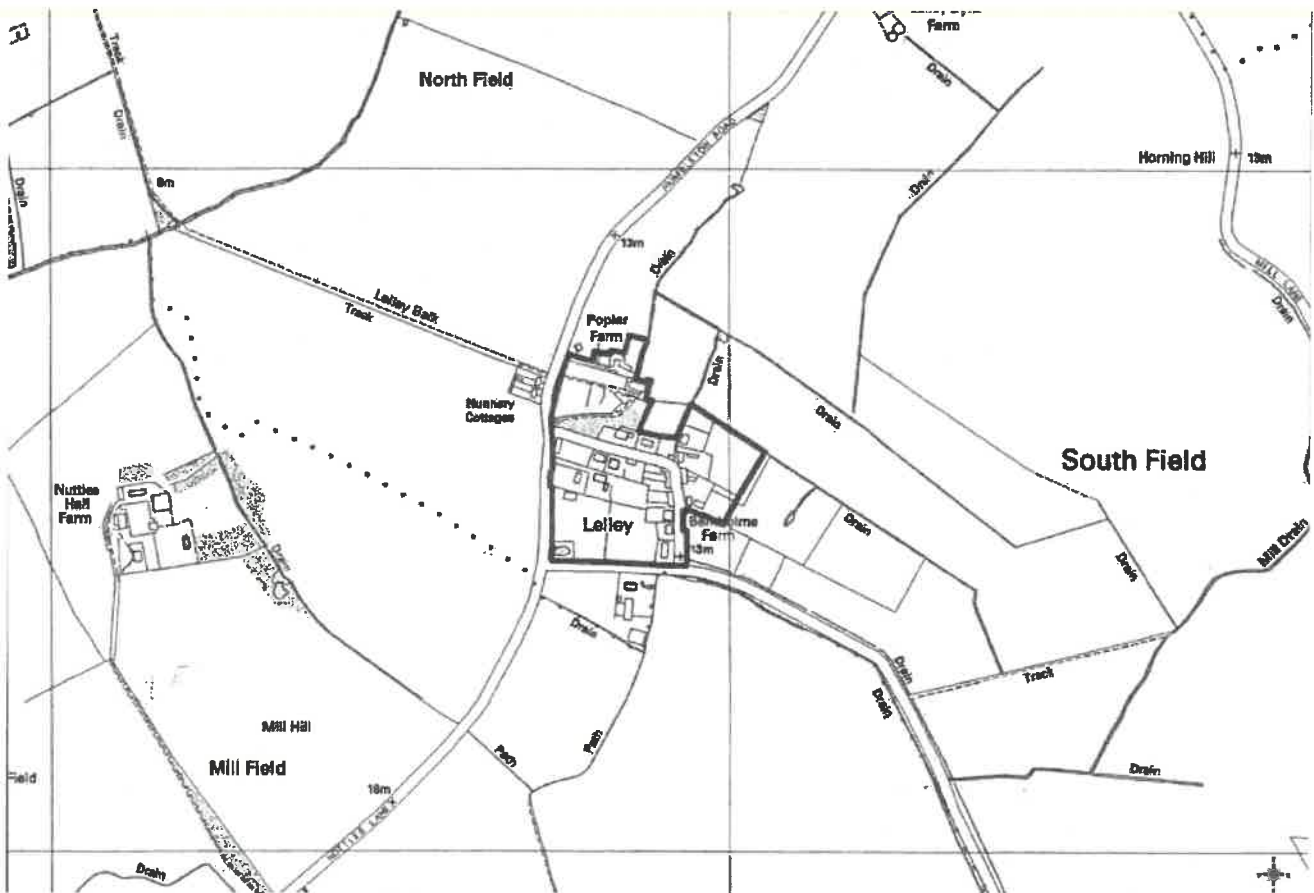


**CHANGE OF USE AND CONVERSION OF BARN/OUTBUILDING
TO SINGLE DWELLING HOUSE
POPLAR FARM, HUMBLETON ROAD
LELLEY, HU12 8SP**

Heritage Statement

The application site is partly within a conservation area and adjacent to a Grade II Listed Dovecoat.

The Conservation Area at Lelley was designated in 1991 by Holderness Borough Council.



The special character and appearance of the Conservation Area at Lelley lies in the close-knit character of its development, often close to the back-of-pavement-edge, in a rural environment. Newer properties beyond the historic core have larger (more suburban) curtilages.

The hamlet of Lelley lies some five miles from Hull and two miles from Preston, in whose parish, historically, it was situated until reorganisation in 1935.

Sited on a slight eminence Lelley is built largely on boulder clay and is around four miles north east of the Humber estuary, and some 40ft above sea level.

The settlement probably came into being on this site to take advantage of the benefits which the drier land offered in a region which, before drainage, was often marshy and subject to occasional inundation.

Lelley is one of Holderness' smallest Conservation Areas. With the exception of Poplar Farm, which is away from the village street, the rest of the houses are tightly knit.

This causes the open spaces surrounding them to be particularly important for the contrast they provide. The flatness of the surrounding countryside coupled with the slight elevation which Lelley enjoys, allows the hamlet to be seen from a considerable distance, particularly from the south west and southeast

There are just over two dozen residential properties in the Conservation Area, and of those over one-third are modern. Under different circumstances these might well have been excluded from the designation, but the close-knit character of the settlement, almost exclusively within the apex of the Burstwick and Humbleton roads made their inclusion desirable.

Of the remaining older properties, almost all are two storey, at least in part, the only exception being the recent residential conversion of outbuildings at Poplar Farm.

The majority of Conservation Area buildings have a brick (rather than painted or rendered) finish and the older properties exhibit the usual deep red-brown colouring typically found in this part of Holderness.

Although there is one example of a slate roof (and another part slate) the more usual traditional roof covering is clay pantile.

Few, if any, of the remaining buildings will predate the 19th century and reflect the normal single pile, roof-slope-to-road pattern of development.

It is in the region of roof coverings and window styles that Lelley has suffered most from modernisations to its older properties.

Concrete tiles have replaced pantiles in several locations - a development which not only alters the appearance of a property but which can be detrimental to its structure, given that concrete tiles are more weighty than traditional forms of roof covering and when laid on timbers which have not been designed to take them, can cause a roof to sag or, in exceptional circumstances, to collapse.

There are a number of flat roof extensions - a style of development which is as unsound in practical terms (given the relatively short lifespan of roofing felt) as it is visually detrimental.

Many original window styles have been replaced with top-hung casements or PVCu, and sadly these have not always retained the original window sizes.

With nearly all the Conservation Area properties being of 2 storeys, the presumption would be that new development would reflect these heights.

Any development on Humbleton Road within the Conservation Area would probably need to be set well back to reflect the building lines of most of the properties already there.

Where the development is completely new, the materials will need to be sympathetic to those of the surrounding properties.

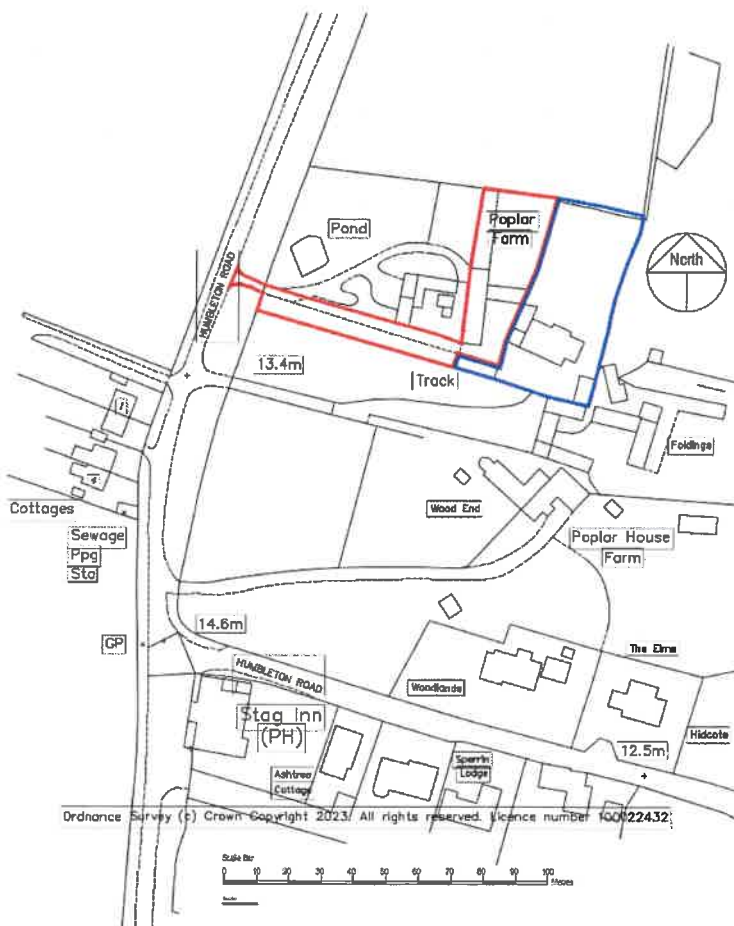
Roofing materials will almost always require to be clay pantiles and brickwork will need to be in harmony with the red-brown colour of the existing traditional brickwork.

Gutters should be of cast iron or timber, with cast iron fall pipes. Where the property is modern, however, the use of plastic may be approved.

Brick chimneystacks with pots around 75cm (2'-6") high make a significant contribution to the skyline on domestic purposes.

Design Statement

The application site is located on the northern side of Lelley and falls just within the Conservation Area at Lelley.



The site at Poplar Farm comprises of converted and extended outbuildings occupied by the applicant including a 'dovecote' outbuilding and other outbuildings which have been partly demolished and a large garden area to the north.

To the east, west and south of the site lie individual residential properties and the 'Stags Head Inn' further south facing on to Humbleton Road.







The Application Proposal

The application site comprises a brick barn located on the boundary of Poplar Farm and Fold yard Cottage to the immediate west and The Foldings to the immediate south east.

The barn has lain empty for many years and was used intermittently for storage purposes.

The barn has a 1 third/2 thirds split between the main section to the south and a smaller section to the north.

The main section is in good condition with exposed trusses and the section to the north has suffered a partial collapse of the roof which currently has a temporary covering to prevent any further deterioration.

A structural report (which is submitted with this planning application) has been carried out by Dudley Consulting Engineers and the report concludes that the barn structure is capable of repair and conversion into a dwelling house. It is proposed to carefully rebuild the roof structure to the partially collapsed section to the north and reuse the existing pantiles and replace the 1st floor as part of the roof repairs.

The design proposal seeks to change the use of the barn and convert it into a single dwelling comprising the following accommodation:-

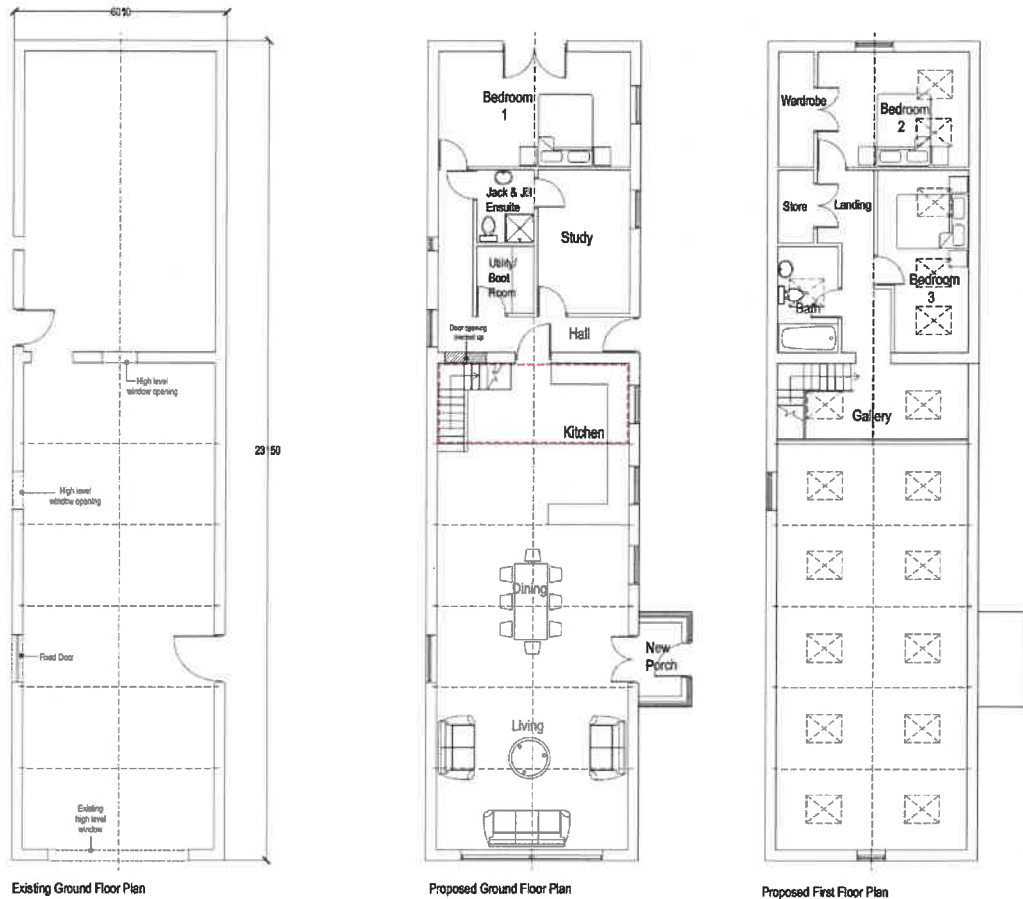
Ground Floor

- Large open plan double volume kitchen, dining and living room on the ground level of the main barn
- Bedroom 1
- Study
- Utility Room
- Bathroom with 'jack and jill' access from the study

First Floor

- Bedroom 2
- Bedroom 3
- Bathroom
- Mezzanine gallery to main barn

The change of use also includes the construction of a small single storey entrance porch to the east elevation.



