



Project: Rosemay, 12 High Street, Elie, Fife
Client: Mr and Mrs Kelly
Date: March 2024

Supporting Design Document and Heritage Statement

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Cover Image: Satellite image of site available online from Google Maps, edited by Crew Architects to visually represent the application site

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The dwelling projects a characterful street presence rich in architecture detail

INTRODUCTION

This design statement have been prepared to support the full and listed planning applications involving this attractive listed dwelling in Elie, Fife.

We acknowledge the delicate nature of undertaking such projects and recognise the significance of transparently communicating the design methodologies employed to achieve the final outcome. It is our hope that this report effectively communicates our approach and guarantees that the design adheres to the necessary design standards, thereby safeguarding the integrity of the heritage asset.



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Introduction



Front (Street) Elevation

LISTING

Category B Listed

Description

Circa 1860, Victorian gothic, well detailed and of picturesque character. Asymmetrical, 2-storey and attic 2-window good random whin rubble, stugged dressings with odd chamfers, moulded depressed arch doorpiece, chip carved wood-work, right-hand windows bipartite with good slim cast iron mullions and bargeboarded gable over, 1st floor window has balcony; slated, small canted dormer.



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Listed Property



Rear (South) Elevation



Detail Bay Window



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Listed Property



Internal view towards rear bay window



Internal view towards front window



timber posts into stone cill



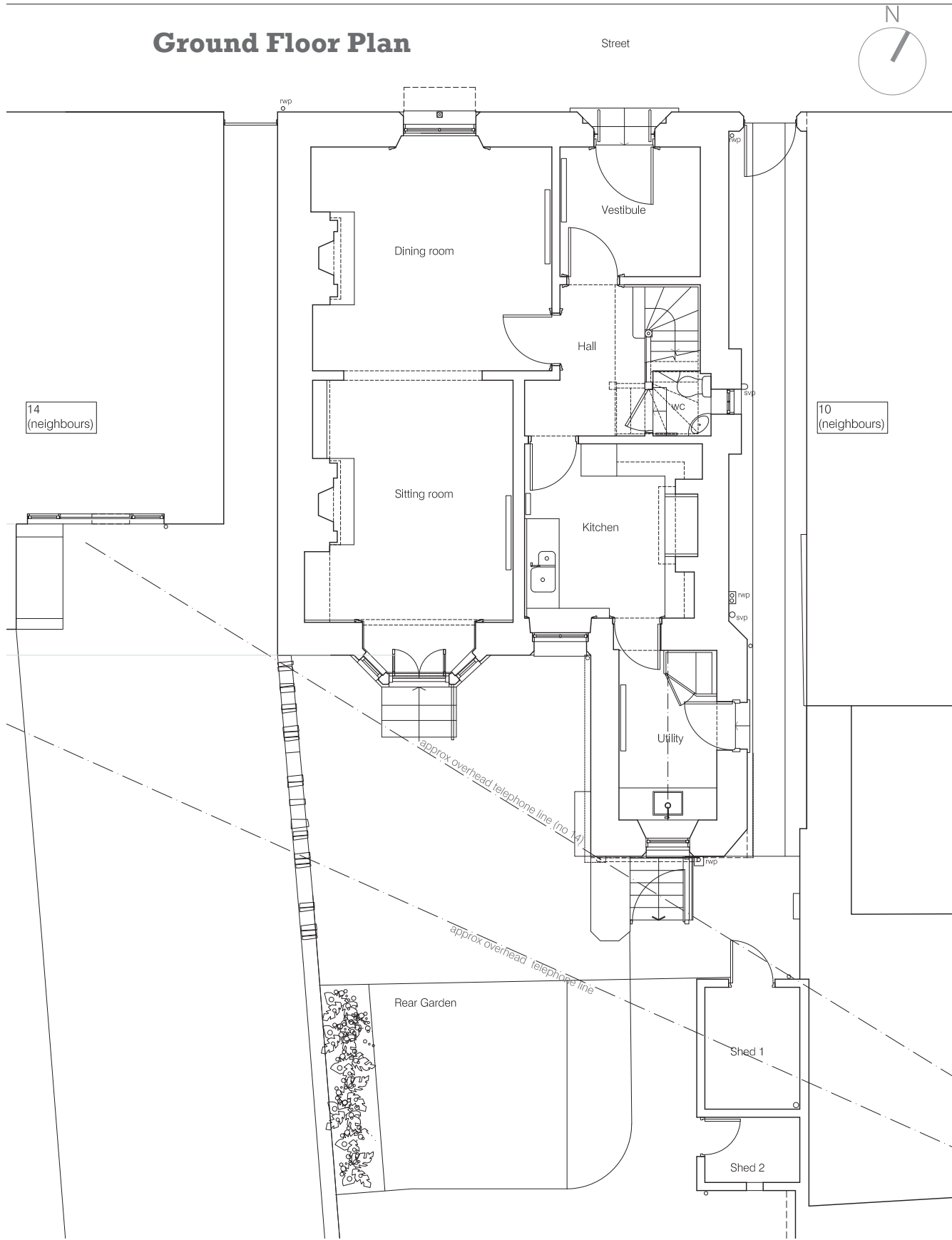
ceiling panel to bay window ceiling to be carefully adapted in the new proposals



