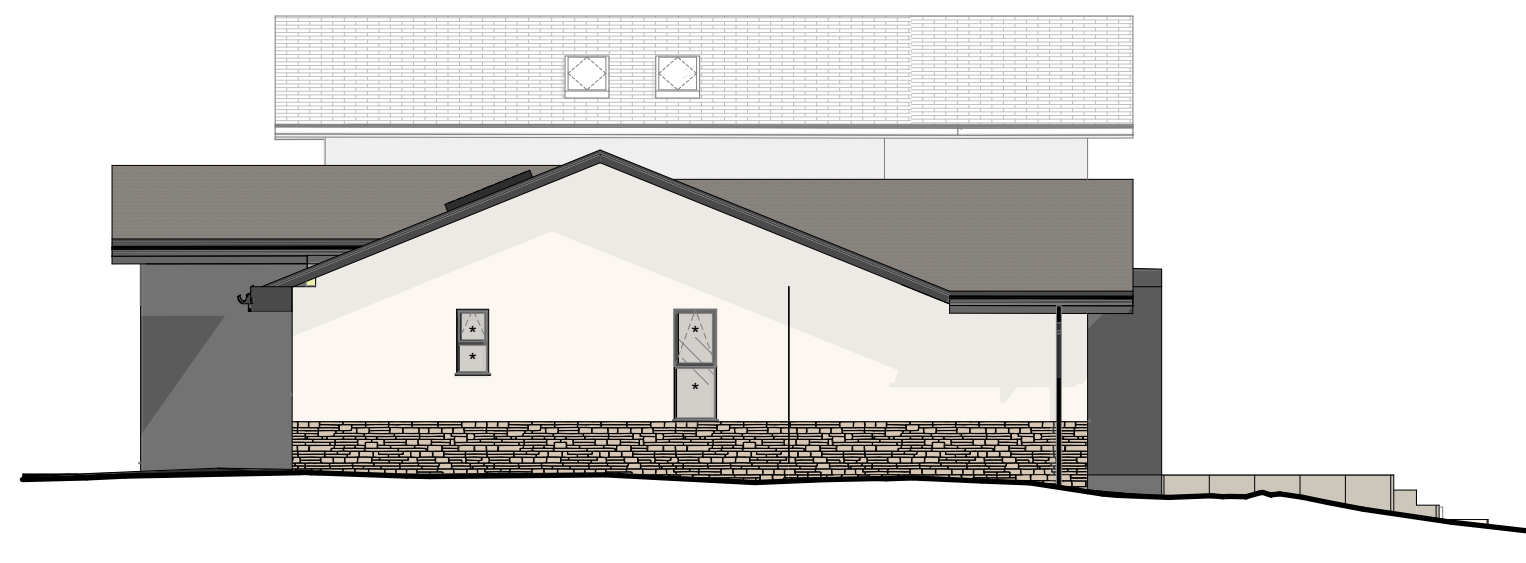
Proposed - Front Elevation  
1:100



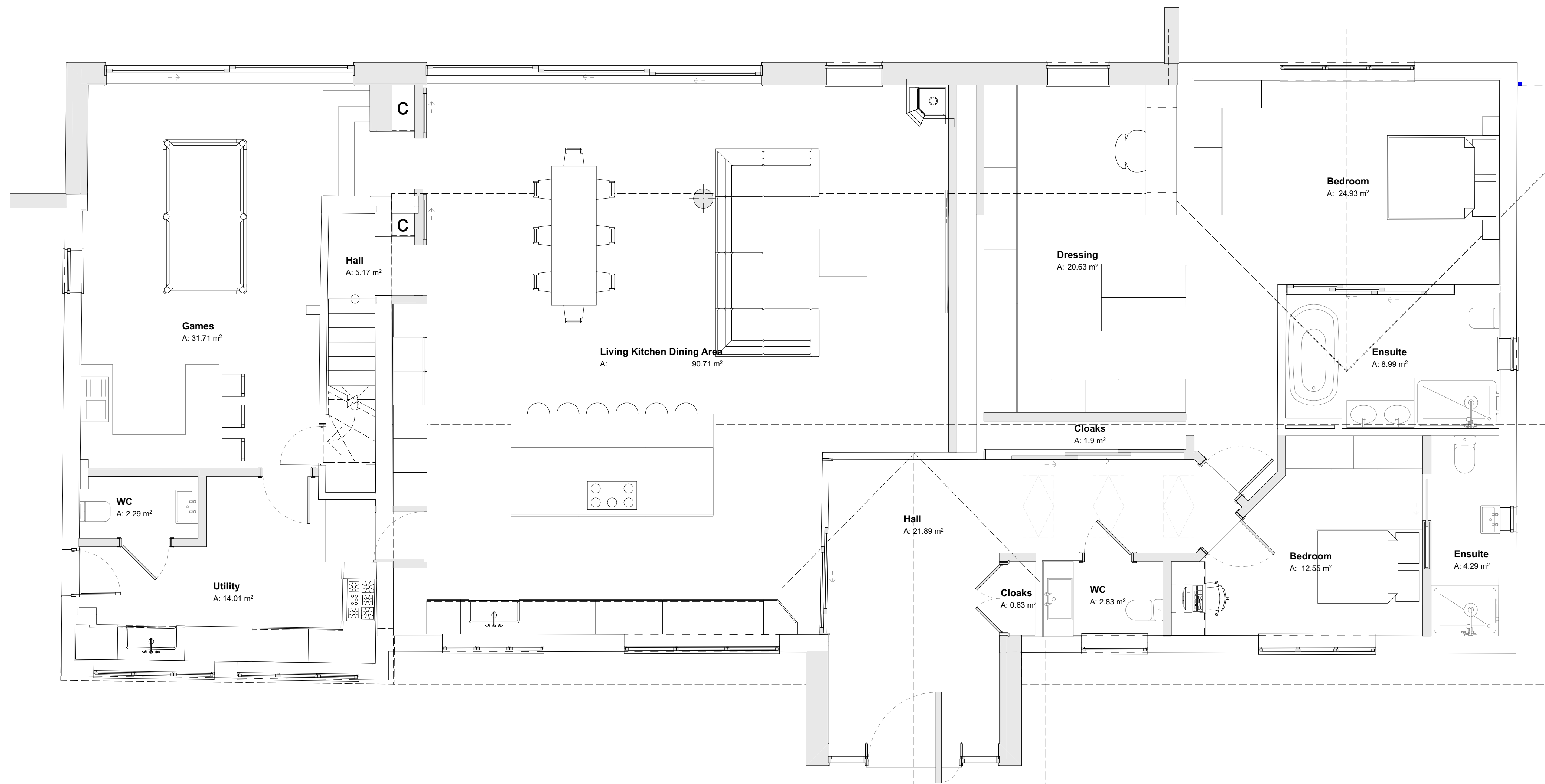
Proposed - Side Elevation  
1:100



Proposed - Rear Elevation  
1:100



Proposed - Side Elevation  
1:100



Proposed - Ground Floor GFL  
1:50

**DRAINAGE (SuDS)**  
A new soakaway will be designed in accordance with Approved Document H & BRE Digest 365, the design allows an increase of 30% for climate change. The proposed hardstanding areas shall be laid with a cross fall so all rainwater shall be directed into the ground locally and within the site boundaries.  
Provide a silt trap to the surface water drainage line so that the silt and debris can be removed before it can enter the soakaway. The silt trap shall be cleared weekly until the development is completed after which a three monthly inspection rota shall be followed.

**WASTE STORAGE**  
Unchanged

**BOUNDARY TREATMENT**  
Unchanged

**EXTERNAL MATERIALS**  
Walls  
01 - Dry Stone wall effect  
02 - White Render  
03 - Dark Grey Render  
04 - Slate  
05 - Single ply Alwitra 7021  
06 - RAL 7021  
07 - RAL 7021

Roof  
08 - Denotes obscured glazing Pilkington level 3, with window restrictor. Maximum window opening 89mm or 10" which ever is greater. To comply B Regs approved Doc O.

Windows & Doors  
Rainwater Goods

