
For : Mr Richard Fairbairn
Ref : Hill Farm, Hockley Brook Lane, Stourbridge, DY9 0AD
Date : March 2024

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1.1 DOCUMENT INTRODUCTION

This 'Design and Access Statement' document has been produced by Gray Architecture to supplement the application information for proposed development and restoration works at the Grade II Listed Hill Farm, DY9 0AD. An overview of the existing site context, and commentary on the design development and philosophy shall be provided within.

The proposal has been carefully developed, and this report should be read in conjunction with all other drawings and specialist report information provided by :

- Fisher German (Planning Consultant)
- Archeological Building Reporting Services (Heritage Consultant)
- Shire (Structural Engineer)
- Elizabeth McKay (Consultant Ecologist)

1.2 THE PROPOSAL

The property at Hill Farm comprises a Grade II Listed farm house with separate single storey outbuilding, connected via a modern flat roof brick-built link structure. The condition of the building fabric is currently very poor and the proposal aims to sensitively restore and enhance the building and localised surrounding landscape. The works shall comprise :

- Refurbishment of the existing farm house building fabric, including replacement roof finishes, felts and battens, replacement external render cladding, re-pointing of existing brick work and various repair works (notably to the existing chimneys).
- Window and door repair works and replacements.
- Modern internal wall removals.
- Relocation of the existing 'modern' stair position.
- Demolition and replacement of the existing dilapidated outbuilding
- Demolition of the existing modern flat roof link structure
- New 'light-weight' glazed link
- Demolition and replacement of the existing dilapidated rear lean-to
- Various localised landscape works and reduced levels

1.3 BRIEF & ASPIRATIONS

Prior to recent purchase, the existing property has remained in poor condition for many years, and has seen a number of modern adhoc extensions and adaptations to the original fabric. The project aspiration is to respectfully refurbish the Listed farmhouse, restoring original features and maintaining the areas of quality historical fabric. Low quality, modern additions are to be removed and upgraded to restore visual legibility and ensure the life of the asset is maintained.

2.1 LOCATION & WIDER CONTEXT

ADDRESS : Hill Farm, Hockley Brook Lane, Stourbridge, DY9 0AD

The site is located at the address above to the South of Belbroughton and falls within the bounds of Bromsgrove District Council. The plot is Grade II listed. The area does not fall with a designated Conservation Area.

Hill Farm is accessed via an unnamed lane off Hockley Brook Road. The surrounding land use is a mix of agricultural farm buildings and residential units, owned by the applicant.

2.2 SITE ARRANGEMENT

The property is located to the Northern most part of the farm. Several individual residential barn conversions are located adjacent to the South, with a shared courtyard access.

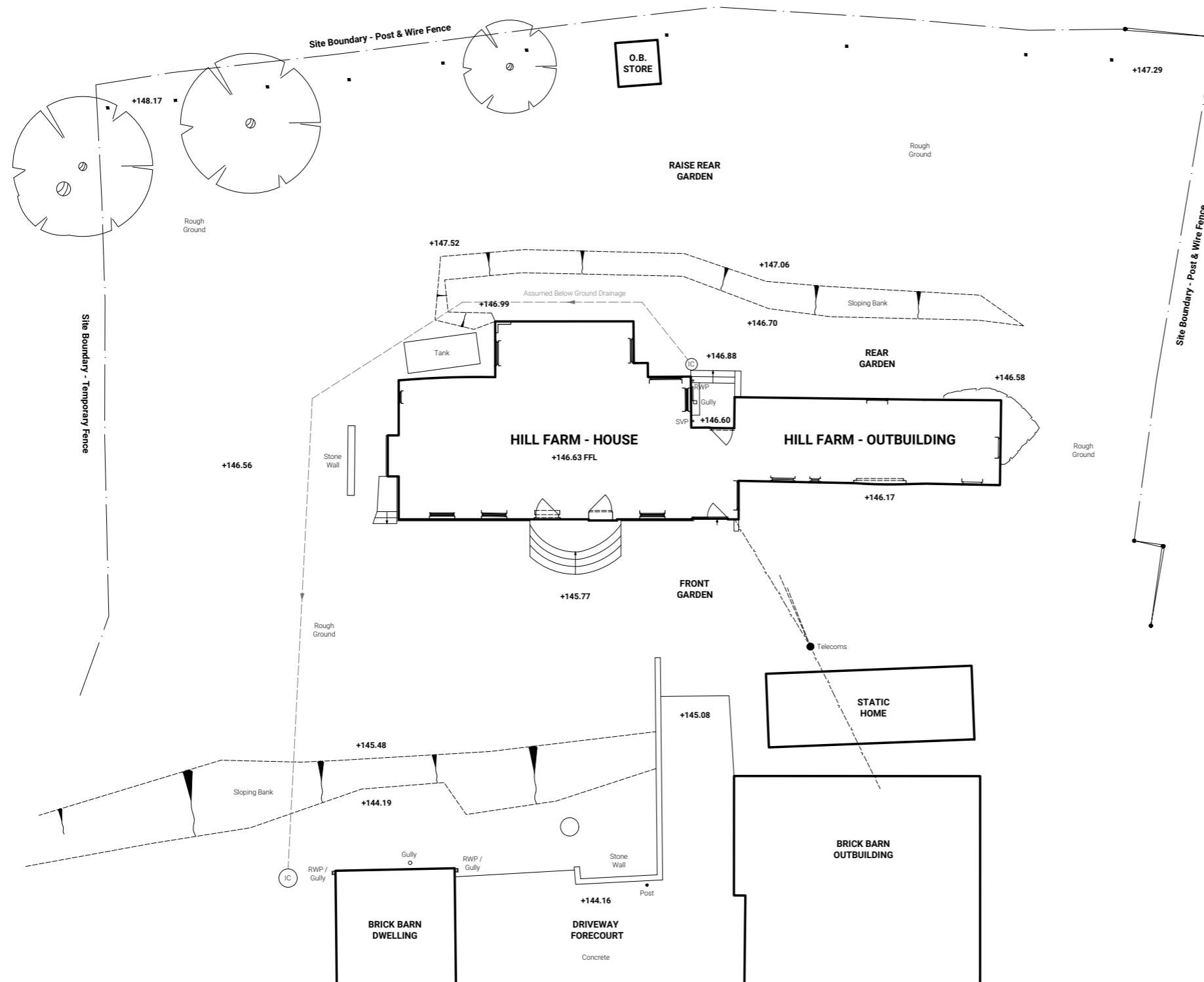
The site of Hill Farm is slightly elevated and the property has a linear, front South facing orientation. The main entrances, of which there are several, are located central to the main house with stepped concrete stair access.

