

stretto/architects



DESIGN, ACCESS & HERITAGE STATEMENT

10 COLLEGE ROAD

Address 10 College Rd, Clifton, Bristol BS8 3HZ

Applicant Andrew Brown & Lisa Gibson

Date April 2024

REVISION HISTORY

NAME	REV	DETAILS OF REVISION	DATE
SM	P01	First issue	19/03/24
SM	P02	Garage amendments	21/03/24
SM	P03	Planning Issue	28/03/24
SM	P04	Planning Issue	15/04/24

CONTENTS

1 INTRODUCTION3
 1.1 PURPOSE OF THIS DOCUMENT3
 2 CONTEXT5
 2.1 HISTORIC CONTEXT5
 2.2 SITE DESCRIPTION7
 2.3 PLANNING HISTORY9
 2.4 RELEVANT PLANNING POLICY10
 2.4 PLANNING CONTEXT11
 3 DESIGN PROPOSALS13
 3.1 LAYOUT.....13
 3.2 SCALE & MASSING.....15
 3.3 DAYLIGHT & OVERLOOKING.....17
 3.4 MATERIALS18
 4 SUSTAINABILITY.....19
 5 ACCESS.....20
 6 DRAINAGE20
 7 EXTERNAL AMENITY SPACE20
 8 CONCLUSION21

1 INTRODUCTION

1.1 PURPOSE OF THIS DOCUMENT

This Design and Access Statement is provided as supplementary information in support of a full planning application to Bristol City Council (BCC) for a single storey extension with roof terrace to replace an existing balcony and external store, demolishing and rebuilding the detached garage, fenestration alterations to the rear elevation and minor internal reconfiguration at 10 College Road.

The statement describes the approach that has been adopted to ensure the design addresses the contextual sensitivities of the site and complies with local planning policy guidance.

The proposals have been considered in line with the *Bristol Local Plan (1997) & Development Framework Core Strategy (2011)*, *National Planning Policy Framework (2012)* & *Conservation Area 5: Clifton & Hotwells Character Appraisal (2010)*.

This report should be read in conjunction with the drawings and supporting documents submitted as part of the application:

- 2335-STR-XX-XX-DR-A-0100 – Site Location Plan
- 2335-STR-XX-XX-DR-A-0101 – Block Plan
- 2335-STR-XX-B1-DR-A-1500 - Existing Lower Ground Floor Plan
- 2335-STR-XX-00-DR-A-1501 - Existing Ground Floor Plan
- 2335-STR-XX-B1-DR-A-2000 - Proposed Lower Ground Floor Plan
- 2335-STR-XX-00-DR-A-2001 - Proposed Ground Floor Plan
- 2335-STR-XX-00-DR-A-2010 - Planning Drawings - External Works & Garage
- 2335-STR-XX-XX-DR-A-3000 - Existing Rear Elevation (South West)
- 2335-STR-XX-XX-DR-A-3001 - Existing Side Elevation (South East)
- 2335-STR-XX-XX-DR-A-3002 - Existing Garage Elevations
- 2335-STR-XX-XX-DR-A-3010 - Proposed Rear Elevation (South West)
- 2335-STR-XX-XX-DR-A-3011 - Proposed Side Elevation (South East)
- 2335-STR-XX-XX-DR-A-3012 - Proposed Garage Elevations
- 2335-STR-XX-XX-DR-A-3013 - Balcony / Terrace Side Elevation (North West)



Figure 1 - Bird's eye view of 10 College Road



Figure 2 - view of 10 College Road from College Road



Figure 3 - Aerial view of 10 College Road

2 CONTEXT

2.1 HERITAGE CONTEXT

The Clifton Conservation Area is typified by the distinctive architectural vernacular established over several phases of development between the early 18th and the 20th century, alongside the construction of major public buildings and key visual landmarks. The area is also characterised by its green spaces – the steep topography of the river valley and the Avon Gorge and the relationship between buildings and undeveloped space. The unusually varied geology that underlies the Clifton Conservation Area has a large impact on its architecture, creating the diversity of the building stone from which it is built.

The first school buildings of Clifton College were constructed between 1860 and 1866. In the early years of the school the custom was for boarding houses to be financed and run by the School Masters, and several of the houses west of the College buildings in College Road were built for this purpose. An early photograph of the 1860s in the Reece Winstone Collection shows the development of the villas underway on College Road.

College Road is described in the Clifton & Hotwells Character Appraisal (7.1.2d) as *contain[ing] substantial semi-detached and terrace properties in red-rubble stone with Bathstone details, facing the imposing Clifton College and grounds opposite. There are many examples of decorative barge boards and stone decoration and some original ornate railing with stone gateposts.* The predominant characteristics of the area are large domestic Victorian villas of 3 storeys plus basement, detached or semi-detached, two to three bays wide. Properties are set back from pavement with front gardens and low boundary walls, forming a strong building line. The material palette is limestone rubble, pennant sandstone with Bathstone detailing, occasional stucco render, limestone ashlar or brick infill. Joinery is typically timber Victorian sash windows and panel doors. Roofs are natural slate or clay tiles.

Clifton College has been designated by English Heritage as a grade II listed building, but 10 College Road is not within the school's curtilage.

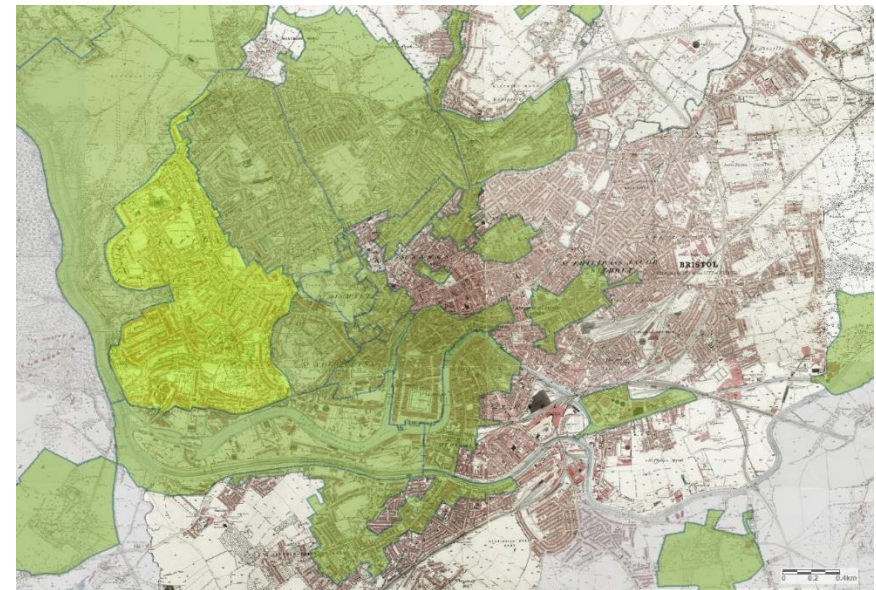


Figure 4 – Clifton Conservation Area (highlighted) in Bristol context



Figure 5 – College Road in 1930s (ref: [43207/9/12/340](#))