There are 7 existing window/door openings to the external walls/roof and 2 openings to the internal wall of the existing barn.

The external alterations proposed are as follows:-

West Elevation

- No new openings to existing wall
- 2 door openings to be infilled with timber half gazed fixed doors with obscured glazing
- 1 high level opening with new window
- 1 low level opening with new window
- 7 new conservation roof lights in the roof

East Elevation

- 5 new window openings proposed to existing wall
- 1 new door opening proposed to existing wall
- Existing door opening to form part of new glazed porch formed with slimline 'Crittall' polyester powder coated steel frames
- 11 new conservation rooflights in roof

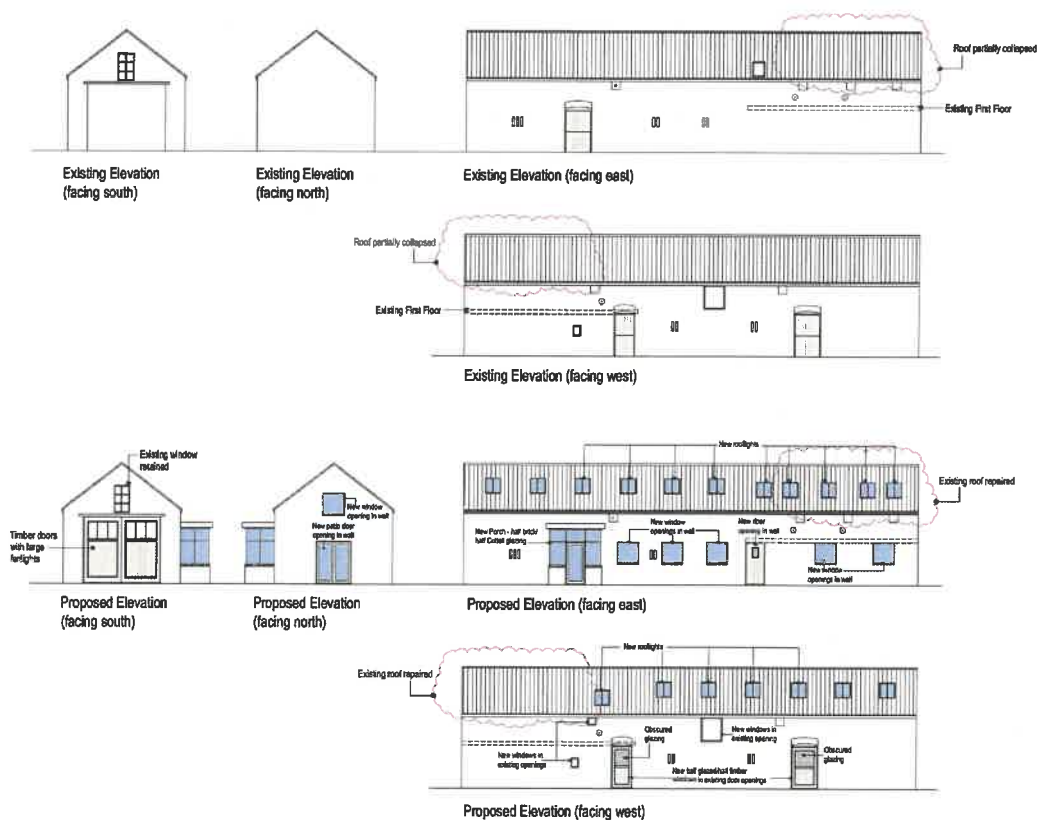
North Elevation

- 1 new pair of glazed doors in gable wall as ground level facing garden
- 1 new window in gable wall at 1st floor level facing garden

South Elevation

- No new openings to existing gable wall
- New fixed timber doors with high level 'fan light' windows
- Existing 1st floor window to be retained and refurbished

The external walls will also be repointed throughout and all external vents and steel plates retained.

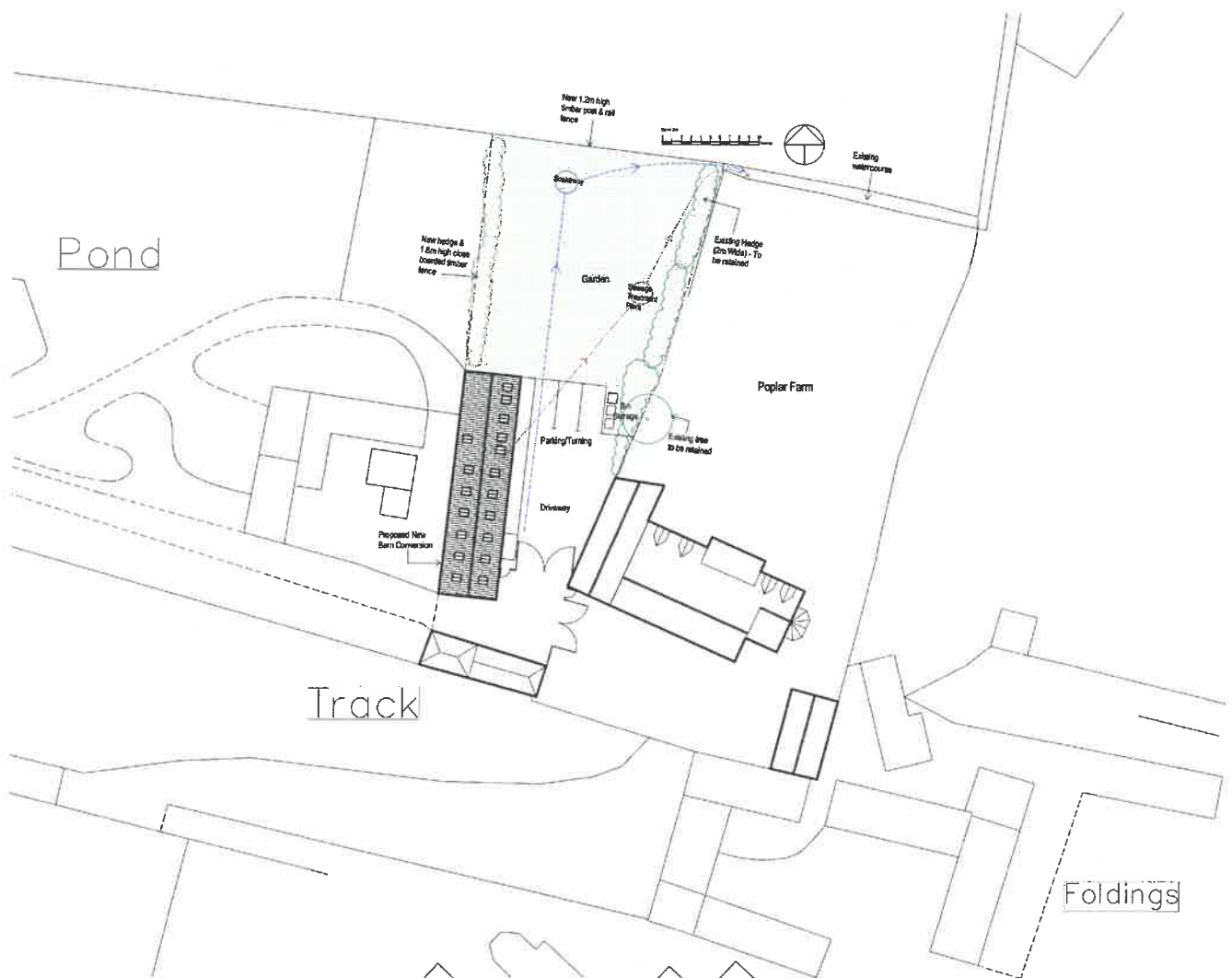


All the trusses in the main barn section are to be retained and exposed as a feature in the double volume space and staircase would be introduced at the northern end of the barn to create a gallery at 1st floor level overlooking the main barn roofspace but also giving access to the 1st floor bedroom accommodation.

Externally, a large garden area would be created to the north of the barn with a generous gated drive to the east side with enough area for 3 car parking spaces and turning facility.

Surface water drainage would run to a soakaway at the north end of the garden with an overflow to the existing water course on the northern boundary if required.

Foul drainage would run to a sewage treatment plant, again with an overflow to the existing watercourse on the northern boundary if required.



The proposals have been developed through careful consideration of the site including:

- Analysis of the local character and context
- Evaluation of use requirements of the local area
- Detailed analysis of the site itself including orientation, topography, access, proximity to neighbours and connection with the streetscape
- Local movement networks and how they can be enhanced

The main issues to be considered in the determination of this application are:

- Principle of development
- Infrastructure requirements
- Physical changes to the site
- Impact on residential amenity
- Impact on highway safety, access and highway network

Project Aims

Dwelling

1. A well designed residential development which provides a good level of architectural design
2. Ensure that the development is planned as a safe, healthy, accessible and attractive place for residents
3. This development proposes an attractive and sympathetic housing layout will be created by developing a sense of place and individuality through careful attention to layout, architectural design and incorporation of open space and landscape treatments
4. Limit any harm to residential amenity
5. Limit visual intrusion
6. Not over develop the site
7. Ensure the final layout fully responds to the constraints and opportunities afforded to the site
8. Windfall site to aid local housing supply

Analysis

A site analysis exercise was undertaken as part of the design process. This informed the proposals by identifying key features and characteristics of the site and its surroundings together with constraints and opportunities.

Constraints

1. Outside of Development Limits of village
2. Principle of conversion of barn in this location

Opportunities

1. Good standard of architectural design to add visual stimulation into the area
2. Use compatible with surrounding residential development
3. To bring back into positive use a site which is currently underutilised, giving it a sustainable and long term use
4. Best use of the available buildings and land
5. Design, scale and materials used will respect the site and its surroundings

The parcel of land is ideal for development and presents a unique opportunity to make use of a site in a highly sustainable location, in close proximity to amenities whilst not harming the character and appearance of this part of the locality.

Through the careful orientation of the dwelling, it has its own views from the respective elevations ensuring no windows look into the nearby properties which is emphasised by providing new planting.

To ensure that the proposal sits comfortably within the context of the site, we analysed the schemes that redeveloped existing agricultural buildings such as this.

The proposed arrangement is seen as the most optimum arrangement on the site as it makes the best use of the available land and providing separation between the properties reduces any form of massing that would provide an unattractive aesthetic.

In order for the proposed development to integrate well with its surroundings, the scale and massing of the existing and neighbouring built forms is considered which is reflected in both the height of building but also the massing which ensures existing properties nearby are not over dominated.

Scale and Massing

While changes to the existing barn is limited, the proposed dwelling has evolved and developed to provide a scheme that is an architecturally interesting arrangement and will raise the appearance within the streetscene when viewed from adjacent vantage points.