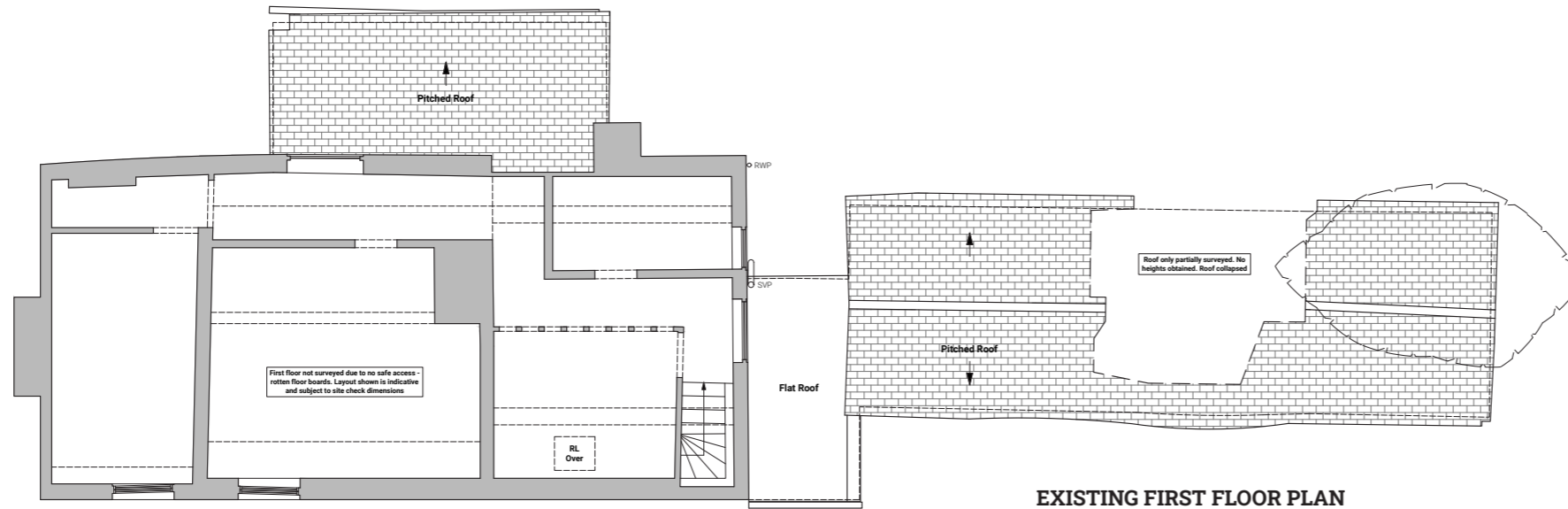
2.3 LANDSCAPE

The plot is relatively generous and has large residential garden spaces surrounding the house and outbuilding. There are no nearby neighbouring properties, other than the residential barn conversions to the South and farmland sits adjacent to the North and East. A small woodland is located to the North West.