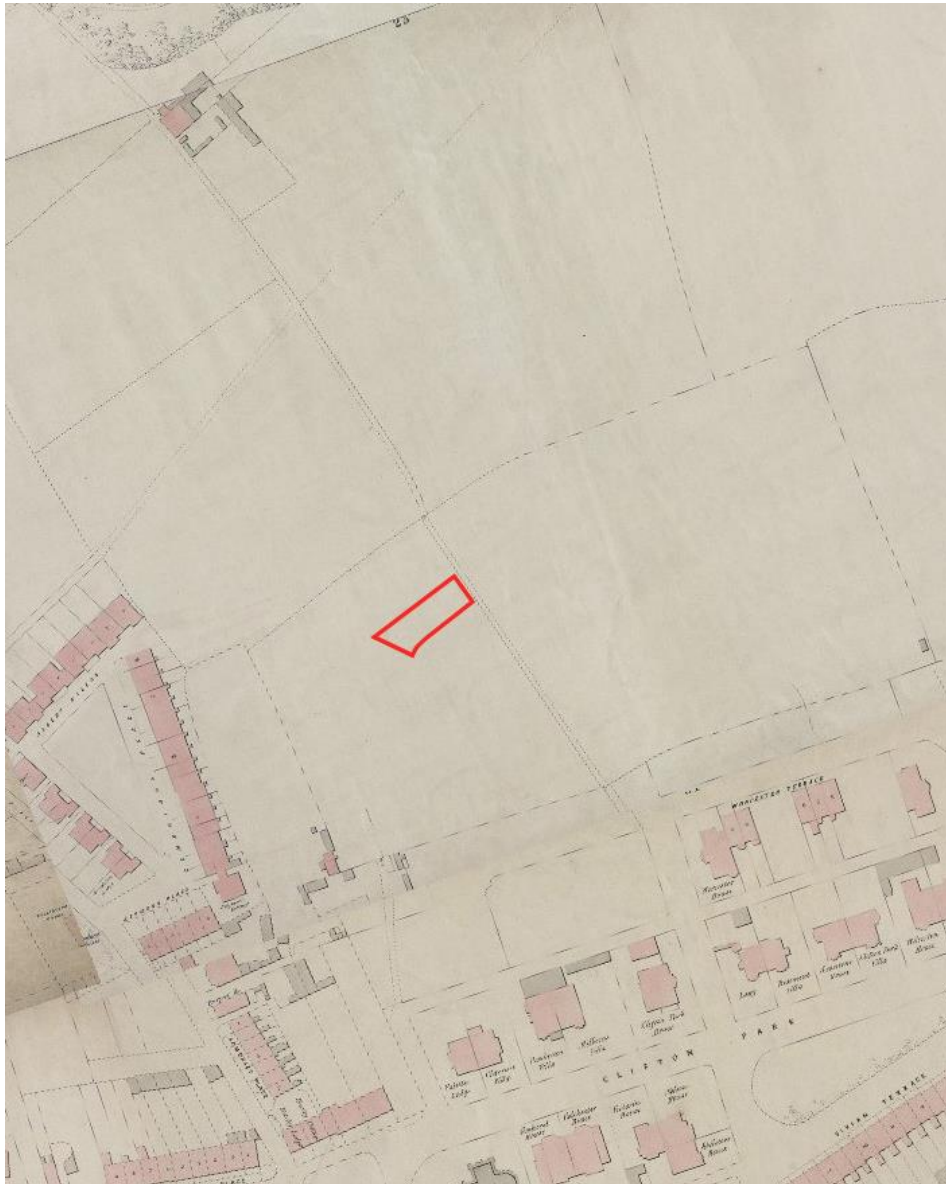


Figure 6 – Ashmead map, 1855

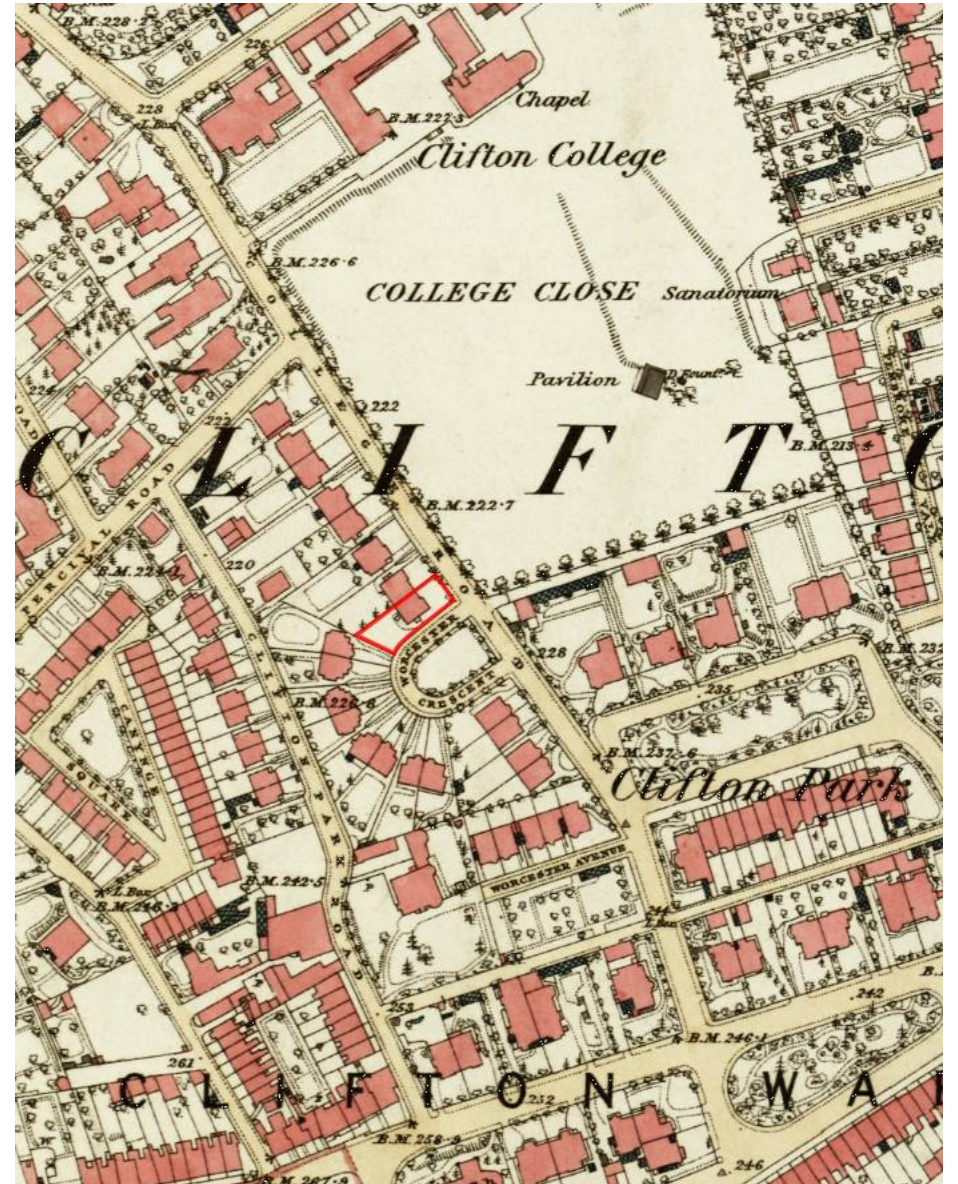


Figure 7 – 1950s Bristol Town Plans

2.2 SITE DESCRIPTION

10 College Road is a three storey (plus basement) semi-detached villa on the corner of Worcester Crescent and College Road. The basement / lower ground floor accommodates a two-bedroom garden flat as well as facilities for the main house. Along with much of the local development in the late 19th Century, it is constructed from locally sourced rubble stone. Along with the refined Bathstone cornicing, quoins and late Victorian, Italianate detailing, large fenestrations and big bay windows, this has established a distinctive vernacular for the area. It is designated a ‘character building’ in the Clifton & Hotwells Conservation Area Character Appraisal, but there are no ‘important views’ that are affected by 10 College Road.