Layout

The general shape and characteristics of the site, make designing an attractive housing development relatively straightforward and architectural team have provided a high quality development throughout. The housing layout has been derived by the form of the site meaning the footprint and core of the existing barn can be used to its most efficient.

The general arrangement of this proposal is deliberate and it will allow for a functional internal layout with substantial outdoor amenity space for future occupants but would relate comfortably in its setting.

Amenity Levels

The proposed dwelling is designed to a high standard using modern construction methods, good design principles and would provide the future occupants with the highest standard of amenity.

The proposed development would provide a high standard of internal living accommodation with good sized kitchen, dining and living arrangements with more than adequate size bedrooms and bathrooms.

The completed development will provide all the necessary facilities associated with 21st century living both internally and externally.

Proposed Materials

Walls	Any walls to be repaired, or partially rebuilt will be carried out using the existing bricks on site
Roof	Any repairs to the roof to be carried out using the existing clay pantiles. Any replacement pantiles to be for a reclaimed source or Arcadia clay pantile – reclaimed (see attached details)
Windows	New windows to be installed by Velfac Ltd (see attached details) or equal and approved
Rooflights	New conservation roof lights to be installed by Clement Windows (see attached details) or equal and approved
New Doors	New doors and frames by Browns Joinery (see attached details) or equal and approved
Rainwater Goods	All rainwater goods to be 'Cascade' cast iron effect rainwater and soil systems (see attached details) or equal and approved

Local Plan Policies

Section 38(6) of the Planning and Compulsory Purchase Act 2004 directs Local Planning Authorities to determine planning applications in accordance with the policies of the Development Plan unless material considerations indicate otherwise. Section 38(3) of the Act provides that the Development Plan includes the 'development plan documents (taken as a whole) which have been adopted or approved in relation to that area.' The adopted statutory Development Plan for the area comprises the East Riding Local Plan Strategy Document.

Material considerations also include national policy, which is primarily expressed through the National Planning Policy Framework and National Planning Practice Guidance, as well as additional guidance produced by the Council in the form of Supplementary Planning Documents (SPDs).

The East Riding Local Plan Strategy Document was adopted in April 2016 to guide development across the region until 2029. It sets out the overarching spatial strategy and housing requirements for the area for the plan period. In general the Local Plan seeks to ensure that, amongst other things, new development and existing areas are accessible and sustainable and to make the most efficient use of the East Ridings land, particularly previously development land, to ensure that as many new houses as possible are delivered to meet identified and specific needs for its residents.

East Riding Local Plan Strategy Document April 2016

Policy S1 Presumption in favour of sustainable development
Policy S4 Supporting development in Villages and the Countryside
Policy S5 Delivering housing development
Policy S8 Connecting people and places
Policy H1 Providing a mix of housing and meeting needs
Policy H4 Making the most efficient use of land
Policy EC2 Developing and diversifying the visitor economy
Policy EC4 Enhancing sustainable transport
Policy ENV1 Integrating high quality design
Policy ENV2 Promoting high quality landscape
Policy ENV3 Valuing our heritage
Policy ENV6 Managing environmental hazards

Other Documents

Strategic Housing Market Assessment (SHMA - 2019)

Housing Mix Guidance Note (June 2020)

Housing Land Supply Position Statement for the period 2021/22 to 2025/26(May 2021)

Sustainable Transport Supplementary Planning Document (SPD) (May 2016)

Designations

The site is unallocated within the Policy Map

The site is identified as outside the Development Limits of Lelley which is the closest settlement

The land is not located within a Conservation Area or near to any Listed Buildings

Potential for archaeological implications

Proposed Dwelling

Local Authorities are advised in the NPPF to manage patterns of growth to ensure sustainable development and this is reflected within Policies S1 and S2 and the established Settlement Hierarchy given by Policies S3 and S4.

The adopted Local Plan sets out a settlement hierarchy in the Strategy Document, in order to promote sustainable patterns of development required by the NPPF. In the Local Plan, the Council identifies a Settlement Hierarchy through Policy S3. By identifying the settlement hierarchy, the Council is seeking to focus development into existing settlements, where development would generally make the best use of existing services and infrastructure and minimise the need for travel. This aligns with one of the core planning principles of the NPPF to actively manage patterns of growth to make the fullest possible use of public transport, walking and cycling.

Within the Settlement Network, the nearest conurbation is Lelley which is identified as a village with its own development limit in the Local Plan. Policy S4 supports development that help to maintain the vibrancy of villages and the Countryside where such development is of an appropriate scale to its location and encourages the re-use of previously developed land where appropriate. Part 4.36 of the Local Plan is related directly to villages and states 'new market housing will normally be in the form of infill, conversion or replacement buildings. In some circumstances, proposals for more than one dwelling may be appropriate, which could include the development of previously developed land, affordable homes, or the conversion of larger buildings. There may also be instances where infill development would provide the opportunity for more than one dwelling. However, it should be limited to that which would comprise development in a small gap in an otherwise built up frontage, and proposals should have due regard to the form and character of the village.' The site lies outside of the Development Limit of Lelley and as such is located in an area that is defined as being in the 'Countryside' for the purposes of Development Plan policy.

The application site is located in an area that is defined as being in the 'Countryside' in the Local Plan. Policy S4 Part A supports development in the Countryside where it helps to maintain the vibrancy of the Countryside and where it

1. is of an appropriate scale to its location taking into account the need to support sustainable patterns of development
2. encourages the use of previously developed land
3. does not involve a significant loss of best and most versatile agricultural land.

Policy S4 Part C lists the types of development that are supported in the Countryside, where proposals respect the intrinsic character of their surroundings. With regards to housing, this includes:

1. certain conversions
2. replacement dwellings
3. new dwellings of exceptional quality or of truly outstanding innovative design
4. affordable housing for local people and
5. agricultural, forestry or other rural-based occupational dwellings subject to demonstrating an essential need

This is in line with Paragraph 80 of the NPPF. The development proposal is for speculative housing in the Countryside which is not a type of development that is supported through Policy S4 and case law (East Staffordshire BC v SSCLG and Barwood 2016) has established that development that is not in conformity with an up-to-date Development Plan must be the 'exception rather than the norm'. Nevertheless, the supporting text to Policy S4 states that, for all development proposals, consideration will be given as to how a proposal relates to the built and landscape character of the surrounding area.

This has been discussed and there are mitigating circumstances plus an extant planning permission, that includes two new build dwellings, which support the provision of a high quality family home such as this proposed.

Policy S4 Part C outlines the forms of development supported outside of development limits where land is regarded as the 'Countryside'. The site lies just outside the development limits where new housing is normally strictly controlled, and the proposal does not meet any of the exceptions in Policy S4. However in this case given the enclosed character of the site it is considered, existing vegetation, proximity to existing housing within and near to the site, walking distance to the village and absence of harm to the character and appearance of the area, if part of the site was developed for a single dwelling and associated infrastructure, it is considered such a development would be acceptable.

It is considered that the principle of a single new dwelling outside the development limits of Lelley is acceptable in this instance as the site is to all intents and purposes a part of the built-up area of the locality and would not set a precedent for further such development because the circumstances in this instance are unique. It is considered that in this instance an exception to the Local Plan could be made which would not jeopardise the Local Plan and future implementation of Policy S4.

Policy A2 states that plans, strategies and development decisions in the sub area should 'contribute to the overall mix of housing in the sub area, including through the delivery of smaller properties.' However, it is considered that the provision of a dwelling of this nature would be appropriate on this site given the overall scale of the developable area which is restricted to the footprint of the existing barn.

In line with Policy H2, the proposal does not need to provide affordable housing provision.

Policies H1 and A2 support residential development in the Sub Area where it contributes to the overall mix of housing.

Policy S5 confirms that within such areas, sites for housing will be allocated to support an identified level of growth, being 1100 houses within villages over the plan period between 2012/13 and 2028/29. The extract from Policy S5 confirms this.

Policy H4 seeks for new residential development to make the most efficient use of land. Within the larger settlements densities are sought appropriate to the type of development and can be much closer to the target of 30 dwellings per hectare. In this case the proposal would have a lower density within the site but that would be in keeping with the character of development in the surrounding area, as such the proposal is considered to be compliant with Part C of this Policy which does make exceptions for lower density development.

The most recent study on the supply of housing sites in the East Riding identifies that as of April 2021, the Council has a 10.4 year supply of deliverable housing sites across the authority. It covers the period 2021/22 to 2025/26. The supply position is calculated using the East Riding's local housing need requirement of 882 dwellings per annum. The local housing need figure is derived from the Government's standard method which can be used where a Local Plan is more than 5 years old. The supply responds to the requirements of the NPPF and PPG, in particular, the definition of what constitutes a deliverable site. Sites with outline planning permission or allocations without planning permission have only been included where there is evidence to justify that houses will be built within the five year period. Policy S5 sets out the distribution of dwellings that new housing development should seek to accord with across the plan period, with 23,800 net additional dwellings (or 1,400 per annum) the expected target and 1100 of these provided in villages and the countryside. Therefore the provision of an additional dwelling on this windfall site will further aid the housing supply for the Council.

In terms of accessibility, Policy S8 seeks to ensure that people and places are well-connected, and Policy EC4 which generally supports development where it is accessible by sustainable modes of transport. The site is in a sustainable and accessible location close to all the services provided in the village. The Council's Sustainable Transport SPD provides details on what parking provision would be required within the curtilage of such a dwelling and the proposed plans clearly show significant car parking can be provided with ease.

Policy ENV1 expects all development proposals to contribute to safeguarding and respecting the diverse character and appearance of the area through their design, layout, construction and use. Part B of the Policy supports development where it achieves a high quality of design and contributes to a sense of place. To achieve this, development should, amongst other things, have regard to the specific characteristics of the site's wider context and the character of the surrounding area and be of an appropriate scale, height and material. The NPPF reinforces the requirement for good design and seeks to ensure that developments function well and add to the overall quality of the area, are visually attractive as a result of good architecture and are sympathetic to local character and history, including the surrounding built environment. The proposed development would represent an acceptable scale, form and density of development within this location and would not conflict with the requirements for proposals to have high standards of design with acceptable impacts on the character and appearance of the surrounding area. The sub structure of the existing grain store would be used to facilitate the proposed dwelling and the resultant changes would be representative of a modern conversion with extensive glazing throughout and use of vertical timber cladding. The pitched roof garage would be a simple arrangement which would complement the dwelling in terms of scale and appearance.

The NPPF reinforces the requirement for good design and seeks to ensure that development is visually attractive as a result of good architecture and is sympathetic to local character and history, including the surrounding built environment. Paragraph 8.10 of the supporting text to Policy ENV1 specifically refers to the importance of safeguarding sites and states 'there are areas within the East Riding that have their own special character which should be safeguarded. These include large, well-spaced houses in substantial, landscaped grounds and areas of settlements where the arrangement of buildings is loose, giving that part of the settlement an open, or even semi-rural appearance'. The NPPF goes on to state that planning decisions should support development that makes efficient use of land taking into account, amongst other things, the desirability of maintaining an area's prevailing character and setting (including residential gardens) and the importance of securing well-designed, attractive and healthy places. In this instance, it is considered that the proposal would represent the optimum viable arrangement for the site that would not be to the detriment of the visual appearance of this part of the site or wider area.

Policies ENV1 Part B7 and ENV2 Part A3 of the Local Plan seeks to ensure that landscaping schemes are designed and implemented to a high standard, respect existing landscape features and protect important trees and hedgerows. Paragraph 130 of the NPPF sets out the importance of good design and how it is a key aspect of wider sustainable development objectives and how developments should be visually attractive as a result of appropriate landscaping. Policy ENV2 states that development proposals should be sensitively integrated into the existing landscape, demonstrate an understanding of the intrinsic qualities of the landscape setting and, where possible, seek to make the most of the opportunities to protect and enhance landscape characteristics. Drawing Number 2023-37/S03 shows the landscaping provision within the site.

National Design Guidance

The National Design Guide (NDG) was produced by MHCLG and published on 1st October 2019. The NDG reinforces the aim of the NPPF to create high quality places and buildings and illustrates how well-designed places can be achieved in practice and can be used by all those involved in the shaping of places, including decision making. The NDG Paragraph 8) states that 'the underlying purpose for design quality and the quality of new development at all scales is to create well-designed and well-built places that benefit people and communities which includes people at different stages of life and with different abilities.'