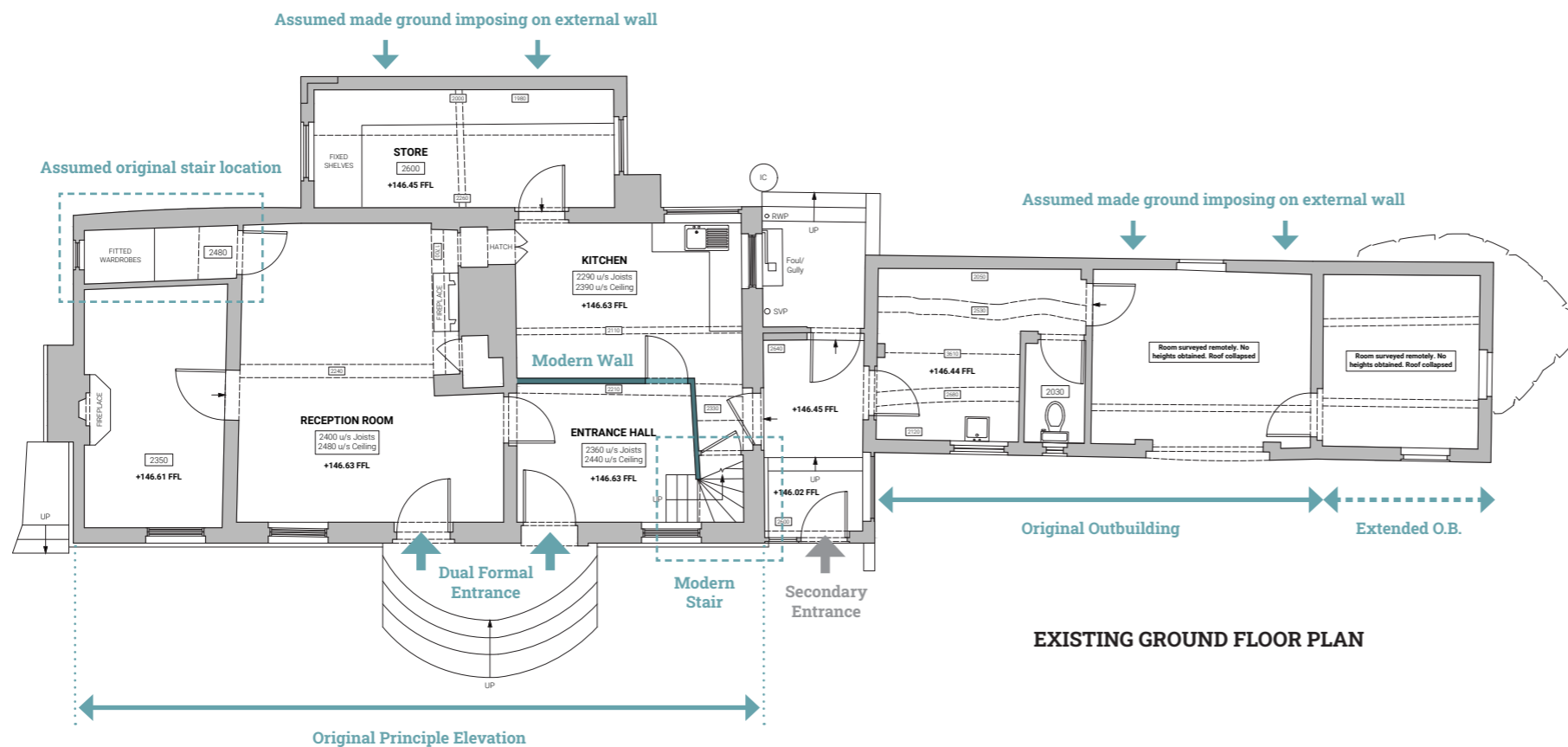
2.4 ACCESS & PARKING

Parking is available to the shared courtyard to the South of the plot. Access to Hill Farm is via an existing concrete track and concrete stepped access to the main entrances.





EXISTING FIRST FLOOR PLAN



EXISTING GROUND FLOOR PLAN

2.5 USE & LAYOUT

- 2 storey farmhouse property + basement cellar
- Single storey outbuilding + linking structure in poor condition
- Rear single storey lean-to in poor condition
- Cellular kitchen / living / bedroom spaces at ground floor
- WC located to barn area
- Modern partition walls form an adhoc main entrance area
- Existing tightly formed stair sits to the South East
- Sloping level change between front and rear access
- Internal stepped access to linking structure
- Rear external landscape has encroached on the rear external walls
- First floor structure in extreme poor condition
- 3 bedroom + bathroom arrangement

The property comprises a 2 storey farmhouse with separate single storey outbuilding (with flat roof link) which are thought to date from the early to mid 18th century with 19th and 20th century alterations. The use functions as a single detached residential property. The layout is considered somewhat unusual in it's current guise in regards to the room layout, number of entrances and location of existing stair (refer to Heritage Impact Assessment by Archaeological Building Recording Services).

An outbuilding and linking structure function as a secondary entrance and additional ancillary accommodation to the main dwelling. The current condition is very poor, however, and there is a substantial amount of damaged seen (particularly to the outbuilding roof). As such these space are currently inaccessible and under-utilised.

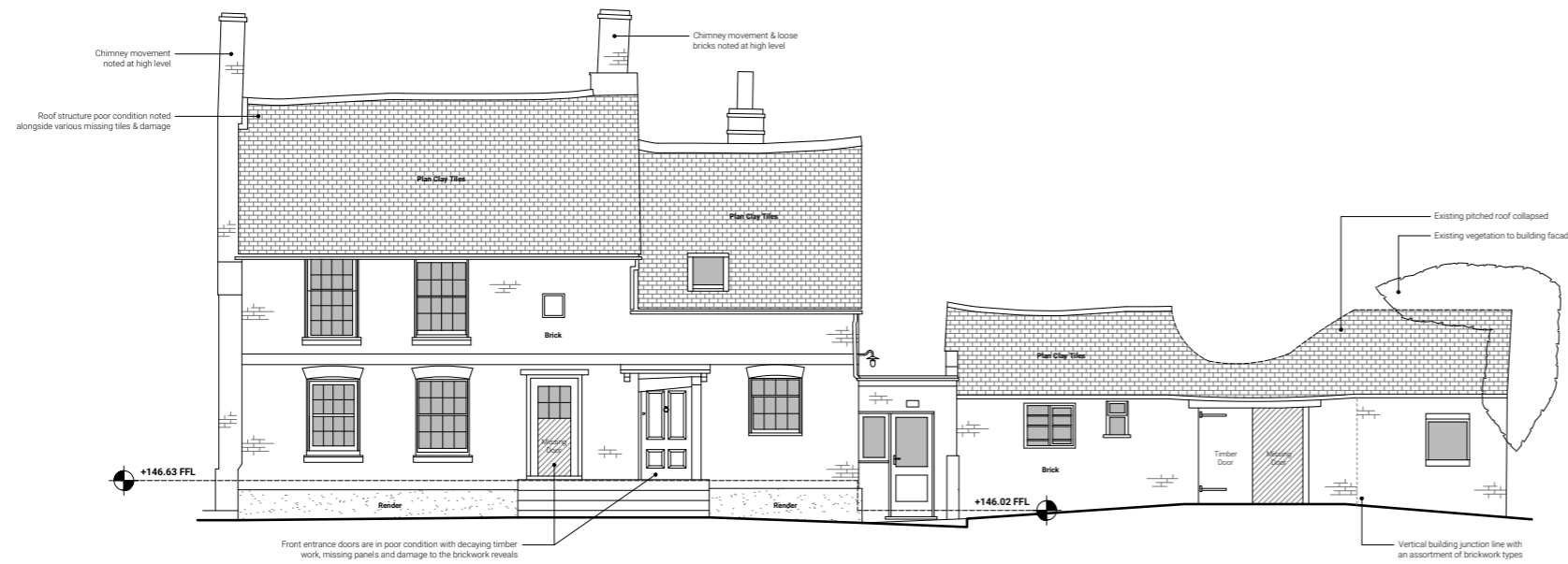
The link structure is of more modern brick construction with a felt flat roof. The footprint sits flush in plan with the main dwelling with internal stepped access to the kitchen area. The condition is again poor, and there is no architectural merit to this structure.