The building is set back from College Road and Worcester Terrace, the boundary treatment is a low pennant sandstone wall with 2m high hedge enclosing the property apart from a wrought iron pedestrian gate and 2m high timber and metal driveway gate off Worcester Crescent.

Primary access to the ground floor is via portico entrance facing Worcester Crescent, with stone steps up. Access to the garden flat is provided by a gravel path from the Worcester Crescent gate, with steps down to timber panel French doors.

The rear elevation is less visible from the street but can be seen from Worcester Crescent. It is typified by an asymmetrical arrangement of varying sized fenestrations with pennant sandstone surrounds, in a rubble stone façade with pennant sandstone quoins and stringcourses to define the geometry. The lower ground floor is finished with stucco render, including an external store. A wrought iron balcony provides access to the ground floor kitchen, as well as a small outdoor terrace.

The property has a garden to the rear, with a lawn, gravel and decking areas and a pond.

The garage is constructed from concrete blockwork and asbestos sheet roofing. It is in state of disrepair and is in need of rebuilding. There is an asphalt driveway in front of the garage that is currently used for parking.

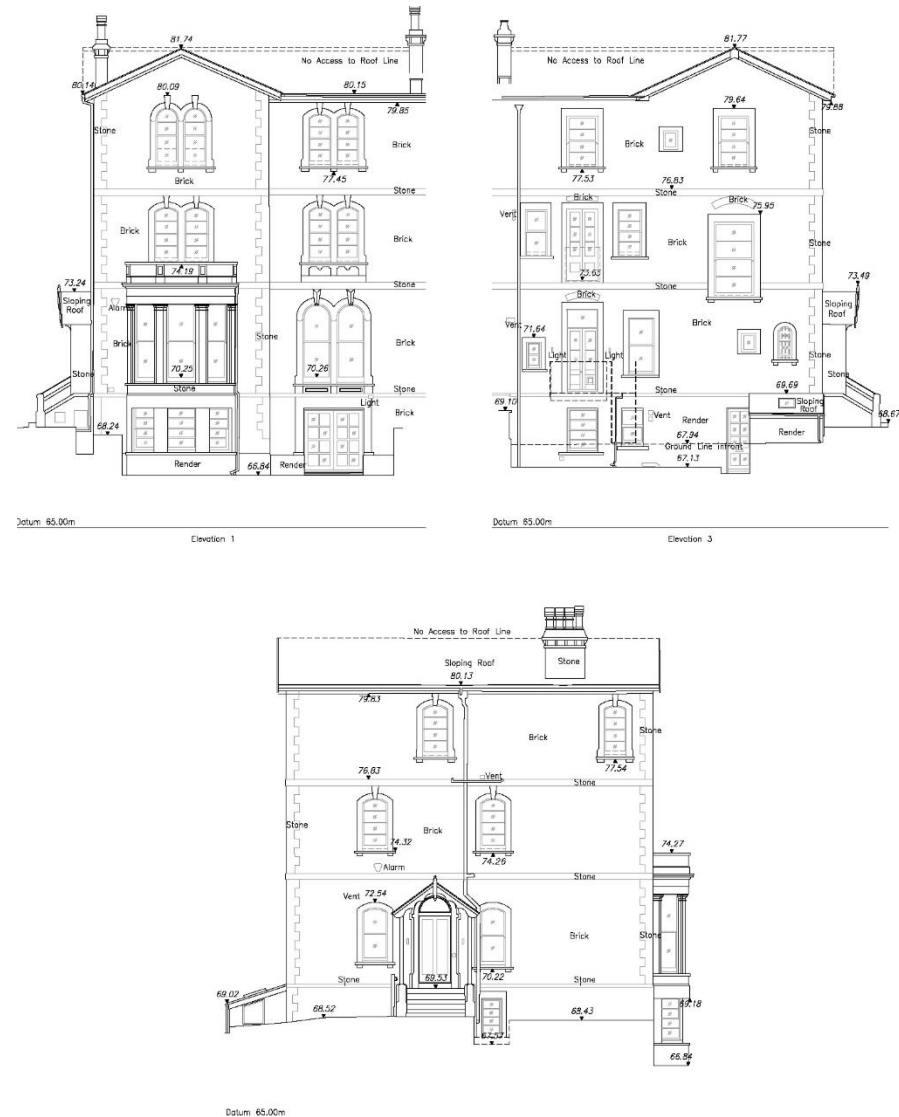


Figure 8 – Existing elevations (top left, front; top right, rear; bottom, side)