The NDG addresses the question of how we recognise well-designed places, by outlining and illustrating the Government's priorities in the form of ten characteristics:

1. Context – enhances the surroundings
2. Identity – attractive and distinctive
3. Built Form – a coherent pattern of development
4. Movement – accessible and easy to move around
5. Nature – enhanced and optimised
6. Public Spaces – safe, social, and inclusive
7. Uses – Mixed and integrated
8. Homes and Buildings – functional, healthy, and sustainable
9. Resources – efficient and resilient
10. Lifespan – made to last

The focus is on place-making. The ten characteristics contribute towards three overarching and cross-cutting themes - creating a physical character, sustaining community, and addressing climate issue.

It is considered that relevant aspects of the Guidance have been addressed.

National Planning Policy Framework

The National Planning Policy Framework (NPPF) was originally published in March 2012 and most recently revised in July 2021. The NPPF is a material consideration in determining planning applications (paragraph 2). The Government expects communities to plan positively to support sustainable development (paragraph 29). So that sustainable development is pursued in a positive way, at the heart of the Framework is a presumption in favour of sustainable development (Paragraph 10). It also follows that development plans, under the current plan-led system, ought to be consistent with the objectives, principles and policies set out in the NPPF.

Plans should positively seek opportunities to meet the development needs of their area. Development proposals which accord with an up to date development plan should be approved without delay. Where there are no relevant development plan policies, or the policies which are most important for determining the application are out-of-date, granting permission unless:

- The application of policies in this Framework that protect areas or assets of particular importance provides a clear reason for refusing the development proposed; or
- Any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in this Framework taken as a whole (Paragraph 11).

The NPPF encourages growth. Local planning authorities should approach decisions on proposed development in a positive and creative way. They should work proactively with applicants to secure developments that will improve the economic, social and environmental conditions of the area. Decision makers at every level should seek to approve applications for sustainable development where possible (Paragraph 38).

A Social objective – To support strong, vibrant and healthy communities, by ensuring that a sufficient number and range of homes can be provided to meet the needs of present and future generations; and by fostering a well-designed and safe built environment with accessible services and open spaces that reflect current and future needs and support communities health, social and cultural well-being;

New dwelling - Provision of new home
Both - Sustainable location

An Environmental Objective – To contribute to protecting and enhancing our natural, built and historic environment; including making an effective use of land.

Both - Effective use of land and buildings
Both - Sustainably located development within access to a
Both - Excellent access to local road network
Both - Use of energy efficient and sustainable materials throughout
New dwelling - Significant landscaping provision

Paragraph 38 states that Local Authorities are encouraged to work proactively with applicants to secure developments that will improve the economic, social and environmental conditions of the area.

Paragraph 47 states that, in determining applications, decision-making should be in accordance with the development plan, and should take place as quickly as possible within the statutory timescales.

Paragraph 60 states 'to support the Government's objective of significantly boosting the supply of homes, it is important that a sufficient amount and variety of land can come forward where it is needed, that the needs of groups with specific housing requirements are addressed and that land with permission is developed without unnecessary delay.'

Paragraph 62 outlines that the size, type and tenure for housing needed for different groups in the community should be assessed and reflected in planning policies (including, but not limited to, those who require affordable housing, families with children, older people, students, people with disabilities, service families, travellers, people who rent their homes and people wishing to commission or build their own homes).

Paragraph 69 states 'small and medium sized sites can make an important contribution to meeting the housing requirement of an area, and are often built-out relatively quickly. To promote the development of a good mix of sites local planning authorities should:

- a. identify, through the development plan and brownfield registers, land to accommodate at least 10% of their housing requirement on sites no larger than one hectare; unless it can be shown, through the preparation of relevant plan policies, that there are strong reasons why this 10% target cannot be achieved;

- b. use tools such as area-wide design assessments and Local Development Orders to help bring small and medium sized sites forward;
- c. support the development of windfall sites through their policies and decisions – giving great weight to the benefits of using suitable sites within existing settlements for homes; and
- d. work with developers to encourage the sub-division of large sites where this could help to speed up the delivery of homes.

Paragraph 71 states 'where an allowance is to be made for windfall sites as part of anticipated supply, there should be compelling evidence that they will provide a reliable source of supply. Any allowance should be realistic having regard to the strategic housing land availability assessment, historic windfall delivery rates and expected future trends. Plans should consider the case for setting out policies to resist inappropriate development of residential gardens, for example where development would cause harm to the local area.'

Paragraphs 74 and 75 relate to the issue of maintaining housing supply and delivery. The Paragraphs advise of the requirements of local planning authorities to maintain a minimum of a 5-year housing supply against their housing requirement set out in adopted strategic policies. The supply of sites should also include a buffer to accommodate any historic undersupply of housing. Figures should also be regularly monitored to maintain the supply of housing and ensure it remains above the 5-year threshold

Paragraph 78 states 'in rural areas, planning policies and decisions should be responsive to local circumstances and support housing developments that reflect local needs.

Paragraph 81 states that planning policies and decisions should help create the conditions in which businesses can invest, expand and adapt. Significant weight should be placed on the need to support economic growth and productivity, taking into account both local business needs and wider opportunities for development.

Paragraph 82 states that 'planning policies should set out a clear economic vision and strategy which positively and proactively encourages sustainable economic growth, having regard to Local Industrial Strategies and other local policies for economic development and regeneration.'

Paragraph 83 states 'planning policies and decisions should enable the sustainable growth and expansion of all types of business in rural areas, both through conversion of existing buildings and well-designed new buildings.'

Paragraph 84 supports and promotes prosperous rural economies and states Planning policies and decisions should enable

- a. the sustainable growth and expansion of all types of business in rural areas, both through conversion of existing buildings and well-designed new buildings
- b. the development and diversification of agricultural and other land-based rural businesses

- c. sustainable rural tourism and leisure developments which respect the character of the countryside
- d. the retention and development of accessible local services and community facilities, such as local shops, meeting places, sports venues, open space, cultural buildings, public houses and places of worship

Paragraph 85 states planning policies and decisions should recognise that sites to meet local business and community needs in rural areas may have to be found adjacent to or beyond existing settlements, and in locations that are not well served by public transport. In these circumstances it will be important to ensure that development is sensitive to its surroundings, does not have an unacceptable impact on local roads and exploits any opportunities to make a location more sustainable (for example by improving the scope for access on foot, by cycling or by public transport). The use of previously developed land, and sites that are physically well related to existing settlements, should be encouraged where suitable opportunities exist"

The NPPF recognises the need for fully considering transport issues for a proposal in Paragraph 104. Opportunities to promote walking, cycling and public transport should be identified and pursued. It also considers that opportunities to maximise sustainable transport solutions will vary between rural and urban areas which should be taken into account in decision making.

Paragraph 105 requires significant developments to be 'focused on locations which are or can be made sustainable, through limiting the need to travel and offering a genuine choice of transport modes.'

Paragraph 106 states that planning should 'minimise the number and length of journeys needed for employment, shopping, leisure, education and other activities' and 'provide for attractive and well-designed walking and cycling networks with supporting facilities such as secure cycle parking.'

Paragraph 107 states, if setting local parking standards for residential and non-residential development, policies should take into account:

- a. the accessibility of the development
- b. the type, mix and use of development
- c. the availability of and opportunities for public transport
- d. local car ownership levels
- e. the need to ensure an adequate provision of spaces for charging plug-in and other ultra-low emission vehicles

Paragraph 110 states in assessing sites that may be allocated for development in plans, or specific applications for development, it should be ensured that

- a. appropriate opportunities to promote sustainable transport modes can be – or have been – taken up, given the type of development and its location;
- b. safe and suitable access to the site can be achieved for all users; and
- c. any significant impacts from the development on the transport network (in terms of capacity and congestion), or on highway safety, can be cost effectively mitigated to an acceptable degree.

Paragraph 111 states 'development should only be prevented or refused on highways grounds if there would be an unacceptable impact on highway safety, or the residual cumulative impacts on the road network would be severe.'

Paragraph 112 states that applications should prioritise pedestrian and cycle movements, address the needs of those with disabilities and allow for efficient servicing.

Paragraph 119 states that planning policies and decisions should promote an effective use of land in meeting the need for homes and other uses, while safeguarding and improving the environment and ensuring safe and healthy living conditions.

Strategic policies should set out a clear strategy for accommodating objectively assessed needs, in a way that makes as much use as possible of previously-developed land.

Paragraph 120 Part D states 'planning policies and decisions should promote and support the development of under-utilised land and buildings, especially if this would help to meet identified needs for housing where land supply is constrained and available sites could be used more effectively (for example converting space above shops, and building on or above service yards, car parks, lock-ups and railway infrastructure'

Paragraph 122 references that planning policies and decisions need to reflect changes in the demand for land and that they should be informed by regular reviews of both the land allocated for development in plans, and of land availability references achieving appropriate densities and outlines that planning policies and decisions should support development that makes efficient use of land.

Paragraph 123 states that land in retail or employment use may be better directed to residential use, and can do so without impacting negatively on key economic sectors: 'Local Planning Authorities should also take a positive approach to applications for alternative uses of land which is currently developed but not allocated or a specific purpose ... in particular, they should support proposals to use retail and employment land for homes'

Paragraph 125 states that a significant uplift in the average density of residential development' within well-connected locations and local authorities should refuse applications that fail to make efficient use of land.

Paragraph 126 states 'the creation of high quality buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities. Being clear about design expectations, and how these will be tested, is essential for achieving this. So too is effective engagement between applicants, communities, local planning authorities and other interests throughout the process.'

Paragraph 130 Part A, B, C and F state 'planning policies and decisions should ensure that developments will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development; are visually attractive as a result of good architecture, layout and appropriate and effective landscaping, are sympathetic to local character and create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users and where crime and disorder, and the fear of crime, do not undermine the quality of life or community cohesion and resilience.'

Paragraph 132 states that design quality should be considered throughout the evolution and assessment of individual proposals.

Paragraph 134 and 135 state 'permission should be refused for development of poor design that fails to take the opportunities available for improving the character and quality of an area and the way it functions, taking into account any local design standards or style guides in plans or supplementary planning documents. Conversely, where the design of a development accords with clear expectations in plan policies, design should not be used by the decision-maker as a valid reason to object to development. Local planning authorities should also seek to ensure that the quality of approved development is not materially diminished between permission and completion, as a result of changes being made to the permitted scheme (for example through changes to approved details such as the materials used).'

Paragraph 159 states 'inappropriate development in areas at risk of flooding should be avoided by directing development away from areas at highest risk (whether existing or future). Where development is necessary in such areas, the development should be made safe for its lifetime without increasing flood risk elsewhere.'

Paragraph 174 Part A and B state 'planning policies and decisions should contribute to and enhance the natural and local environment by protecting and enhancing valued landscapes, sites of biodiversity or geological value and soils (in a manner commensurate with their statutory status or identified quality in the development plan. Policies should recognise the intrinsic character and beauty of the countryside, and the wider benefits from natural capital and ecosystem services – including the economic and other benefits of the best and most versatile agricultural land, and of trees and woodland.'

Assessing the proposed development against the main objectives of the NPPF, it is clear the scheme accords with the overarching approach to planning in that:-

- It is promoting development through the use of a sustainably located site
- The proposal will make effective use of the existing available land and buildings
- The proposal will provide residential development which is compatible with the surrounding land use
- Good standard of architecture
- Windfall housing site
- No harm to residential amenity
- The proposal will provide holiday accommodation with a boost to the local Economy

Residential Amenity

With any new development, if in close proximity to existing residents, it is important that their amenity is not significantly harmed in any way. In terms of residential amenity, it is important that the existing occupants of nearby dwellings are not harmed by any factors such as overlooking, over dominance, loss of light, enclosure and loss of outlook.

Policy ENV1 of the Local Plan requires proposals to have regard to a good standard of amenity for future and existing occupiers of land and buildings.

No extension of the barn is proposed with the exception of a small glazed porch to the principal entrance on the east elevation.,

Given the location of the buildings as a whole and their relationship with the nearest properties, combined within the presence of intervening structures there would be no harm to residential amenity.