A similar condition is seen to the rear lean-to annex. Currently used as storey the structure is substantially damaged and suffers damp issues due to encroaching raised landscape levels.

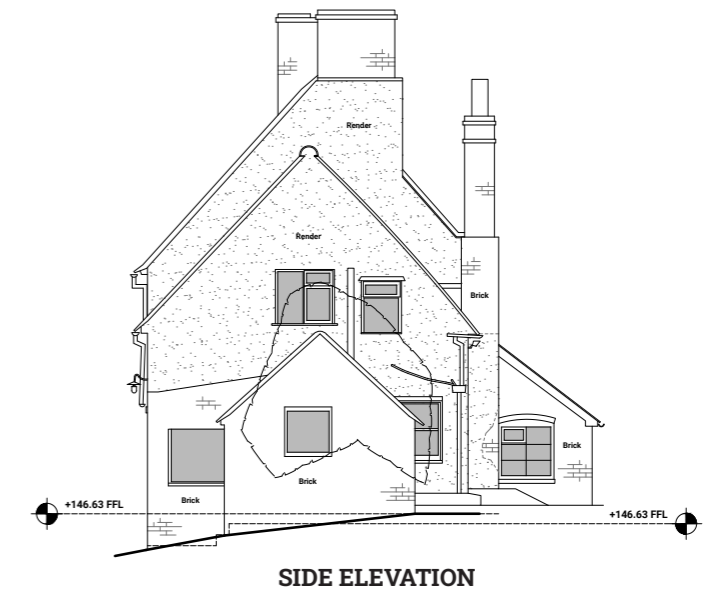
The historic value of the existing stair is questionable and is located in a typically unexpected area of the dwelling. There is speculation over the layout which would suggest an alternative original location (refer to comments noted within the Heritage report).

The first floor layout comprises 3 bedrooms with a modest rear bathroom. Various modern internal stud walls have been erected to the stair position and to the North West area.