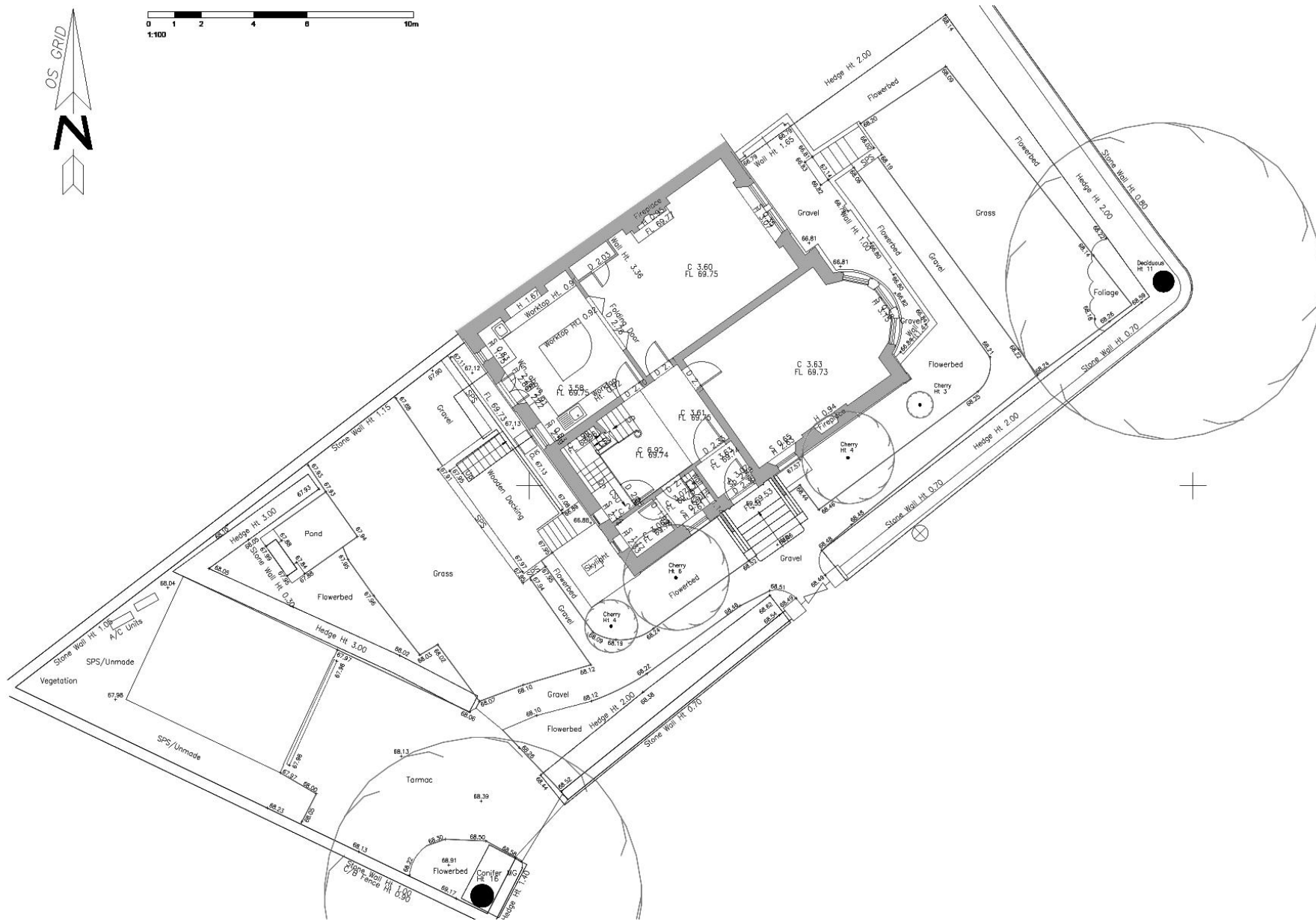


Figure 9 – Topographical survey

2.3 PLANNING HISTORY

The relevant planning history for 10 College Road is set out below. There are also various applications seeking permission for works to trees at the property.

- Removal of external staircase up to first floor level. Provision of small balcony with spiral staircase from ground floor level to basement level. 2 No. French doors to serve balcony at ground floor and at first floor level with Juliet balcony - all to rear elevation (12/01490/LC & 12/01489/H) – GRANTED
- C of u to auth Dr. to use 2 rooms in basement as cons rms for not more thn 2hrs on wkdy aft. User to be pers to Dr (85/00799/F) – GRANTED

The 12/01490/LC & 12/01489/H Notices of Decision state the following as reasons for granting approval:

‘Taking account of Section 38(6) of the Planning and Compulsory Purchase Act 2004, it has been concluded that the development accords with the policies of the Development Plan comprising the Joint Replacement Structure Plan adopted September 2002, The Bristol Core Strategy 2011 and the saved Adopted Bristol Local Plan, December 1997, so far as material to the application and the National Planning Policy Framework – March 2012 and all other material planning considerations listed below including emerging Development Plan policies:

B18 Alterations to Traditional Buildings

B2 Local Context

B6 Building Exteriors and Elevations’

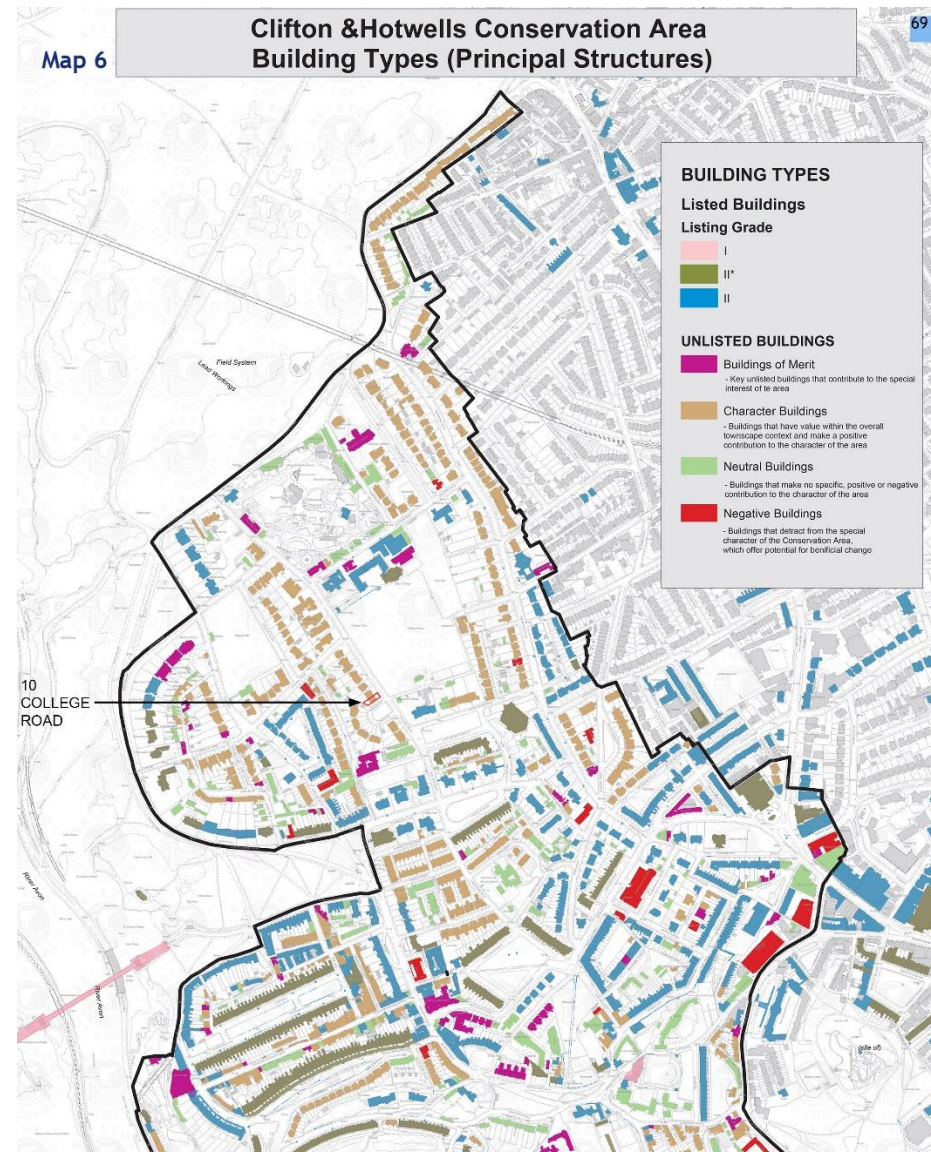


Figure 10 – Clifton & Hotwells Conservation Area Map – Building Types

2.4 RELEVANT PLANNING POLICY

- SPD2 A Guide for Designing House Alterations and Extensions (October 2005)
- Clifton & Hotwells Conservation Area Character Appraisal
- Planning (Listed Buildings & Conservation Areas) Act 1990
- National Planning Policy Framework – July 2021
- Bristol Local Plan comprising the Core Strategy (Adopted June 2011), Site Allocations and Development Management Policies (Adopted July 2014) and (as appropriate) the Bristol Central Area Plan (Adopted March 2015)

In accordance with the duty to preserve and enhance the local conservation area, the proposed scheme aligns with policies **B18** (Alterations to Traditional Buildings), **B2** (Local Context) & **B6** (Building Exteriors and Elevations) of the Bristol Local Plan (1997); Policy **BCS21** (Quality Urban Design) & Policy **BCS22** (Conservation and the Historic Environment) of the Core Strategy (2011); and **section 12** (Achieving well-designed places) & **section 16** (Conserving and enhancing the historic environment) of the NPPF (2021).