Planning History

Erection of two storey extension to rear and side, single storey extension to side following demolition of existing outbuilding and erection of porch to front (Revised scheme of 05/08563/PLF)

Poplar Farm Humbleton Road Lelley East Riding Of Yorkshire HU12 8SP

Ref. No: 06/06546/PLF | Received: Thu 10 Aug 2006 | Validated: Thu 10 Aug 2006 |

Status: Application Approved

Proposed amendment to a new splayed bay with dwarf walls, glazed doors and screens and a leaded roof

Poplar Farm Humbleton Road Lelley East Riding Of Yorkshire HU12 8SP

Ref. No: 06/05998/AMPLAN | Received: Fri 21 Jul 2006 | Validated: Fri 21 Jul 2006 |

Status: Application Refused

Erection of two storey extension to rear and side following demolition of existing outbuilding, erection of porch to front (revised scheme 05/08563/PLF)

Poplar Farm Humbleton Road Lelley East Riding Of Yorkshire HU12 8SP

Ref. No: 06/03447/PLF | Received: Wed 03 May 2006 | Validated: Wed 03 May 2006 |

Status: Application Approved

Proposed amendment to roof pitch, ridge line, dormer, balcony and windows following approval of 05/08563/PLF

Poplar Farm Humbleton Road Lelley East Riding Of Yorkshire HU12 8SP

Ref. No: 06/03268/AMPLAN | Received: Wed 15 Feb 2006 | Validated: Wed 15 Feb 2006

Status: Application Refused

Erection of two storey extension to rear and side following demolition of existing outbuilding, erection of porch to front

Poplar Farm Humbleton Road Lelley East Riding Of Yorkshire HU12 8SP

Ref. No: 05/08563/PLF | Received: Wed 30 Nov 2005 | Validated: Wed 30 Nov 2005 |
Status: Application Approved

Planning Policy & Guidance

Legislative Background

Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that applications for planning permission must be determined in accordance with the development plan, unless material considerations indicate otherwise.

East Riding Local Plan Strategy Document (2016)

The Local Development Plan against which this proposal will be assessed comprises the East Riding of Yorkshire Strategy Document (2016) and the Site Allocations Document (2017).

Policy S1 of the document outlines the Council's approach to a presumption in favour of sustainable development. It is outlined that the Council will take a positive approach that reflects a presumption in favour of sustainable development.

The proposal is contained within the development limit of Lelley village.

Policy H1, discussed the ways in which development is required to provide a mix of housing to meet needs. This policy outlines that "new residential development should contribute to the overall mix of housing in the locality taking into account the current need, particularly for older people and first time buyers, current demand and existing housing stock."

Policy H4 supports development that makes "the most effective use of land or buildings. This will be achieved through encouraging the re-use of suitable previously developed land and supporting proposals that provide the optimum housing density."

When considering land that is currently in use for employment development, Policy EC1 outlines that there will be a presumption in favour of retaining all other employment land and premises. As such, proposals involving the loss of land or premises from employment use will be supported where: There is no longer a need, or it is not viable, for that or any other employment use on the site, which has been demonstrated by an up-to-date employment land review or through a comprehensive marketing exercise; The use of the site for employment purposes is not in conformity with adjoining land uses and could give rise to complaint; The development would make a significant contribution towards the wider regeneration of the locality and would support other planning priorities set out in the Plan.

Policy ENV1 provides the design guidance that will support high quality design in new development.

As detailed in Policy ENV2, all development proposals will be expected to sensitively integrate into the existing landscape, demonstrate an understanding of the intrinsic qualities of the landscape setting and, where possible, seek to make the most of the opportunities to protect and enhance landscape characteristics and features.

National Planning Policy Framework (NPPF) (2019)

The revised NPPF was published in February 2019 and sets out the Government's planning policies for England and how these are expected to be applied. The NPPF forms a key material consideration to all planning decisions.

The Introduction to the NPPF reiterates that applications for planning permission should be determined in accordance with the development plan, unless material considerations indicate otherwise; that the NPPF is a material consideration in planning decisions; and that the Framework should be read as a whole.

The key objective of the NPPF is to achieve sustainable development and paragraph 8 confirms there are three dimensions to achieving this, namely economic, social and environmental. The economic role should contribute to sustainable development by building a strong, responsive and competitive economy and ensuring the sufficient amount of and right type of development to support growth.

Paragraph 12 confirms that a presumption in favour of sustainable development is at the heart of the NPPF and for planning applications this means proposals for development conforming to the Development Plan should be approved without delay.

Paragraph 60 outlines the Government's objective to increase the amount of new houses built.

"To support the Government's objective of significantly boosting the supply of homes, it is important that a sufficient amount and variety of land can come forward where it is needed, that the needs of groups with specific housing requirements are addressed and that land with permission is developed without unnecessary delay."

Paragraph 69 sets out that "Small and medium sized sites can make an important contribution to meeting the housing requirement of an area, and are often built-out relatively quickly. To promote the development of a good mix of sites local planning authorities should:

c) support the development of windfall sites through their policies and decisions giving great weight to the benefits of using suitable sites within existing settlements for homes;"

Paragraph 92 states that planning policies and decisions should aim to achieve healthy, inclusive and safe places which promote social interaction, are safe and accessible reducing opportunities for crime and that support healthy lifestyles.

Paragraph 119 states that strategic policies should set out a clear strategy for accommodating objectively assessed needs, in a way that makes as much use as possible of previously-developed or 'brownfield' land.

Paragraphs 124-125 seek efficient use of land, taking into account the identified need for different types of housing and other forms of development, and the availability of land suitable for accommodating it; and the desirability of maintaining an area's prevailing character and setting. Developments should make optimal use of the potential of each site.

Paragraph 126 confirms that: the creation of high quality buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities.

Paragraph 130 sets out how development proposals should achieve well-designed places. "Planning policies and decisions should ensure that developments:

a) will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development;

b) are visually attractive as a result of good architecture, layout and appropriate and effective landscaping;

c) are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities);

d) establish or maintain a strong sense of place, using the arrangement of streets, spaces, building types and materials to create attractive, welcoming and distinctive places to live, work and visit;

e) optimise the potential of the site to accommodate and sustain an appropriate amount and mix of development (including green and other public space) and support local facilities and transport networks; and

f) create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users; and where crime and disorder, and the fear of crime, do not undermine the quality of life or community cohesion and resilience."

Paragraph 183 states that "planning policies and decisions should also ensure that new development is appropriate for its location taking into account the likely effects (including cumulative effects) of pollution on health, living conditions and the natural environment, as well as the potential sensitivity of the site or the wider area to impacts that could arise from the development."

The NPPF at Paragraph 8 required sustainable development to achieve social, economic and environmental objectives as part of an overarching approach to development. When considering the proposed development, it is considered that the following benefits are established:

Social: Providing much needed homes for the District, including a potential provision for affordable units. This will promote a vibrant and healthy community through a well-designed scheme.

Economic: There will a natural increase in local jobs through the construction of the proposed scheme.

Policy H4 supports development that seeks to ensure the most effective use of land, particularly on previously developed land. In light of the above, it is concluded that the proposed development is sustainable and appropriate for the location when considered relevant local and national policy.

Access Statement

The existing building is not in a flood risk zone and already has a level threshold access to the existing openings and doorways.

This level threshold access will be retained in relation to the proposed conversion works.



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About Velfac

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About Velfac

Velfac is the UK's leading brand of composite windows and doors, specified for the system's slim and uniform frames, contemporary style and exceptional thermal performance.

Part of the Dovista Group, Velfac was created in 1961 by Villum Kann Rasmussen, but their story starts back in 1941, when he launched a new vertical window that could bring fresh air and daylight in everybody's houses. The name of his vertical window was VELUX.

Velfac is Ecotec's youngest partner, becoming part of our product range in 2020.

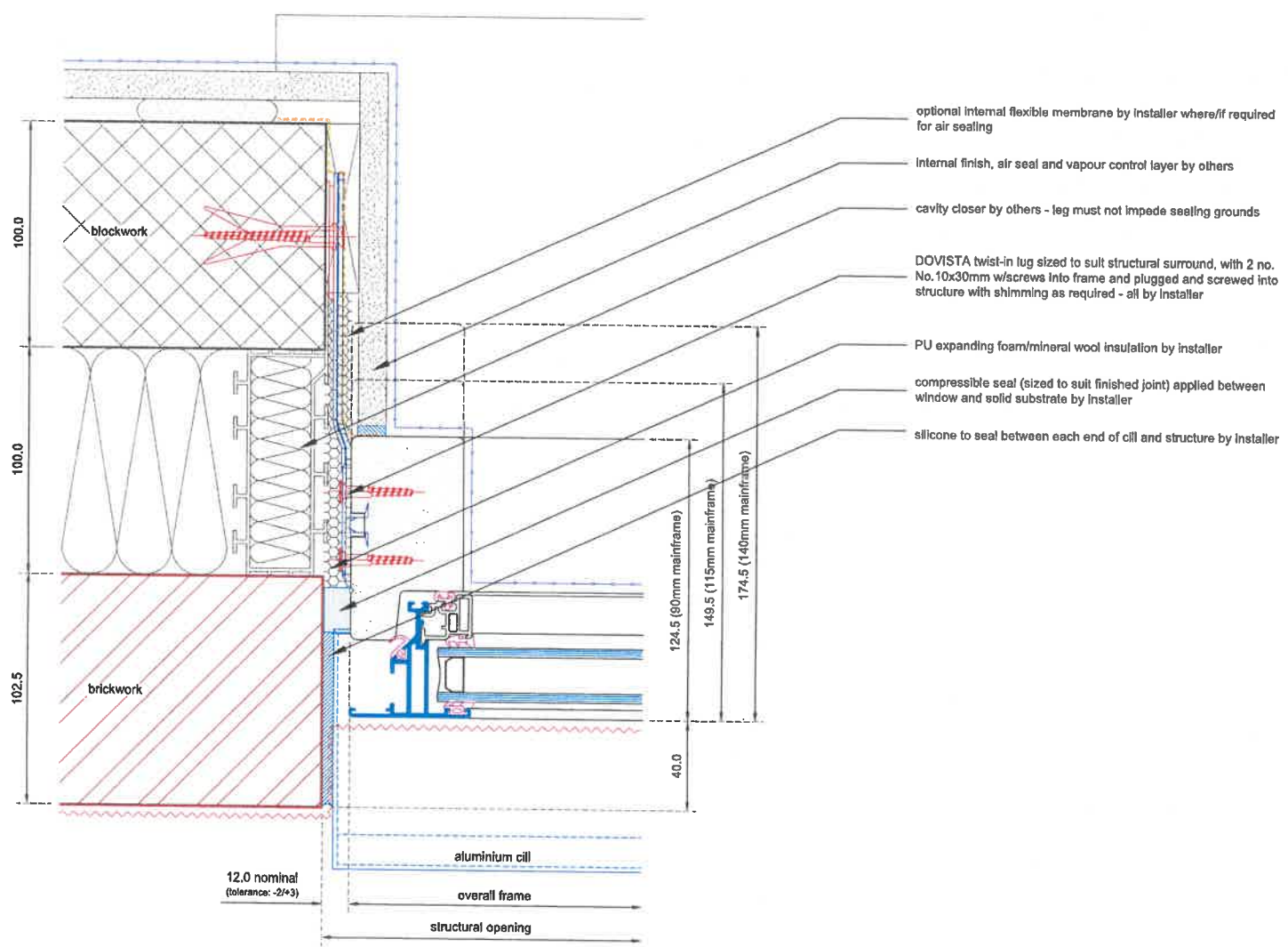


Performance and Certifications

Velfac windows and doors undergo vigorous testing to ensure their utmost safety and durability. Part Q approved, with CWCT Certification for most insurance, and proven U-value calculations, every step is carefully considered in the production of Velfac windows.

Current VELFAC test data and certificates include:

- Part Q approval
- CWCT Certification for NHBC, LABC, Premier Guaranty, & BLP Insurance
- Proven U-value calculations
- Resistance to air, water, wind and extreme weather
- Containment performance
- 12 year Product Warranty
- 6 Year Installation warranty (if approved installer is used)



- optional internal flexible membrane by installer where/ff required for air sealing
- Internal finish, air seal and vapour control layer by others
- cavity closer by others - leg must not impede sealing grounds
- DOVISTA twist-in lug sized to suit structural surround, with 2 no. No.10x30mm w/screws into frame and plugged and screwed into structure with shimming as required - all by installer
- PU expanding foam/mineral wool insulation by installer
- compressible seal (sized to suit finished joint) applied between window and solid substrate by installer
- silicone to seal between each end of cill and structure by installer

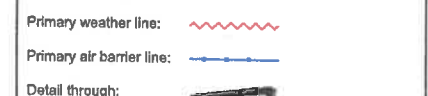
IMPORTANT NOTE: When installing DOVISTA products, please ensure compliance with national building regulations and British/European standards where necessary. This drawing is for guidance only and the customer must be satisfied that the principles outlined in this drawing are effectively transposed to suit specific project requirements and site conditions.