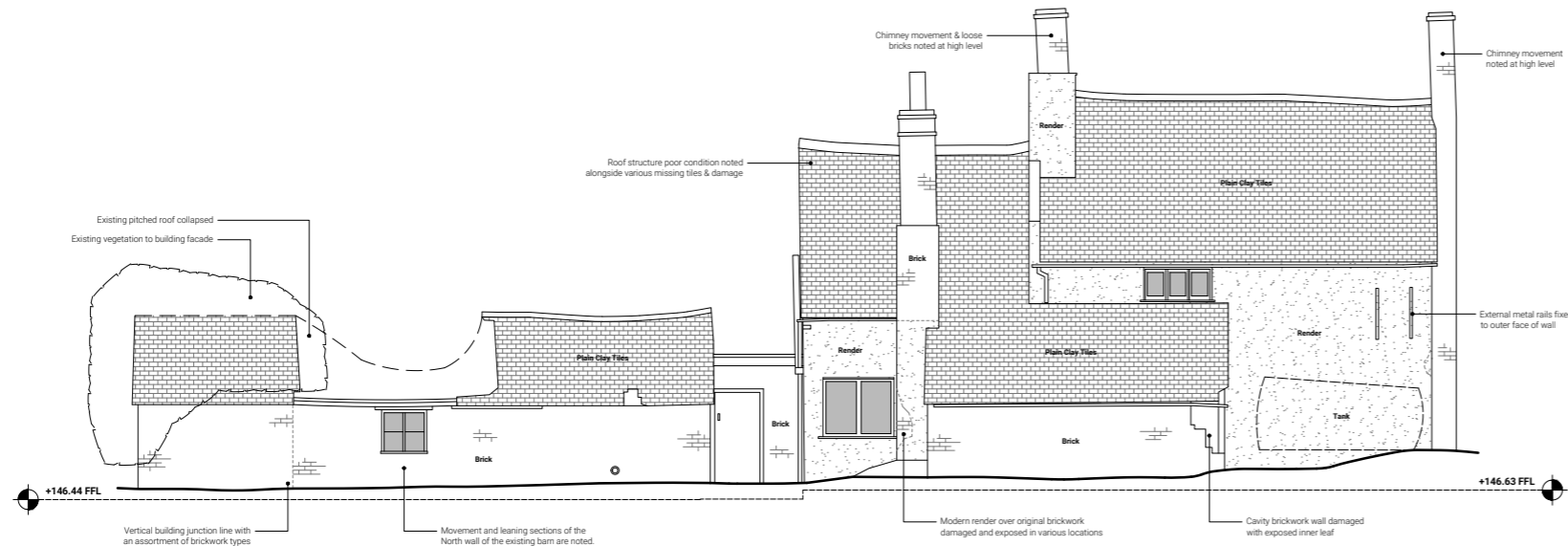




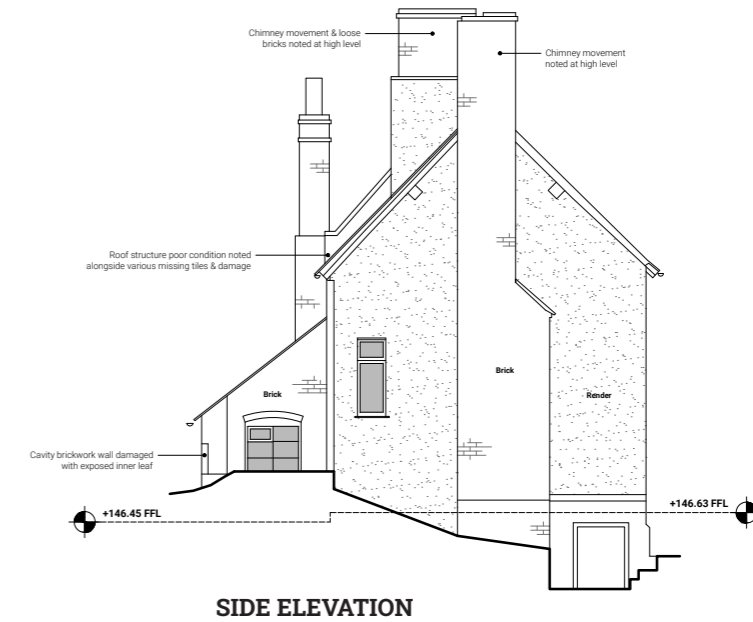
FRONT ELEVATION



SIDE ELEVATION



REAR ELEVATION



SIDE ELEVATION

2.6 SCALE, FORM & APPEARANCE

The property comprises a 2 storey / storey and half circa mid 18th century farmhouse, with a stepped dual pitched roof and traditional Flemish bond brickwork. The arrangement of the front elevation is thought to be relatively unusual and there is debate as to whether the property was formerly separated into 2 units (refer to heritage report comments). 2 visible entrances are seen to the front elevation. The window to the East of the house also appears to have been altered with a raised cill to accommodate a modern stair internally.

To the rear of the property a small lean-to structure is seen in poor structural condition. The external ground level (main ground) has also encroached on the outer wall resulting in significant damp issues.

The West and North elevations current shown an inappropriate cementitious render cladding. This is damaged in areas exposing what appears to be a timber frame substrate.

The East outbuilding is single storey with plain clay tiles similar to the main house with red brick. The condition of the entire fabric is very poor, with structural damage and collapse seen to the roof, walls and internal slab. There are no signs of existing agricultural use.

Between the house and outbuilding a circa 1980's flat roof brick-built link structure is seen. This structure is sits in line with main house and is considered at odds with the elevation.