The proposals present a sympathetic extension and alterations to the building, and maintain the character of the garden and boundary treatment in accordance with the Clifton & Hotwells Conservation Area Character Appraisal (2010).

Development within or which would affect the setting of a conservation area will be expected to preserve or, where appropriate, enhance those elements which contribute to their special character or appearance, in accordance with policies **DM26** (Local Character and Distinctiveness), **DM30** (Alterations to Existing Buildings) & Policy **DM31** (Heritage Assets) of the Site Allocations and Development Management Policies (2014). These policies expands upon the requirement by setting out the criteria against which a development’s response to local character and distinctiveness will be assessed.

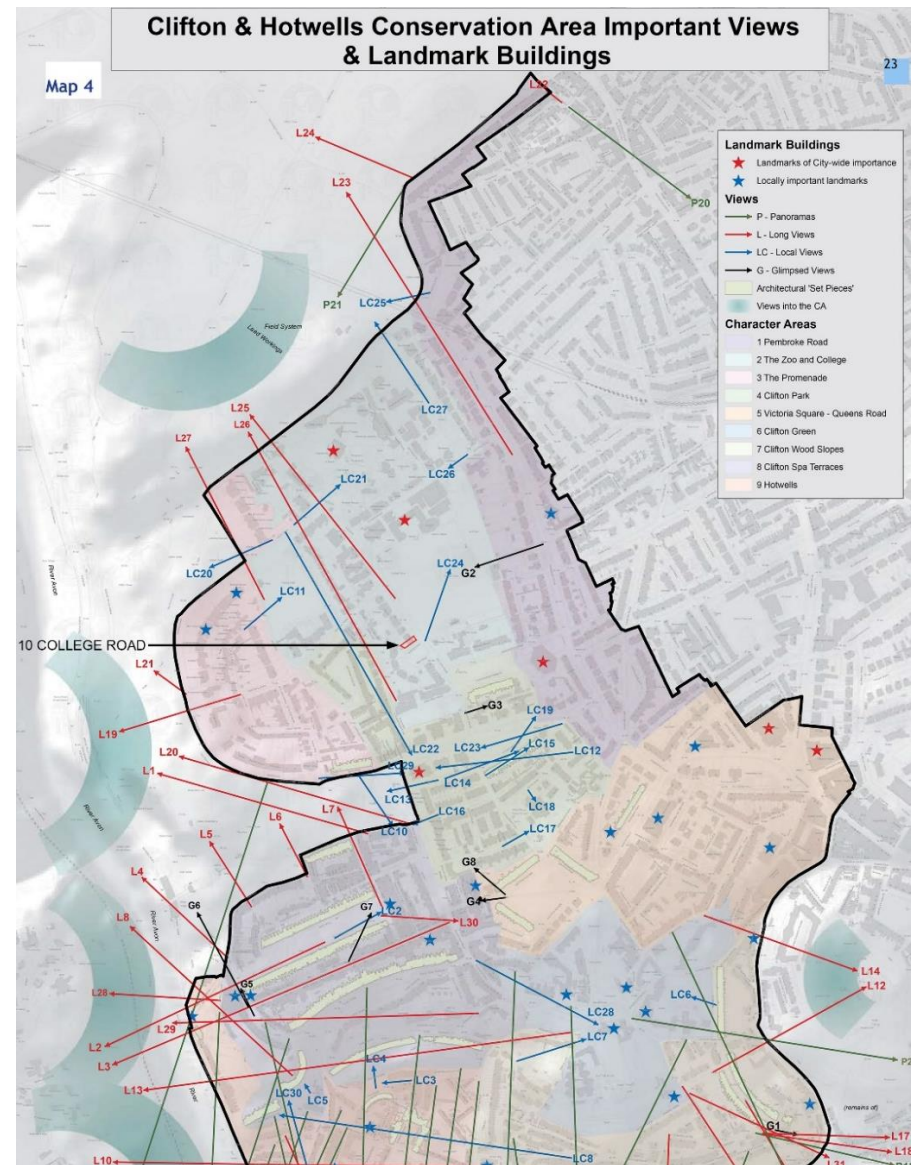


Figure 11 – Clifton & Hotwells Conservation Area Map – Important Views

2.4 PLANNING CONTEXT

There are several adjacent and nearby properties that have received planning permission for similar scale and scope extensions and alterations. Some of the relevant precedent approvals are listed below:

- **8 Worcester Crescent - 21/06507/F** – Conversion of three flats into one 6 bedroom single family dwelling (use class C3) and one self-contained one bedroom flat at lower ground floor level. Demolition of the rear conservatory, garage and concrete steps and modification of existing rear extension and terrace. Extend the side return extension to the first floor. Reinstatement of original features and widen existing vehicle access in boundary wall on Clifton Park Road.

Relevant precedent: *Rear extension; Raised terrace / balcony; Alterations to existing façade; Responding to the materiality and details of the historic part of the property; Responding to privacy issues & preserving neighbour’s amenity; Alterations to vehicular access.*

- **7 Worcester Crescent - 21/02199/H** – Widening of an existing vehicle access on Clifton Park Road, the demolition of a single-storey garage and construction of a new single-storey garage, construction of a new pergola to the rear wall of the garage and the erection of a new metal balcony and steps leading from the hall floor level down to the garden.

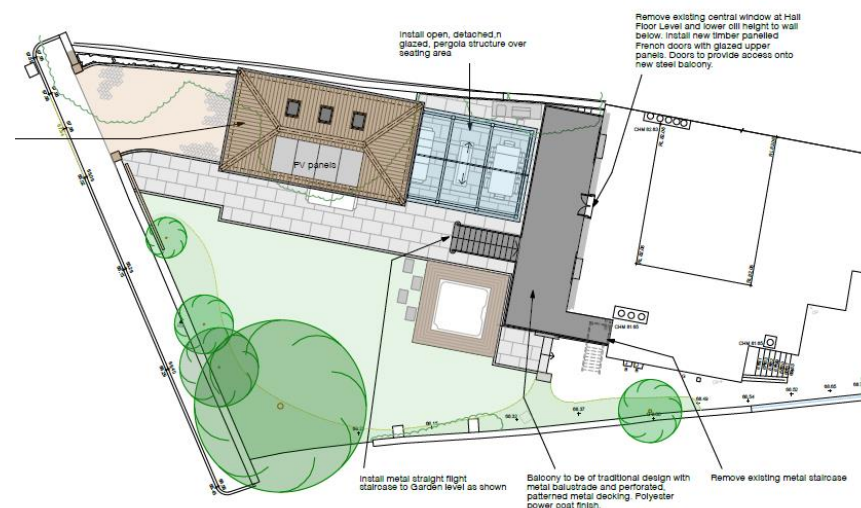
Relevant precedent: *Raised terrace / balcony; Alterations to existing façade; Responding to the materiality and details of the historic part of the site and local vernacular; Responding to privacy issues & preserving neighbour’s amenity; Alterations to vehicular access.*

- **3 Worcester Crescent - 07-00406-F** – construction of single storey conservatory extension to rear

- Relevant precedent: *Rear extension; Responding to the materiality and details of the historic part of the house.*



Figure 12 – 8 Worcester Crescent - 21/06507/F – massing model (rear elevation)



PROPOSED ROOF AND BALCONY PLAN

Figure 13 – 7 Worcester Crescent - 21/02199/H – Balcony plan

- **1 Worcester Crescent - 16/03267/H** – Single storey timber orangery to rear.