All dimensions are in millimetres where shown. DO NOT SCALE.

- NOTES:**
- External weather seal to be either:
- Tremco Ilbruck impregnated foam tape sized to suit finished joint size or,
 - Tremco Ilbruck FS500 silicone seal with polyethylene backing rod or,
 - ARBOSIL 1090 silicone seal and polyethylene backing rod.

Fixings and lugs to be installed strictly in accordance with DOVISTA installation guidance.

Fixing grounds must be able to withstand all loads transmitted from and through the DOVISTA system.



Rev	Date	Revision Note	Drawn

VELFAC **rationel**
STANDARD INTERFACE DRAWING

Title:
VELFAC
V200
TYPICAL JAMB DETAIL
BRICKWORK/ BLOCK MASONRY

Scale: 1:2 approx. @ A3 Drawn: Studio62 Design Ltd.
Date: September 2021 Status: approved

Drawing No: **V200.W1.01.A.J.001** Revision:

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Design and Functionality

Velfac design is characterized by elegant, contemporary clean lines, and units can also be made in different shapes. As a result, you can specify glazing to support a distinctive building style, sustained across a range of house types, or combine VELFAC units to create innovative glazed features.



Sounds Good!

Velfac windows offer impressive noise reduction possibilities, reducing up to $Rw43$.

Using Velfac Acoustic Vent technology, windows are designed to provide both fresh air and noise control in buildings when combined with Velfac sound windows.

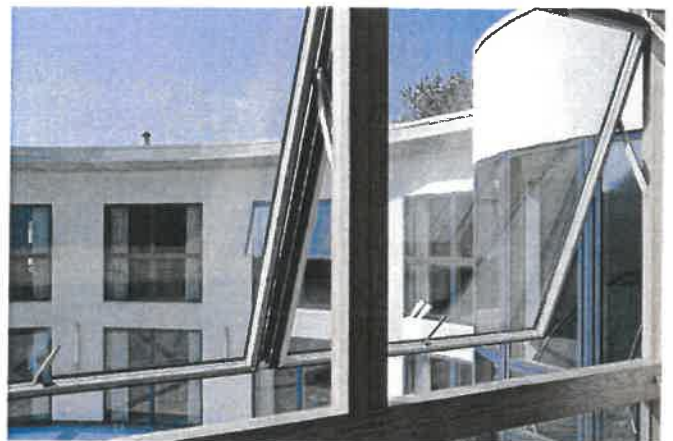
The vent achieves a sound reduction value of 40 dB.



Warranty

With Velfac products are designed and manufactured to exceptional levels of quality, resulting in low maintenance operation and a life span between 40 and 60 years.

Sure of their product Velfac offer a comprehensive 12 year warranty on all their windows and After Sales Care to ensure you get the best out of their windows.



VELFAC standard RAL colours

Aluminium colour range available in matt and gloss finish (gloss 30 and gloss 77).



RAL 1035
Pearl beige



RAL 6003
Olive green



RAL 6009
Fir green



RAL 7001
Silver grey



RAL 7006
Beige grey



RAL 7012
Bastalt grey



RAL 7013
Brown grey



RAL 7015
Slate grey



RAL 7016
Anthracite grey



RAL 7021
Black grey



RAL 7022
Umbra grey



RAL 7024
Graphire grey



RAL 7030
Stone grey



RAL 7032
Pebble grey



RAL 7035
Light grey



RAL 7037
Dusty grey



RAL 7038
Agate grey



RAL 7044
Silk grey



RAL 8017
Chocolate brown



RAL 8019
Grey brown



RAL 8022
Black brown



RAL 9001
Creme



RAL 9002
Grey white



RAL 9003
Signal white



RAL 9004
Signal black



RAL 9005
Jet black



RAL 9007
Grey aluminium



RAL 9010
Pure white

ELEVATIONS VIEWED FROM OUTSIDE

SYSTEM

ROOFLIGHT MANUFACTURED FROM 3.5mm THICK MILD STEEL SHEET CURB PRESSINGS AND 3mm THICK MILD STEEL SHEET VENT PRESSINGS

CORNERS MITRED AND FULLY WELDED

FINISH

POLYZINC 770 AFTER ALL FABRICATION.
POWDER COATED TO BS6497 / BS EN 13438
POLYESTER POWDER COATED RAL 9005 (BLACK) MATT

HARDWARE & ATTACHMENTS

TPAIR, WELD-ON HINGES
FITTED WITH WELDED MOUNTING PLATES TO FRAME AND VENT PROFILES TO ACCOMMODATE VENT OPERATOR.

GLAZING

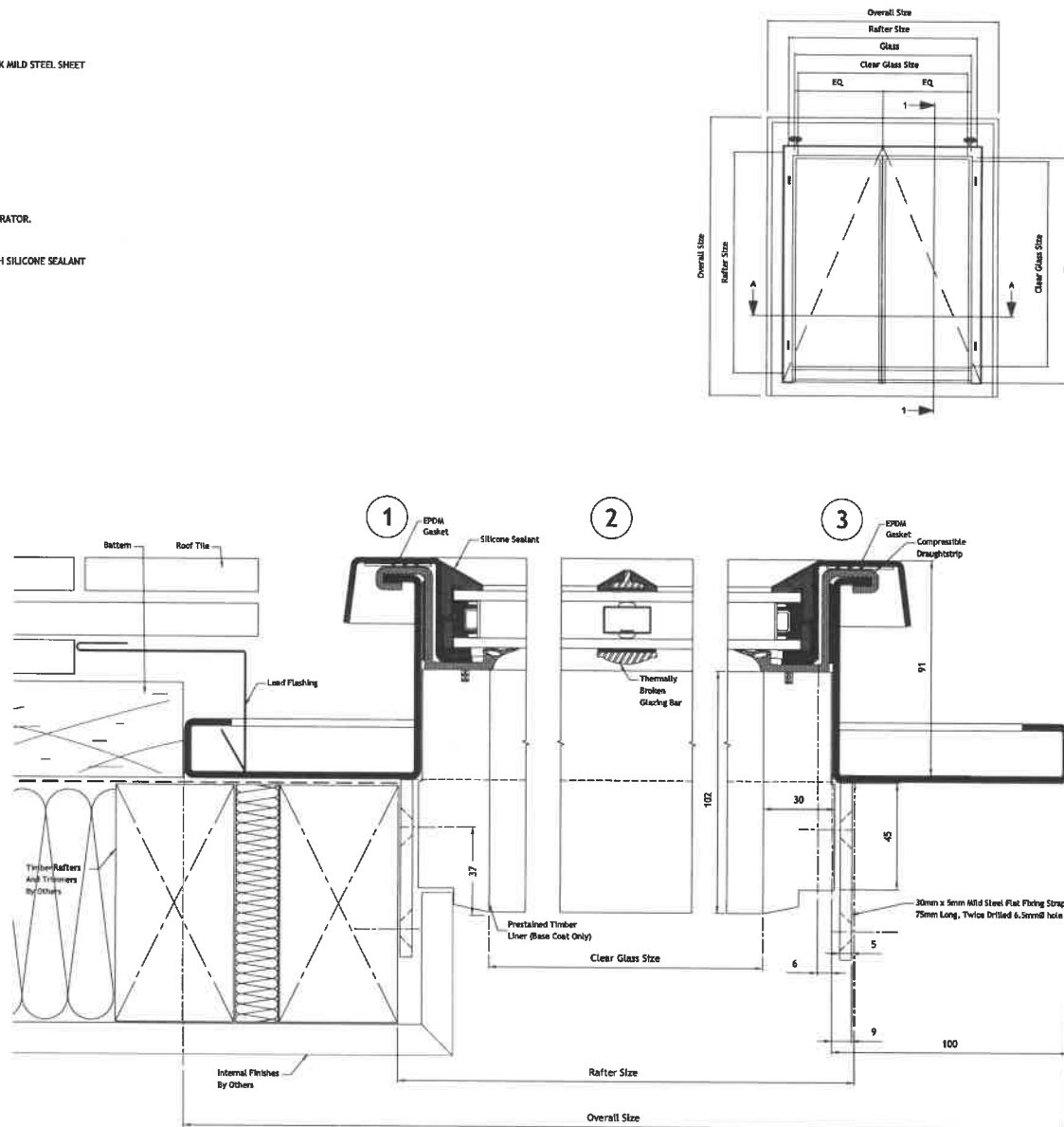
PREPARED FOR & SUPPLIED WITH CLEMENT 24mm SEALED UNITS, WITH STEPPED BOTTOM EDGE; WITH SILICONE SEALANT

SPACER BAR - SILVER
SILICONE CAPPING - BLACK,
PERIMETER POINTING - BLACK.

GLASS SPECIFICATION:-

OUTER - 4mm TOUGHENED BIOCLEAN II (SELF CLEANING GLASS)
CAVITY - 16mm ARGON
INNER - 4mm TOUGHENED THERMOFLOAT (STEPPED BACK AT BOTTOM BY 55mm)

DIM CHART	Overall Size W x H	Aperture Size W x H	Between Timber Trimmers W x H
Clement 0	590 x 752	332 x 444	410 x 504
Clement 1	668 x 870	410 x 562	488 x 622
Clement 2	668 x 1021	410 x 713	488 x 773
Clement 3	818 x 1169	560 x 861	638 x 921
Clement 4	972 x 1169	714 x 861	792 x 921
Clement 5	1124 x 1501	866 x 1193	944 x 1253
Clement 6	818 x 1804	560 x 1496	638 x 1556
Clement SH	960 x 1270	652 x 962	730 x 1022



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- PLEASE NOTE THAT ALL PRODUCT ARE SUBJECT TO MANUFACTURING TOLERANCE OF +0mm / -2mm

DATE	REV	INT	COMMENTS
08/09/14	G	KR	General Update Type References Amended, Glass Specification Updated
01/05/11	F	EB	General Revisions And Corrections
06/10/09	E	-	General Revisions And Corrections
01/10/09	D	-	General Revisions And Corrections
08/08/06	C	-	General Revisions And Corrections
28/06/06	B	-	General Revisions And Corrections
25/04/06	A	-	General Revisions To Details

REVISIONS

For Information

Drawing Title
CLEMENT CONSERVATION ROOFLIGHT
TITLE APPLICATION
HORIZONTAL SECTION
SHEET 1 OF 2

Project/Site

Contractor/Client
ROOFLIGHT DEPARTMENT
Architect

Scale @ A1: 1:1 & 1:10

Date: 04/06

Drawn By: -

Checked by: -

CLEMENT

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Drawing No.