2.7 SITE PHOTOGRAPHY



01 Front courtyard view



02 Front elevation - Farmhouse, flat roof link and outbuilding



03 Front entrance view



04 Entrance Door



05 Entrance Door

2.7 SITE PHOTOGRAPHY



06 Rear elevation & lean-to



09 Farmhouse rear (North) and side (West) elevations



07 Rear outbuilding & East facade



08 Rear lean-to condition

2.7 SITE PHOTOGRAPHY



10 Farmhouse reception room accommodation



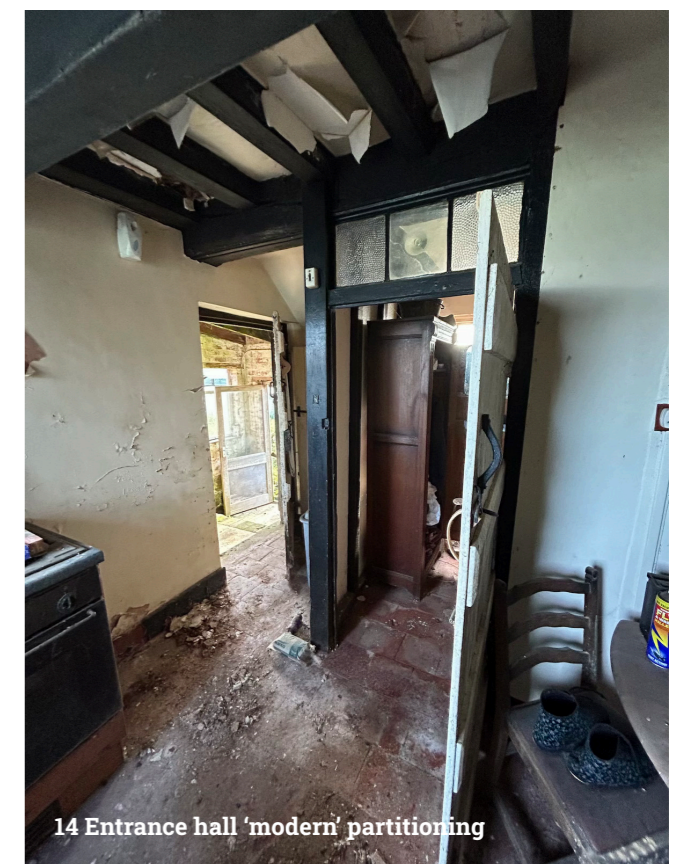
11 Lean-to store accommodation



12 Entrance hall 'modern' partitioning



13 Existing stair

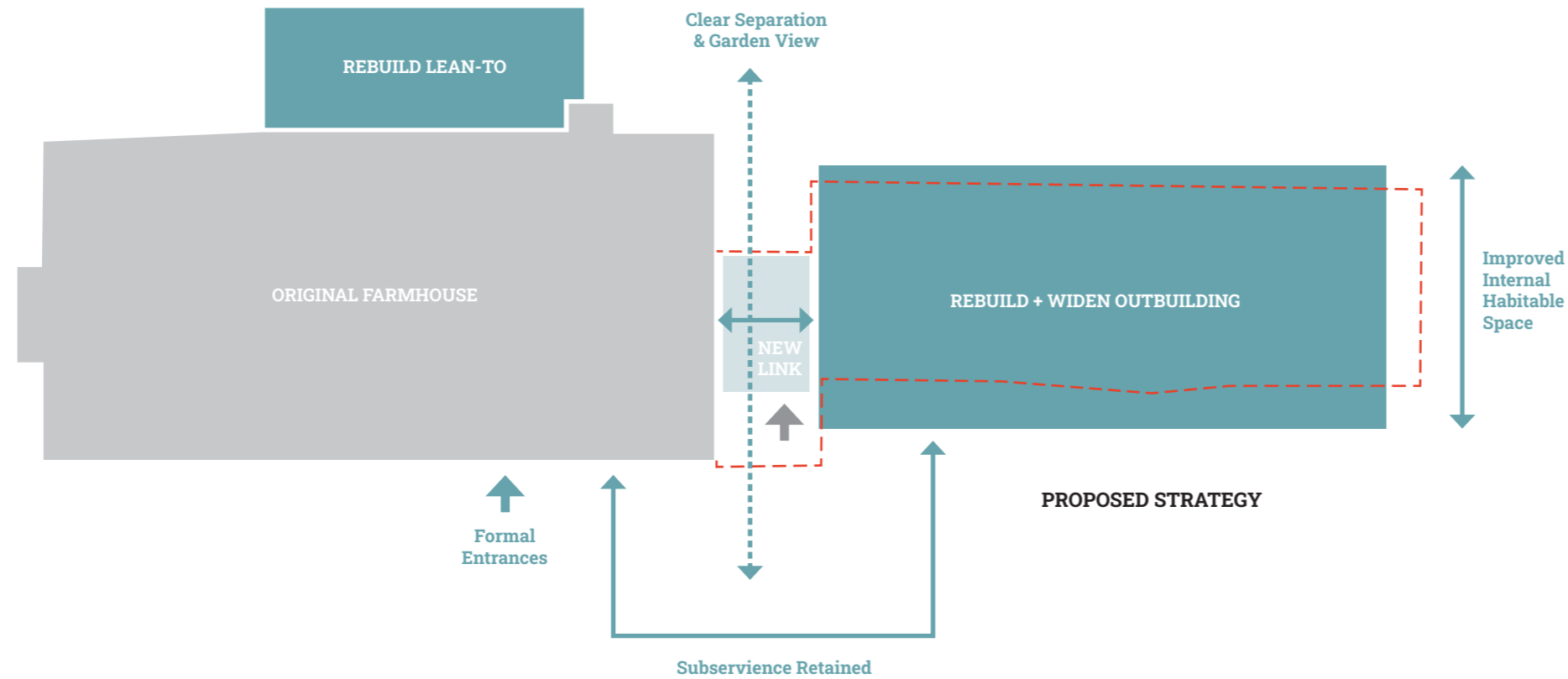


14 Entrance hall 'modern' partitioning



3.1 DESIGN INTENT

- Restore original Farmhouse with formal dominance
- Demolish all dilapidated + damaged fabric
- Removal all modern adhoc additions
- Replacement outbuilding to similar, enlarged footprint
- Outbuilding to be widened to improve internal usable space
- Outbuilding to be set back to retain subservience to the farmhouse
- Minimal clear glass linking structure between farmhouse + outbuilding
- Link to reinstate legibility of the 2 buildings
- Clear view establishes improved view and connection to rear garden
- Main formal entrance to farmhouse is retained
- Secondary entrance is set back from the principle elevation
- Rear lean-to structure rebuilt like-for-like



3.2 PROPOSED USE & AMOUNT

The design approach for the property and site overall aims to reinstate and revitalise the original dwelling to ensure current damage and 'building health' issues are appropriately addressed, all poor quality modern adaptations are removed or replaced and the historic fabric is retained and championed.

The proposed development to the existing farm house focuses on retaining the existing with remedial works and upgrade works to the internal structural and elevation treatments.

Internally, the key alterations will comprise the removal of the 'modern' ground floor partitions to reinstate a larger kitchen space. The existing staircase (thought to be modern in construction) shall also be removed and the original window proportion reinstated. A new stair shall be erected to the North West.

The first floor shall be mostly retained. Again, 'modern' partitioning to the existing (removed) stair shall be removed to form improved bedroom accommodation. 2no. small conservation type rooflight shall be installed to the bathroom and landing spaces to improve natural light.

The 2no. ground floor entrances shall remain as existing with repair work undertaken to the timber frame glazing as noted.