Relevant precedent: *Rear extension; Responding to the materiality and details of the historic part of the property.*

- **101 Pembroke Road - 22/05290/H** – Demolition of the existing ground floor garden room extension and erection of a single storey kitchen/ family room

Relevant precedent: *Rear extension; Raised terrace / balcony; Responding to privacy issues & preserving neighbour’s amenity.*

- **97 Pembroke Road - 12/02404/H**– Demolish existing conservatory and garden shed. Construct new orangery and garage, internal alteration. Remove steel fire escape.

Relevant precedent: *Rear extension; Raised terrace / balcony; Responding to privacy issues & preserving neighbour’s amenity (pre-commencement condition); Responding to the materiality and details of the historic part of the property; Alterations to vehicular access.*

- **7 All Saints Road - 19/01168/H**– Two storey rear and side extension to lower ground floor and ground floor level, with ground floor balcony.

Relevant precedent: *Rear extension; Raised terrace / balcony; Responding to privacy issues & preserving neighbour’s amenity; Responding to the materiality and details of the historic part of the property.*



Figure 14 – 101 Pembroke Road - 22/05290/H – proposed rear extension

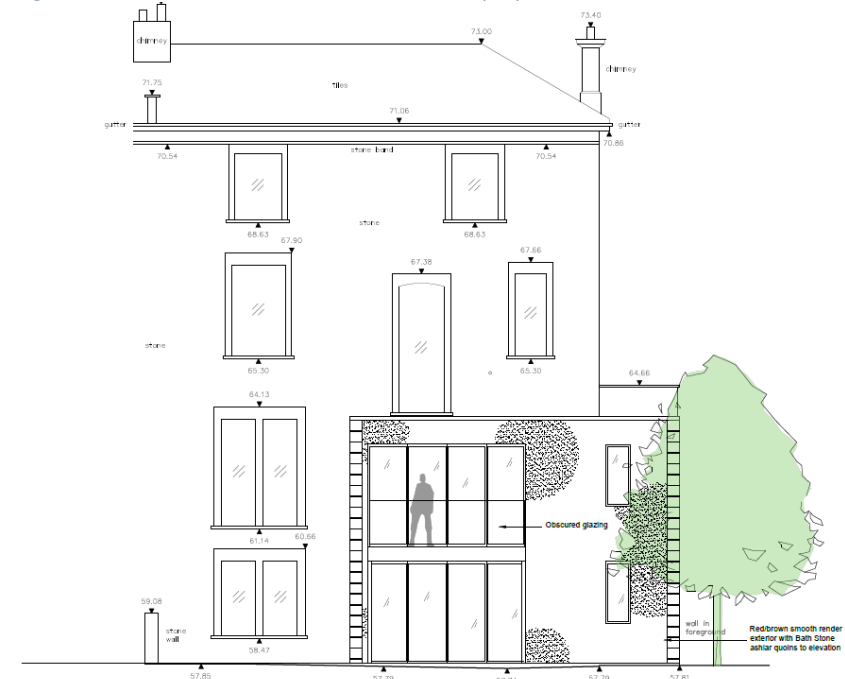


Figure 15 – 7 All Saints Road - 19/01168/H – proposed rear elevation

3 DESIGN PROPOSALS

3.1 LAYOUT

The proposals include minor modifications to the layout of the two-bedroom flat in the lower ground floor of 10 College Road. This will involve demolishing the wall between the second bedroom and ensuite.

The existing balcony from the ground floor kitchen will be demolished to permit a new single storey extension to provide additional facilities for the garden flat, and a roof terrace for the main house.

The existing windows will be altered to provide a new doorway into the extension and to increase the size of the fenestration to bring more natural light into the space.

The existing external store and steps up from lower ground floor to garden level will be demolished and re-built in the same location.

At ground floor level, the existing French doors from the kitchen will be replaced by larger timber sliding doors, to provide access on to a roof terrace over the lower ground floor extension. A new doorway will provide access from the terrace directly into the main hallway.