D-CRPM-03

Revision

G

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08/08/06	C	-	General Revisions And Corrections
28/06/06	B	-	General Revisions And Corrections
25/04/06	A	-	General Revisions To Details

DATE	REV	INT	COMMENTS
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REVISIONS
For Information

Drawing Title
CLEMENT CONSERVATION ROOFLIGHT
 TILE APPLICATION
 HORIZONTAL SECTION
 SHEET 2 OF 2

Project/Site

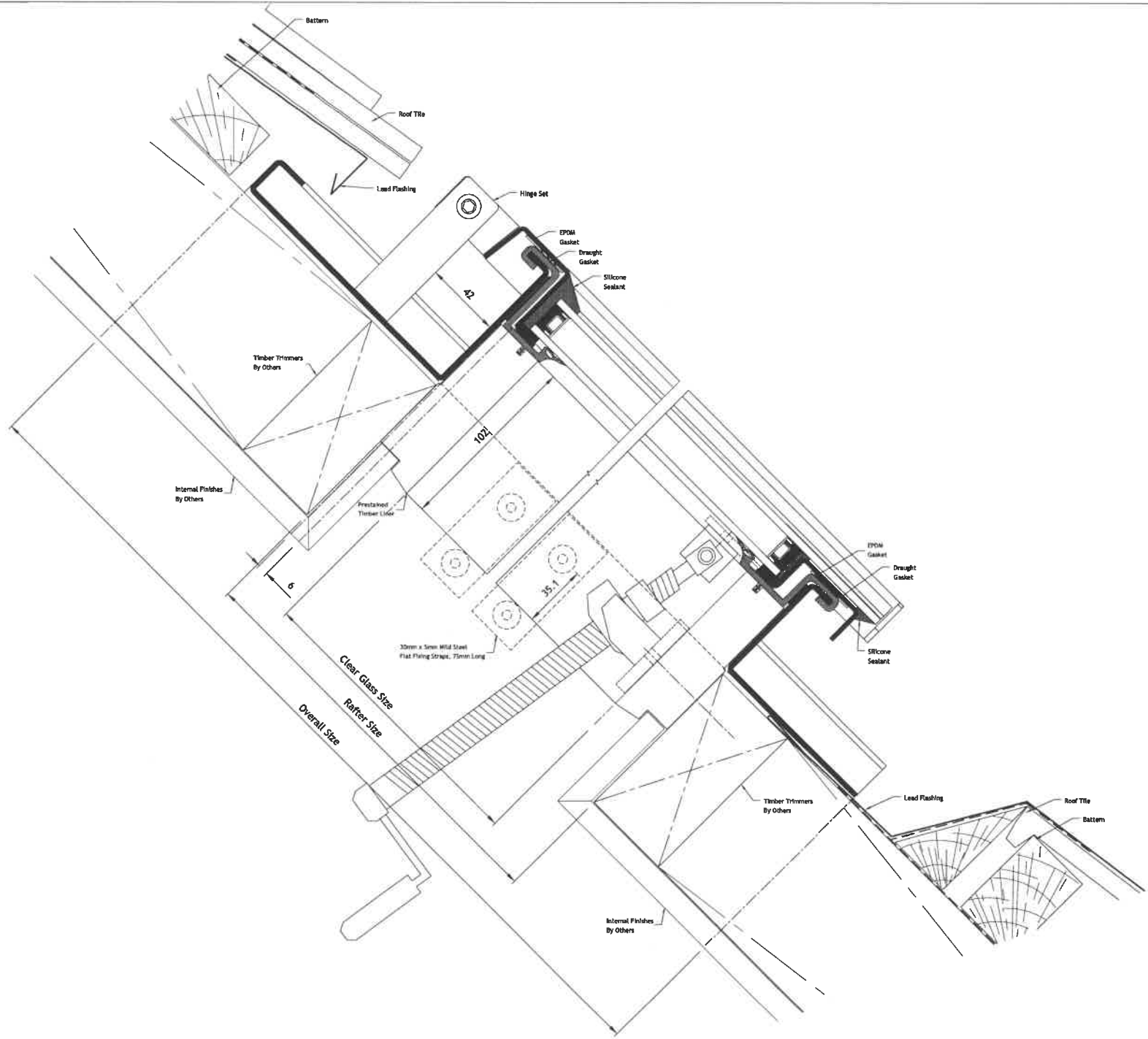
Contractor/Client
 ROOFLIGHT DEPARTMENT
 Architect

Scale @ A1: 1:1 & 1:10 Drawn By: -
 Date: 04/06 Checked by: -

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Drawing No.	Revision
D-CRPM-04	G





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- [Doors](#)
- [Windows](#)
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- [Staircases](#)
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BR04 Stable Door with Frame



BR04-1 Stable Door with Diamond Window

Description

BR04 Stable Door with Frame

Browns oak or Accoya stable doors are constructed using a framed ledged and boarded method. The stiles and rails of the door are mortised, tenoned and wedged together to form a frame as the basic foundation. This frame provides a stable network of timbers skilfully machined to house the vertical planks. These planks are tongued with a bead mould or chamfer for decoration and are screwed and pelleted to hold them in place.

These beautiful doors allow you to bring the outside inside and are particularly popular in kitchens.

Our stable doors can incorporate any glazing options to suit your needs, such as a diamond window pictured in our gallery, to a small square up to a completely glazed top or bottom.

New solid oak door frames are also available, most commonly 95 x 70mm in section, rebated to house the door with modern weather seals. Thresholds can be solid or suitable for mobility access (Part M Compliant)

If you have the luxury of a wide opening, glazed or solid oak side panels can be added to your door frame to create more light.

Doors come finished in a base coat of Osmo UV Protection Oil, requiring two further coats or our full factory finished in a choice RAL colours.

[View all External Doors](#)

Key Features

Manufactured in our workshops in the UK

Made by time served craftsmen using traditional methods

Bespoke service – made to any size

100% European Solid Oak or Accoya

Full Factory Painted Finish available

Can be viewed in our showroom

10 Year manufacturing guarantee

Delivery or Collection

For prices call 01568 614053

[email sales@brownsoak.com](mailto:sales@brownsoak.com)

Related Products

[External Door Frames & Pre-Hanging](#)

[Door Handles](#)

[Locks](#)

[Timber & Paint Finishes](#)

[Glass](#)

Additional Downloads

[Aftercare and Installation Guide](#)



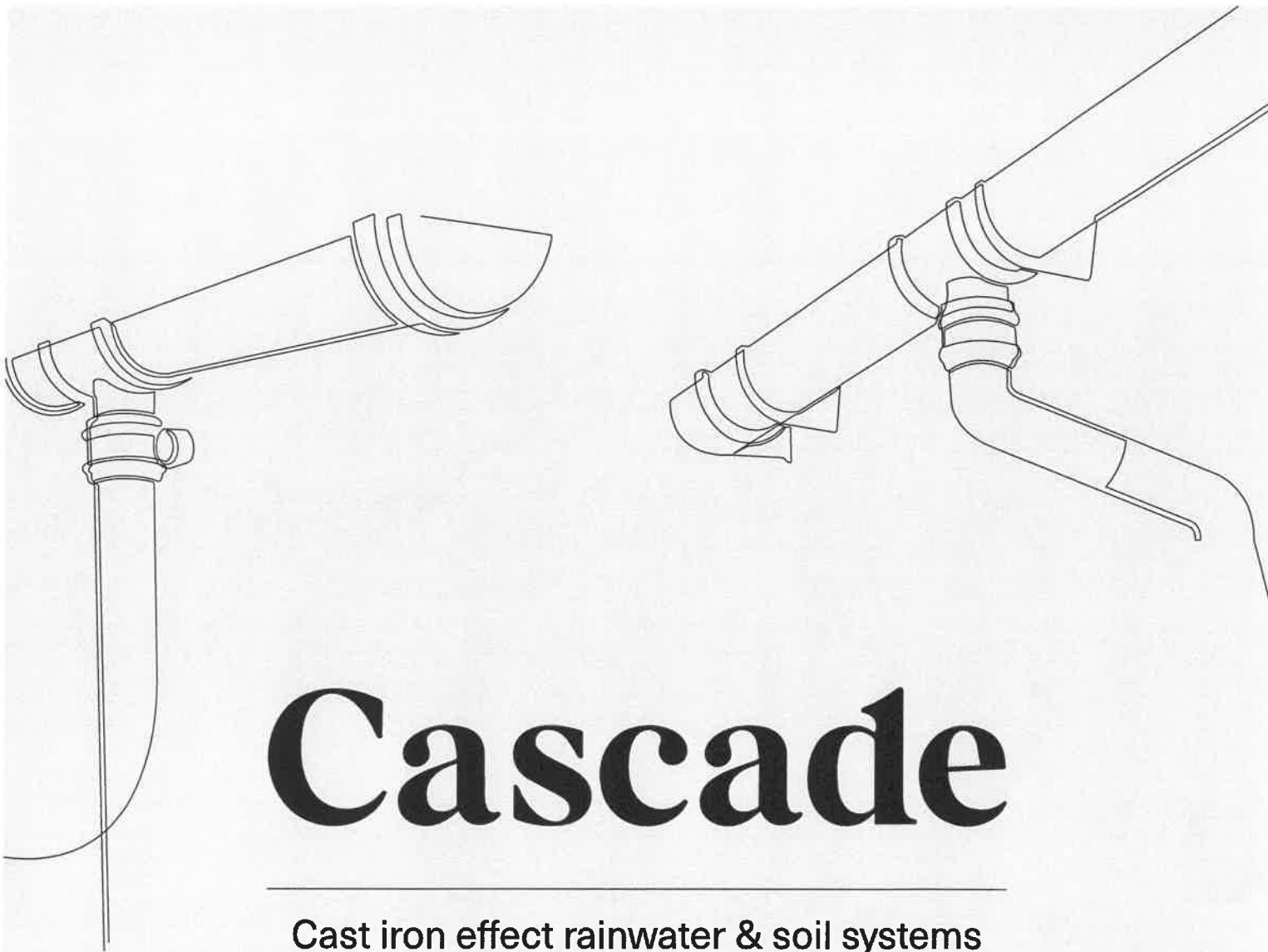
- 100% Solid Timber – not veneered or engineered



- Manufactured in our workshops in the UK



- PEFC Sustainably resourced Certified Timber



Cascade

Cast iron effect rainwater & soil systems



**Brett
Martin**



Add a touch of heritage detail to your new build or a sympathetic, cost-effective alternative to cast iron for period properties.

Cascade

Cast iron effect
rainwater & soil systems

Contents

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Cascade for Restoration	08
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Cascade

Cast iron has shaped the architectural landscape of our towns and cities since the industrial revolution.

Cascade, the original cast iron alternative

Inspired by this heritage, Brett Martin has applied over 60 years' experience at the forefront of plastics technology to develop Cascade, a range of gutter and downpipe profiles which provide authentic cast iron styling in plastic.

Our innovative manufacturing process has been developed to replicate original cast iron detailing on pipework, fittings and hoppers to give the full appearance of cast iron with all the benefits of modern plastic products. This allows the architect to achieve their architectural vision whilst meeting the demands of today's fast paced construction contracts on time, cost and safety.

The Cascade range has been sympathetically designed with full consideration to original features, dimensions and detailing to provide heritage style without compromising the architectural integrity of traditionally designed building and restoration projects.

- Authentic cast iron architectural detailing
- Extensive choice of styles, capacities and colours
- An affordable cast iron alternative
- Quick and easy to install
- Ready to fit
- Lightweight, robust materials
- Fully UV stabilised
- Durable and corrosion resistant
- Compatible with many existing rainwater systems



Cascade Domestic Systems

- 106mm Prostyle Gutter
- 112mm Roundstyle Gutter
- 115mm Deepstyle Gutter
- 65mm Square Downpipe
- 68mm Round Downpipe

Cascade High Capacity Systems

- 170mm Deepstyle Gutter
- 105mm Round Downpipe
- 100mm x 75mm (4" x 3") Rectangular Downpipe

Cascade Soil System

- 110mm Push-Fit Soil System

Cascade for New Builds

For traditionally styled new builds, Cascade brings all the charm and heritage features to add that perfect finishing touch and set any home apart. The sleek lines of the Cascade Prostyle gutter offer a modern slant to the traditional Ogee style whilst the Cascade Roundstyle and Cascade Deepstyle gutters are consistent with the design and aesthetic of cast iron gutters found on period homes.

There are options to personalise projects with a selection of hopper styles, including dated hoppers and a choice of heritage colours, meaning each new build can achieve a truly unique character.



Cascade for Restoration

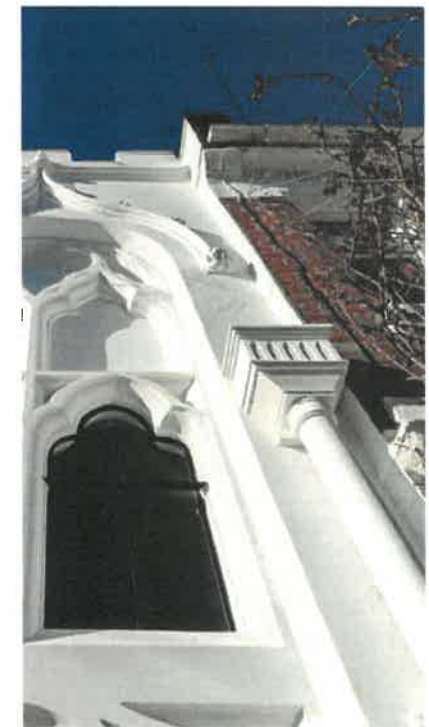
Cascade's sympathetic design provides an attractive, cost-effective alternative to cast iron rainwater solutions for period properties. Having been used on Grade II listed buildings and in conservation areas, the cast iron effect system provides an effective replacement for the original material, and can also work alongside existing cast iron products to provide a consistent design aesthetic for a sensitive restoration project.