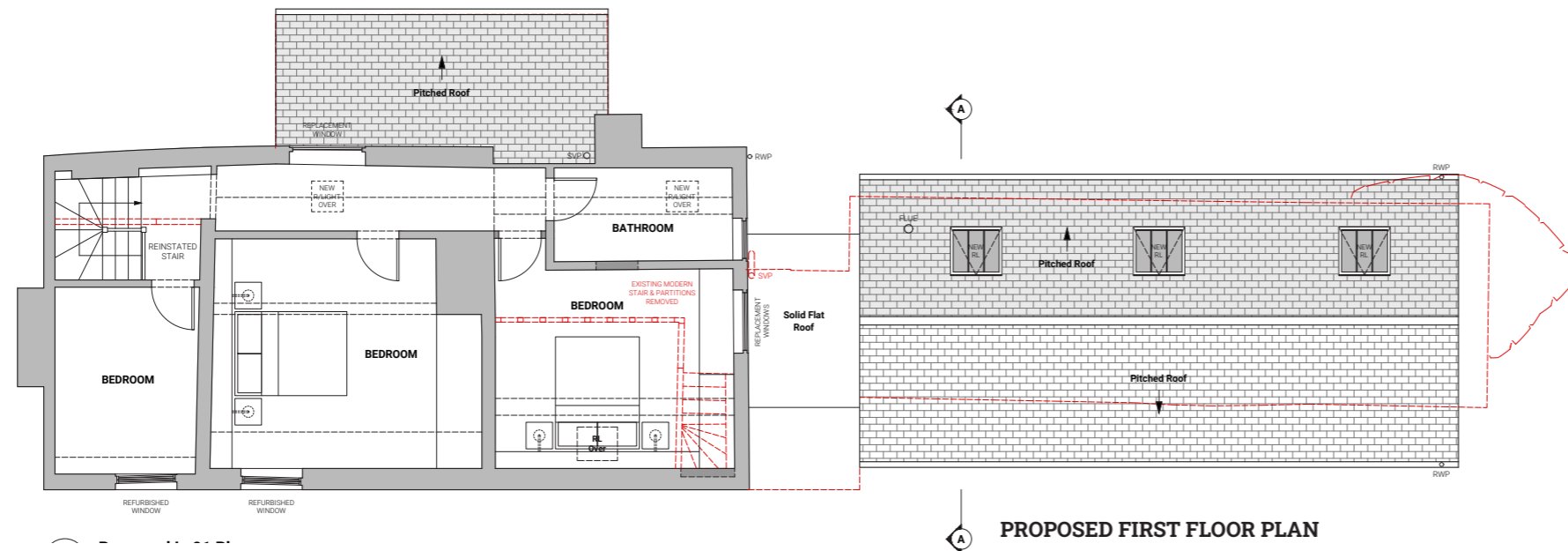
The rear lean-to is consider in disrepair and is proposed for demolition and replacement with a like-for-like brick and plain clay tiled roof structure over. The external ground level shall be lowered to what is thought to be original levels to alleviate damp issues imposed on the facade.

Similarly the damaged outbuilding and flat roof link building shall be demolished and replaced with new structure.

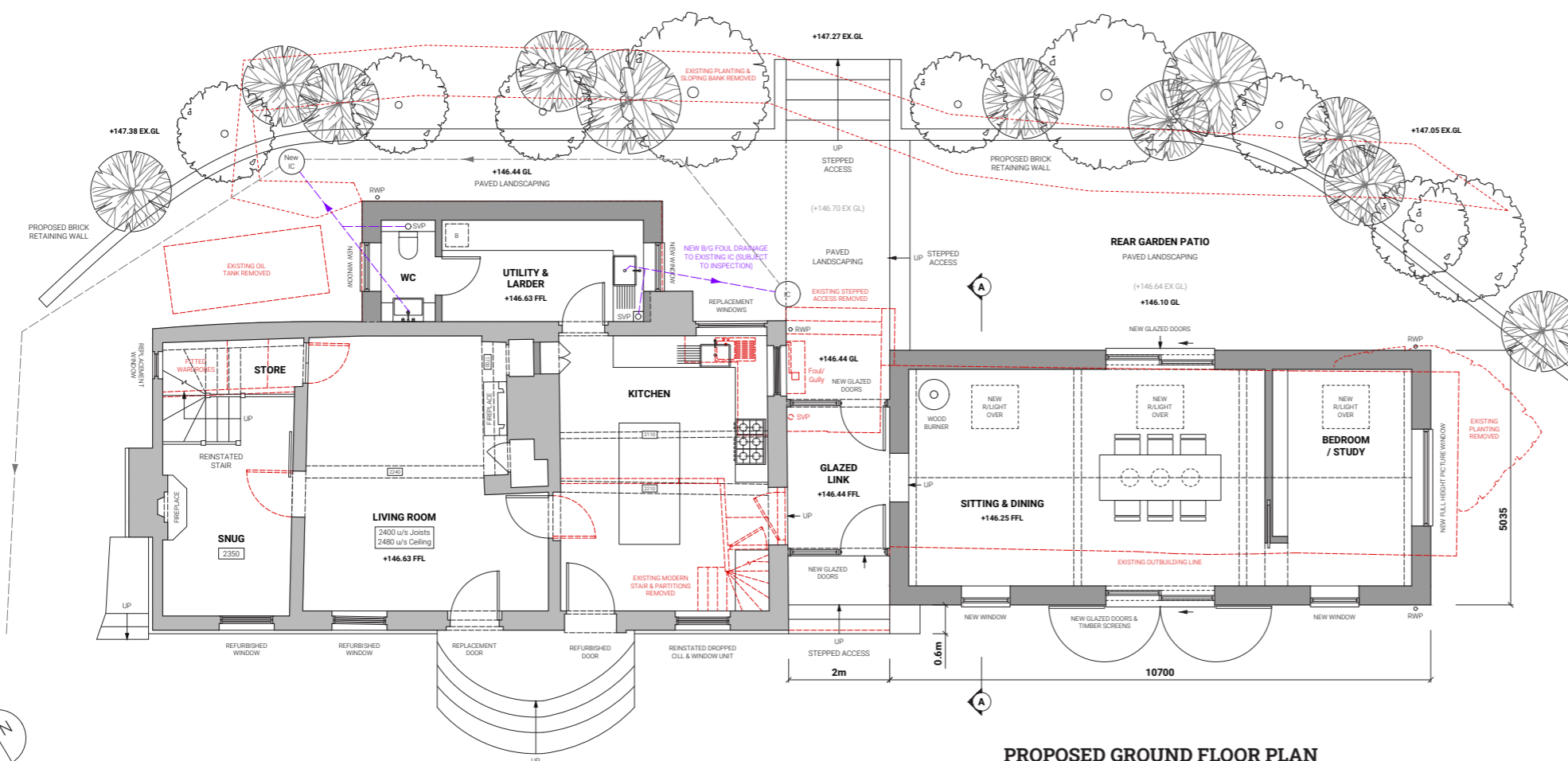
The outbuilding is proposed as a slightly widened structure to ensure a usable internally space is provided which accommodates for a larger wall fabric build-up compliant with current building regulations. The length of the outbuilding shall be reduced to mitigate the scale of the proposed.