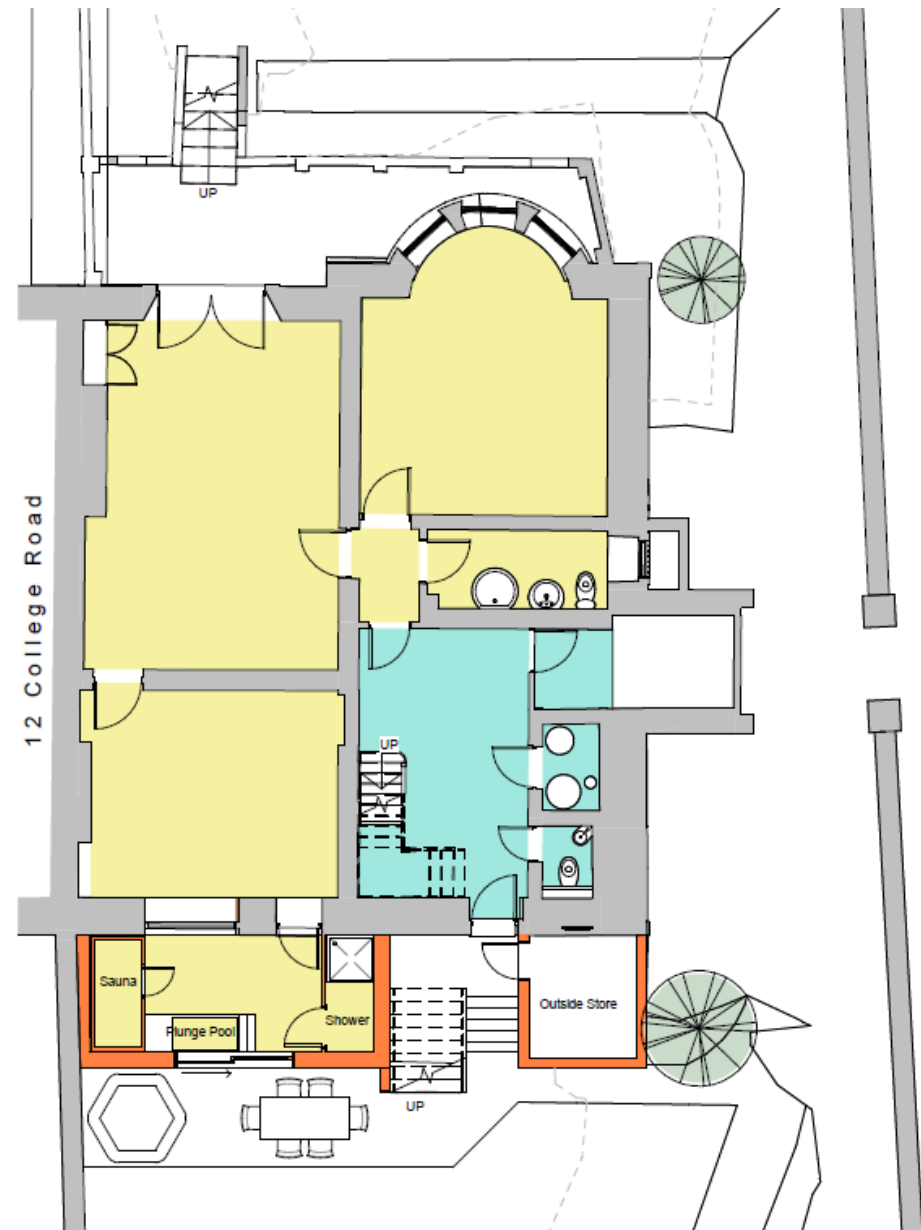


Figure 16 – Proposed lower ground floor plan

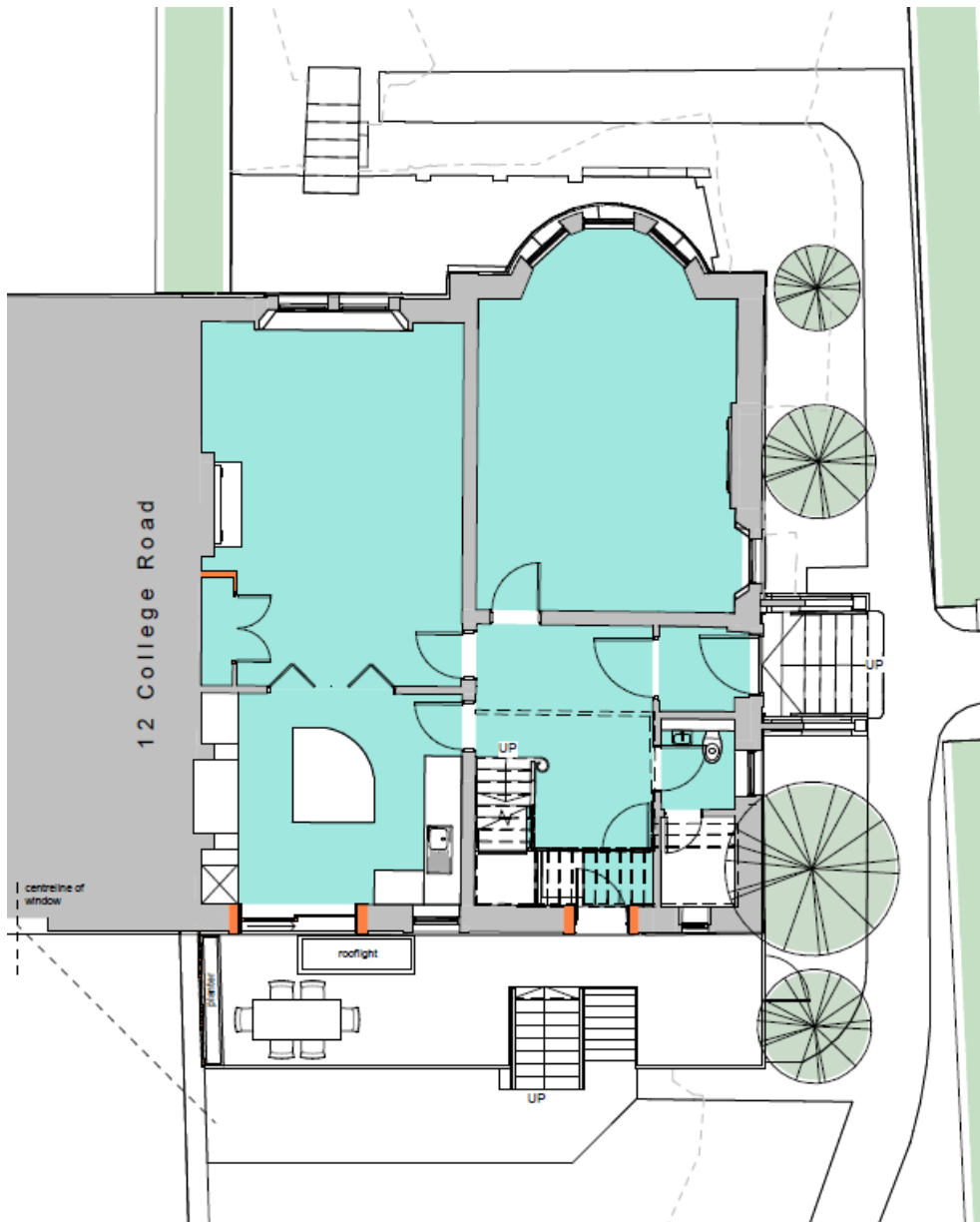


Figure 17 – Proposed ground floor plan



Figure 18 – Proposed side elevation

3.2 SCALE & MASSING

The lower ground floor level is approximately 1m below the garden level, which means that the massing of the new extension will have a minimal visual impact, and will appear subservient to the existing house.

The terrace and stairs down to garden level will be protected by lightweight vertical metal guarding to respond to the traditional wrought iron railings that are commonplace in Clifton, and referenced in the Clifton and Hotwells Character Appraisals and Management. This will also reduce the visual massing of the intervention.

The extension will not be visible from the public highway due to the height of the hedge at the property boundary.

The existing garage will be demolished and replaced with a double garage, with a flat roof instead of pitched. The footprint will be enlarged to accommodate two cars, which will reduce reliance on on-street parking, an issue identified in the Clifton and Hotwells Character Appraisals and Management. The height of the roof will be increased by approximately 200mm.



Figure 19 – Proposed extension visual



Figure 20 – Existing photograph



Figure 21 – Existing rear elevation



Figure 22 – Proposed rear elevation

3.3 DAYLIGHT & OVERLOOKING

The applicant has stated that the kitchen doesn't get as much natural light as might be expected, due to the depth of the floor plan. The proposal is to make the existing French door opening wider, to incorporate the small adjacent window, and install new timber sliding doors. Some minor amendments to the kitchen will also be required.

To protect the neighbour's amenity and provide more privacy for the applicant on the terrace a 1.8m privacy screen will be installed adjacent to the party wall. The screen will comprise a 50mm welded metal flat frame with 50x50mm decorative timber battens at 75mm centres. A planter and greenery will provide physical separation.

A rooflight, with obscured glazing, will be installed adjacent to the existing façade to maximise daylight to the garden flat extension. Large horizontal sliding sash windows will also provide natural light and ventilation for the extension.



Figure 23 – Photograph of kitchen

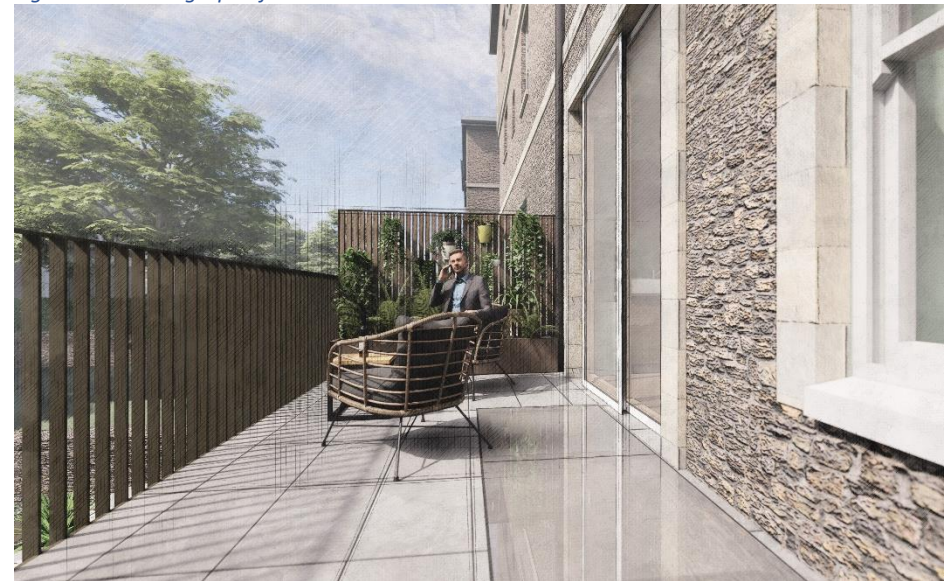


Figure 24 – Proposed privacy screen

3.4 MATERIALS

The extension will be constructed from long format, rustic bricks. The brick colour will harmonise with the existing rubble stone and Bath stone, but preserve the historic character of the existing building by providing a counterpoint materiality and texture. A subtle recess and stack bond coursing will emphasise the window opening.