Cascade is compatible with many existing systems, including cast iron.



Cascade is suitable for use on Grade II listed buildings and projects in conservation areas.



Cascade 106mm Prostyle

Domestic Rainwater System



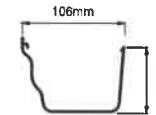
The styling of the Cascade Prostyle rainwater system provides a contemporary approach to traditional Ogee styling with a quality cast iron look and feel. It is ideally suited to traditionally styled new build projects. Cascade Prostyle offers a higher flow capacity than other domestic gutter systems and is particularly suited to large and steep roofs where maximum roof drainage is required.

- Authentic detailing and finish on downpipe, guttering, hoppers and fittings
- Complements the Cascade soil system
- Used with the 65mm square or 68mm round downpipes
- Choice of hopper styles with options to include a motif or date stamp
- Available in eight heritage colours

Cascade 106mm Prostyle Gutter Capacities

	Gutter Flow Capacity (Litres per second)		Maximum Roof (Area m ²)	
	Level	1:600	Level	1:600
Outlet at one end	2.05	2.55	97	121
Outlet at centre	4.10	5.10	195	242

Profiles



Cascade 112mm Roundstyle

Domestic Rainwater System



The Cascade 112mm Roundstyle rainwater system is synonymous with traditional cast iron styling and blends perfectly with the architectural detailing on heritage buildings, being virtually indistinguishable from original cast iron systems.

The authentic styling of the Cascade Roundstyle system is suitable for both period style new build and restoration projects alike.

- Authentic detailing and finish on guttering, downpipe, hoppers and fittings
- Complements the Cascade soil system
- Incorporates 68mm round downpipe
- Choice of hopper styles with options to include a motif or date stamp
- Available in eight heritage colours

Cascade 112mm Roundstyle Gutter Capacities

	Gutter Flow Capacity (Litres per second)		Maximum Roof (Area m ²)	
	Level	1:600	Level	1:600
Outlet at one end	1.00	1.30	48	62
Outlet at centre	1.82	2.43	87	116

Profiles



Cascade 115mm Deepstyle

Domestic Rainwater System



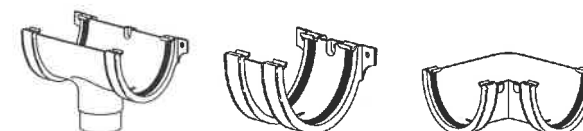
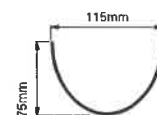
Combining period cast iron detailing and styling, Cascade 115mm Deepstyle is a semi-elliptical rainwater system providing greater drainage than the traditional half-round systems.

- Authentic detailing and finish on downpipe, guttering, hoppers and fittings
- Complements the Cascade soil system
- Incorporates 68mm round downpipe
- Choice of hopper styles with options to include a motif or date stamp
- Available in eight heritage colours

Cascade 115mm Deepstyle Gutter Capacities

	Gutter Flow Capacity (Litres per second)		Maximum Roof (Area m ²)	
	Level	1:600	Level	1:600
Outlet at one end	1.89	2.30	90	110
Outlet at centre	3.75	4.58	180	220

Profiles



Cascade 170mm Deepstyle

High Capacity Rainwater System



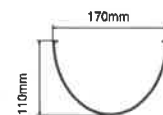
The high capacity Cascade 170mm Deepstyle rainwater system is ideally suited to traditionally styled buildings with larger roof areas. Heritage style detailing, combined with very high levels of roof drainage, ensures that this system can be used on commercial buildings or larger period homes. The system is compatible with a round or rectangular downpipe.

- Authentic cast iron detailing on guttering, downpipes, fittings and hoppers
- Complements the Cascade soil system
- Used with the 105mm round or 100mm x 75mm (4" x 3") rectangular downpipes
- Choice of hopper styles, with options to include a motif or date stamp
- Available in five heritage colours

Cascade 170mm Deepstyle Gutter Capacities

	Gutter Flow Capacity (Litres per second)		Maximum Roof (Area m ²)	
	Level	1:600	Level	1:600
Outlet at one end	5.77	5.12	275	244
Outlet at centre	11.54	10.24	550	488

Profiles



Cascade Downpipes

A range of traditionally styled Cascade downpipes in round, square and rectangular options are available, depending on which Cascade gutter system the downpipe is being fitted to.

The downpipes can also be fitted to many rainwater systems including traditional cast iron or used with a hopper for drainage of rainwater from roofs or roof valleys.

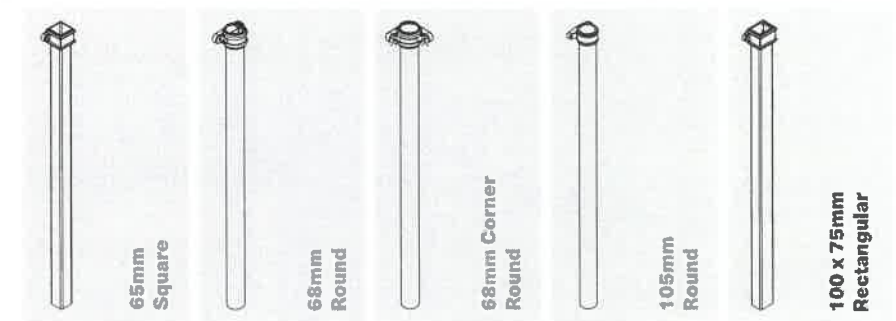
The Cascade downpipes range is available in eight heritage colours and features traditional cast iron effect collars and drilled lugs on pipes and fittings to combine heritage features with ease of installation.



Compatibility with Cascade Gutter Systems

Downpipe System	106mm Prostyle	112mm Roundstyle	115mm Deepstyle	170mm Deepstyle
65mm square	✓			
68mm round	✓	✓		
68mm corner round	✓	✓	✓	
105mm round				✓
100mm x 75mm rectangular				✓

Profiles



Cascade downpipes are compatible with many traditional cast iron gutter systems.

Cascade Hoppers

Brett Martin's extensive range of authentic hopper styles and designs, in eight heritage colours, provides the opportunity for the designer and home owner to individualise their rainwater system. The hopper designs include traditional Ogee, Bath and Gothic hoppers and a choice of period motifs including Tudor Rose, Fleur de Lys, Lion, Gargoyles and date stamped options.



Ogee

Gothic

Bath

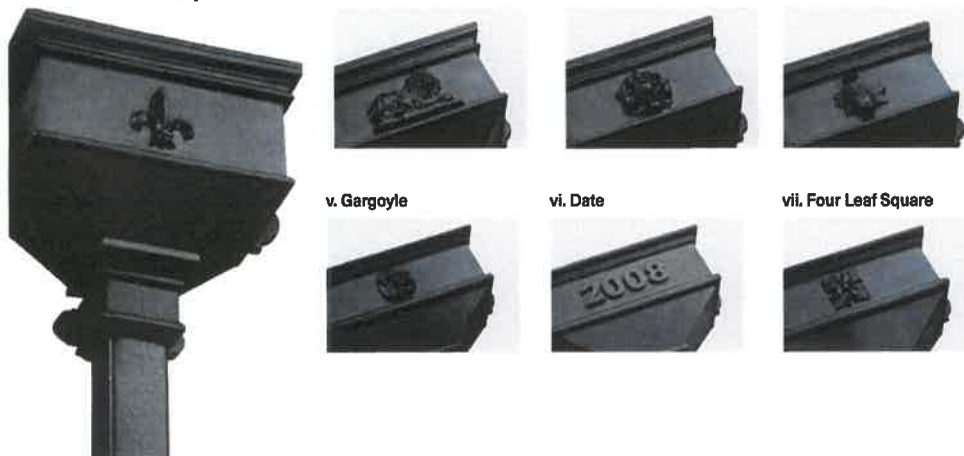


i. Fleur de Lys

ii. Lion

iii. Tudor Rose

iv. Leaf



v. Gargoyle

vi. Date

vii. Four Leaf Square

Cascade Soil System



The Cascade 110mm push-fit soil system has been developed to fully complement the Cascade rainwater systems with authentic cast iron detailing and finishing on pipes and fittings and a range of shrouds to complete the look.

Designed for convenient assembly, the Cascade soil system is quick and easy to install and is fully compatible with other soil systems, including traditional cast iron.

To ensure long-term reliability, the socketed pipe and fittings have integral long-lasting rubber seals, retained by strong snap caps. At ground level, the Cascade soil system fully integrates with Brett Martin's underground drainage systems.



- Convenient push-fit installation
- Authentic detailing and finish
- Complements the Cascade rainwater systems
- Extensive range includes cast iron effect shrouds and access fittings
- Compatible with other soil systems including some cast iron types
- Integrates with Brett Martin's underground drainage systems
- Available in eight heritage colours



Colours

Cascade cast iron effect rainwater and soil systems are available in a choice of heritage colours to cater for the nuances of local architectural vernacular or to add a touch of originality and charm.

Classic Black is the standard colour with seven heritage colours available to order across the Cascade ranges, excluding the Cascade 170mm Deepstyle Gutter System, which offers four colour options to order.

These colours reflect the trend for priming and painting traditional systems and deliver the convenience of modern plastic materials with minimal maintenance required to keep the systems looking good for many years.



*These colours are not available in the Cascade 170mm Deepstyle Gutter System.



Rainwater & Soil Guarantee

Brett Martin's continued investment in product research, development and customer service has resulted in the development of drainage ranges to meet the ever-changing needs of our customers. We are constantly developing new ideas and enhancing the products and services we offer to provide the merchant, installer and end user with satisfaction, peace of mind and a full guarantee.

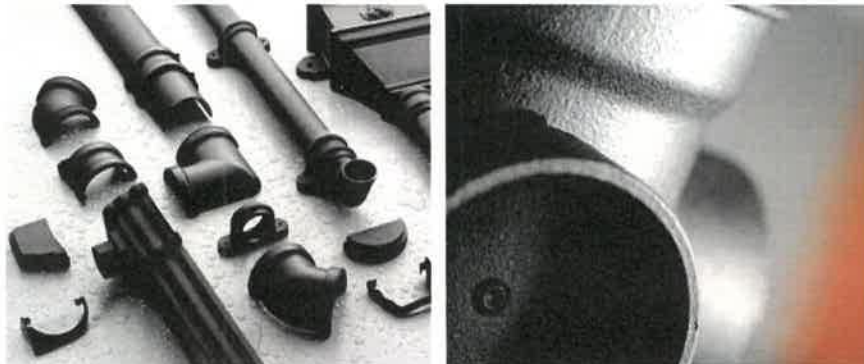
Each Cascade cast iron effect system has been designed to facilitate fast, efficient, economical installation combined with exceptional reliability. Each system features fixing arrangements for easy and straight screwdriver access to enable a neat and secure installation every time.

Brett Martin's above ground ranges of Rainwater and Soil products are manufactured to quality management systems certified under ISO 9001. This is backed up with a 10-year guarantee on uPVC Rainwater and Soil Systems which includes the Cascade cast iron effect Rainwater and Soil Systems in Classic Black only. This guarantee is valid from the date of purchase and covers unusual warping, splitting and discolouration, providing the system has been installed following manufacturer's instructions and excludes any coating, paint or other surface treatment applied to the system, damage caused by external agents, fair wear and tear from

normal aging and does not apply to consequential losses but to replacement of defective materials. Full terms of the guarantee can be downloaded from the website or on request.

No matter which system is selected, you are assured of an excellent high-performance product offering unbeatable durability, low maintenance and a product that will stay looking good and working well for years to come.

The Cascade Rainwater and Soil Systems are fully compatible with Brett Martin's Underground and Soil & Waste ranges, offering a complete sustainable solution for all your drainage requirements. Full technical and installation instructions are available to download at brettmartin.com or available on request. The company's sales and technical departments are always available to answer any queries and offer a complete design service.



Cascade is available from builders' merchants and providers nationwide. Find your local provider using the Stockist Finder at brettmartin.com or by contacting us:

2664/10-22

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