Subservience is maintained to the outbuilding. The front elevation is set back from the farmhouse and the layout shall mimic the previous arrangement with 'lesser proportioned' windows and doors.

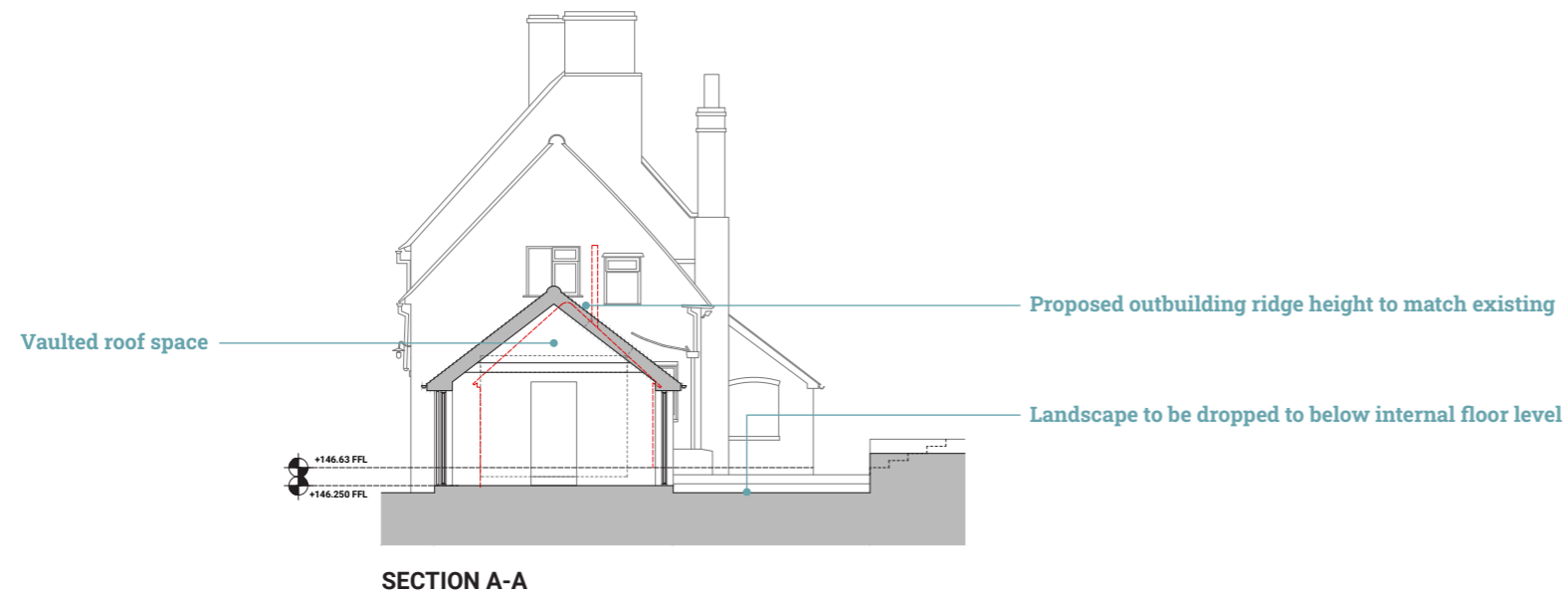
A new glass link aims to visually reinstate the legibility of the farmhouse. The link is set back from the principle facade and the light-weight nature will provide a clear separation between to the two structures.



PROPOSED FIRST FLOOR PLAN



PROPOSED GROUND FLOOR PLAN



3.3 SCALE, FORM & APPEARANCE

- 01 Replacement outbuilding (reclaimed bricks)
- 02 Timber doors (glazing behind)
- 03 Metal frame glazing
- 04 Plain clay tiled roof
- 05 Minimal glazed link
- 06 External stepped access
- 07 Reinstated timber sash window
- 08 Repaired / reinstated entrance door
- 09 Replacement full height timber window
- 10 Replacement sash windows
- 11 Brickwork re-pointed
- 12 Remedial / upgrade works to roof structure
- 13 Chimneys to be rebuilt
- 14 Side elevations to be re-rendered in lime render



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