The terrace guarding will be fabricated from welded metal flats, with a metal fascia to conceal the slab edge and terrace build up. A dark antique bronze finish will complement the stone and brickwork. The proposed privacy screen will be constructed from decorative timber battens within a fabricated metal frame to match the guarding.

The new door into the ground floor hallway will be a double-glazed, timber panel door to match the style of existing fenestrations. The horizontal sliding door and windows will be high performance double-glazed, composite timber and aluminium frame units. Bath stone surrounds will trim the new fenestrations, to match the existing.

The garage will be re-built with a facing brick to complement the surrounding rubble stone colour, and a flat, bitumen felt roof with powder coated metal trim.

The vehicle gates will be replaced with high quality solid hardwood gates, similar in form to the existing and the gates that have been approved at 8 Worcester Crescent (ref. 21/06507/F). To accommodate the wider gates, the low stone wall will be carefully dismantled approximately 300mm on each side and re-built with mortar and pointing to match existing. The planting beds on either side of the gate will be adjusted to suit the new opening, with new asphalt driveway surface to match the existing. The existing hedge will be trimmed back to suit.



Figure 25 – Precedent images – long format brick extensions



Figure 26 – Precedent images – external stair access & guarding form

4 SUSTAINABILITY

The property already benefits from an air source heat pump and roof mounted PV array on the southern inward-facing pitched roof, so options for on-site renewable energy generation are limited.

New thermal elements to the house and new build extension will comply with the target U-values set out in approved document L1, and will be designed to ensure continuity of insulation, prevent thermal bridging and ensure air tightness.

Fenestrations and rooflights have been sized and located to maximise natural light and ventilation.

Existing stone will be reclaimed and re-used if possible, and new build elements will use natural and sustainable materials, avoiding applied finishes where possible, to minimise high embodied carbon emissions. Timber material will be from an FSC certified source, and local materials will be sourced where possible.

New building service systems will be designed to comply with approved document L1, and new light fittings will be energy efficient LED fittings.

The new double garage roof will reduce stormwater runoff, as rainwater will be harvested for use in the garden using a storage tank system with electric pump and tap.



Figure 27 – View from lower ground floor extension



Figure 28 – Proposed high performance windows & doors

5 ACCESS

The proposals include widening the vehicle gate to 3.6m, to allow for better visibility and easier vehicle manoeuvring. Due to the height of the existing pavement and kerb, no works to the public highway are proposed.

There will be no change to the pedestrian access to or around the building. Stair access to the ground floor, and stepped access to the lower ground floor, will be replaced for like.

Refuse storage and collection will remain as the current arrangement.

6 DRAINAGE

The proposed amendments to the foul drainage strategy will utilise the existing below-ground drainage connections.

The rainwater drainage strategy for the new rear extension roof will require a new gully and manhole that will connect to the existing drainage route from the existing pitched roof downpipe.

The garden paving area will be slightly larger than existing but will be designed with SuDS compliant paving & soft landscaping borders to aid surface water drainage.

The garage roof rainwater drainage strategy will be replaced as existing, although a rainwater harvesting system will reduce the volume of water that is draining.

7 EXTERNAL AMENITY SPACE

The garden space will remain largely unchanged. An area of decking will be removed and replaced with a slightly larger paved area. By moving the stairs & stepped access to the lower ground floor together, a larger area can be reserved for outdoor seating.

The extended terrace at ground floor level will allow more amenity space for outdoor dining and relaxing.



Figure 29 – Existing vehicle gate



Figure 30 – Proposed vehicle gates

8 CONCLUSION

The proposals seek to improve the function of the house for the applicant, providing an extension for leisure facilities and a terrace to improve their outdoor amenity. The proposed privacy screen will mitigate any overlooking issues with the adjacent neighbour, and the other surrounding properties will not be affected by overlooking issues due to the distance and height of hedges and trees.

The extension will be constructed from high quality, well detailed materials which will complement the existing building. It is scaled appropriately to minimise impact on the neighbours right to light, visibility from the highway, and to appear visually proportional and subservient to the existing building.

The garage is in a state of disrepair and needs to be rebuilt. The proposals will vastly improve the aesthetics of the garage, and the increased capacity to two cars will reduce the volume of on-street parking. The increased size of the garage will have minimal impact on the neighbours due to the height of planting on the boundary, and there will be no loss of right to light because of the north-east aspect.

The new vehicle gate will improve safety by facilitating easier manoeuvring & better sight lines. The new gates will be of high-quality hardwood, and the damaged low wall will be dismantled & rebuilt as part of the work. It is noted that similar vehicle gates were included in the recent approved applications at 7 & 8 Worcester Crescent.

8.1 IMPACT OF THE PROPOSED DEVELOPMENT ON THE CONSERVATION AREA & SITE HERITAGE

This document and related drawings demonstrate that the proposals have been designed in accordance with policy **DM30: Alterations to Existing Buildings & BCS22** of the Core Strategy, in that:

- The proposed extension respects the siting, scale, form, proportions, materials, details and the overall design and character of the host building, its curtilage, and the broader street scene.



Figure 31 – Rear extension visual



Figure 32 – Rear extension visual

- The proposals retain (or reinstate) the traditional or distinctive architectural features and fabric of the building and curtilage.
- The proposals safeguard the amenity of 10 College Road & its neighbours.
- The proposals leave sufficient usable external private space for the occupiers of the building.

10 College Road is designated a ‘character building’ in the Clifton & Hotwells Conservation Area Character Appraisal, but there are no ‘important views’ that are affected by 10 College Road. It is deemed that the proposals will have a minimal impact on the conservation area due to being predominantly screened from public view by perimeter foliage and boundary wall. The garage and new vehicular access will be of higher quality design than those they are replacing, in terms of materials, detailing and character.

In accordance with policy **DM31** (Heritage Assets) of the SADMP the proposals have been designed to preserve and enhance those elements which contribute to the special character or appearance of 10 College Road. The proposed extension and new fenestrations in the existing rear elevation will not be visible from the public highway, but it is considered that they make a positive contribution to the conservation area; the alterations are sympathetic and preserve the traditional architectural details of the house.

In accordance with policy **DM26** (Local Character and Distinctiveness) of the SADMP the proposals contribute towards local character and distinctiveness by:

- Retaining, enhancing and creating important views into, out of and through the site.
- Responding appropriately to the height, scale, massing, shape, form and proportion of existing buildings, building lines and set-backs from the street.
- Reflecting local characteristic architectural styles, rhythms, patterns, features and themes taking account of their scale and proportion and reflecting the predominant materials, colours, textures, landscape treatments and boundary treatments in the area.



Figure 33 – Rear extension visual