#  
Denotes obscured glazing Pilkington level 3, with window restrictor. Maximum window opening 89mm or 10" which ever is greater. To comply B Regs approved Doc O.

with

**AREAS**  
Existing Floor Area 224.92m<sup>2</sup>  
Proposed Floor Area 286.85m<sup>2</sup>  
Site Area 2308m<sup>2</sup>

**TREES**  
T1, T2 etc The existing trees will be assessed by the Arboriculturalist  
NT1, NT2 etc New tree planting, Refer to Trees and Landscaping Notes

REV	DATE	DESCRIPTION
A	19/01/2024	Internal alt., porch fenestration alt., add velux
CLIENT		
Mr & Mrs Jones		
PROJECT		
32 Ashwood Drive BH18 8LN		
ADDRESS		
32 Ashwood Drive BH18 8LN		
DRAWING		
Proposed Plans		
STATUS		
Preliminary		
DATE		
Jan 24		
SCALE @ A1		
1:100, 1:50		
DRAWING N°		REVISION
2066-00-102		A

**Asplan**  
DESIGN - PLANNING - APPROVAL  
Architecture, Planning & Building Consultancy  
Chartered Surveyors & Building Engineers  
info@asplan.co.uk 07968 585858

**CBUILD**  
chartered building engineer

**RICS**  
chartered building engineer

**ISSUE SCHEDULE**

Preliminary	<input checked="" type="checkbox"/>	Building Regs	<input type="checkbox"/>
Planning	<input type="checkbox"/>	Construction	<input type="checkbox"/>

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1m at 1:50	1	2	3	4
1m at 1:100	1	2	3	4
1m at 1:200	1	2	3	4
1m at 1:500	1	2	3	4
1m at 1:250	1	2	3	4