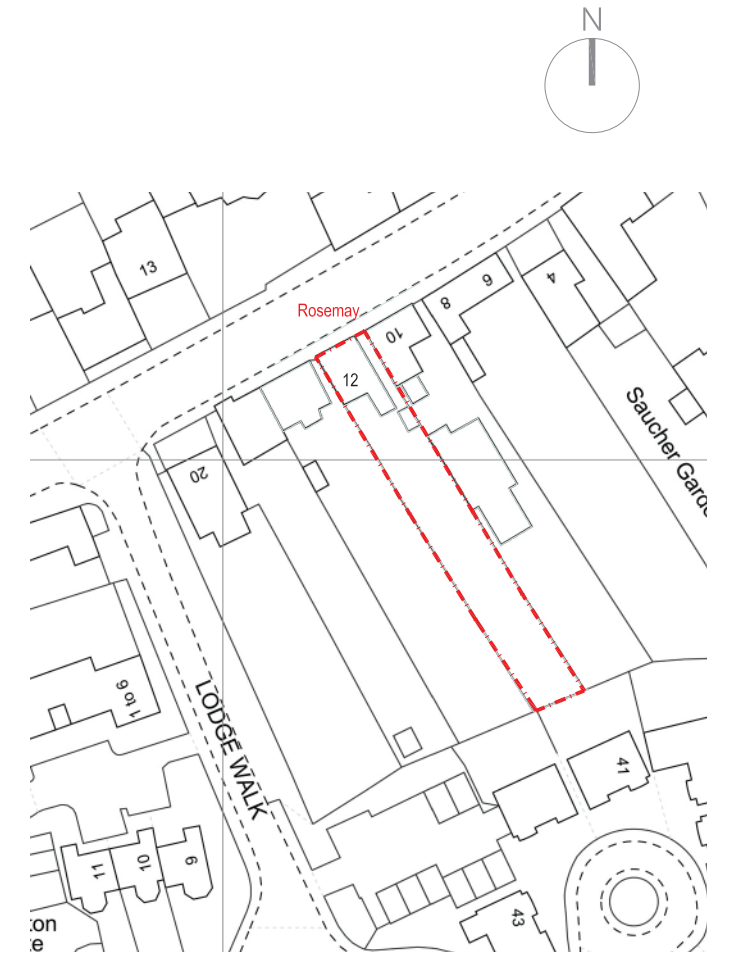
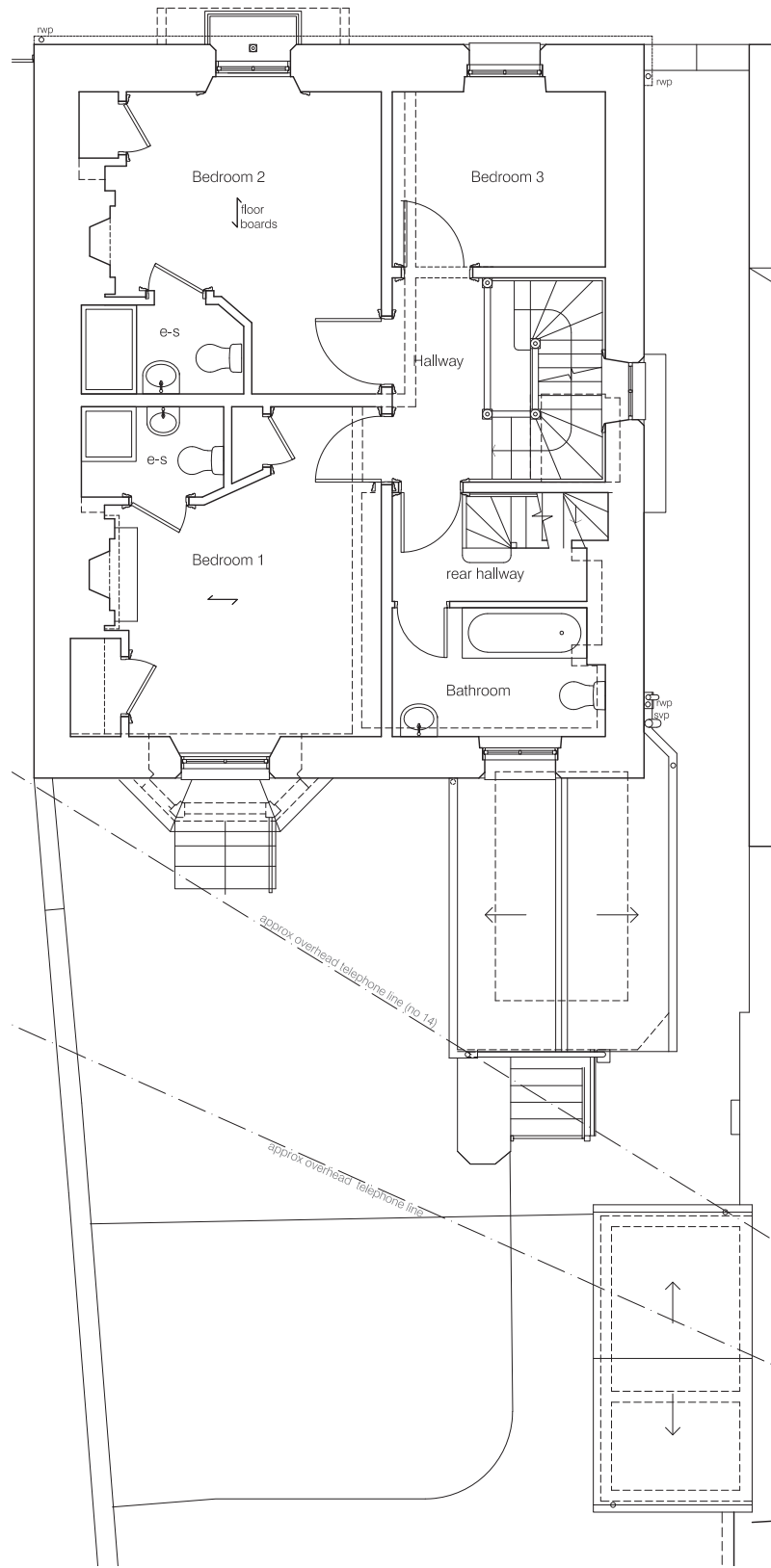
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Listed Property

Ground Floor Plan



First Floor Plan



Location

scale 1-100 0 1 2 5m

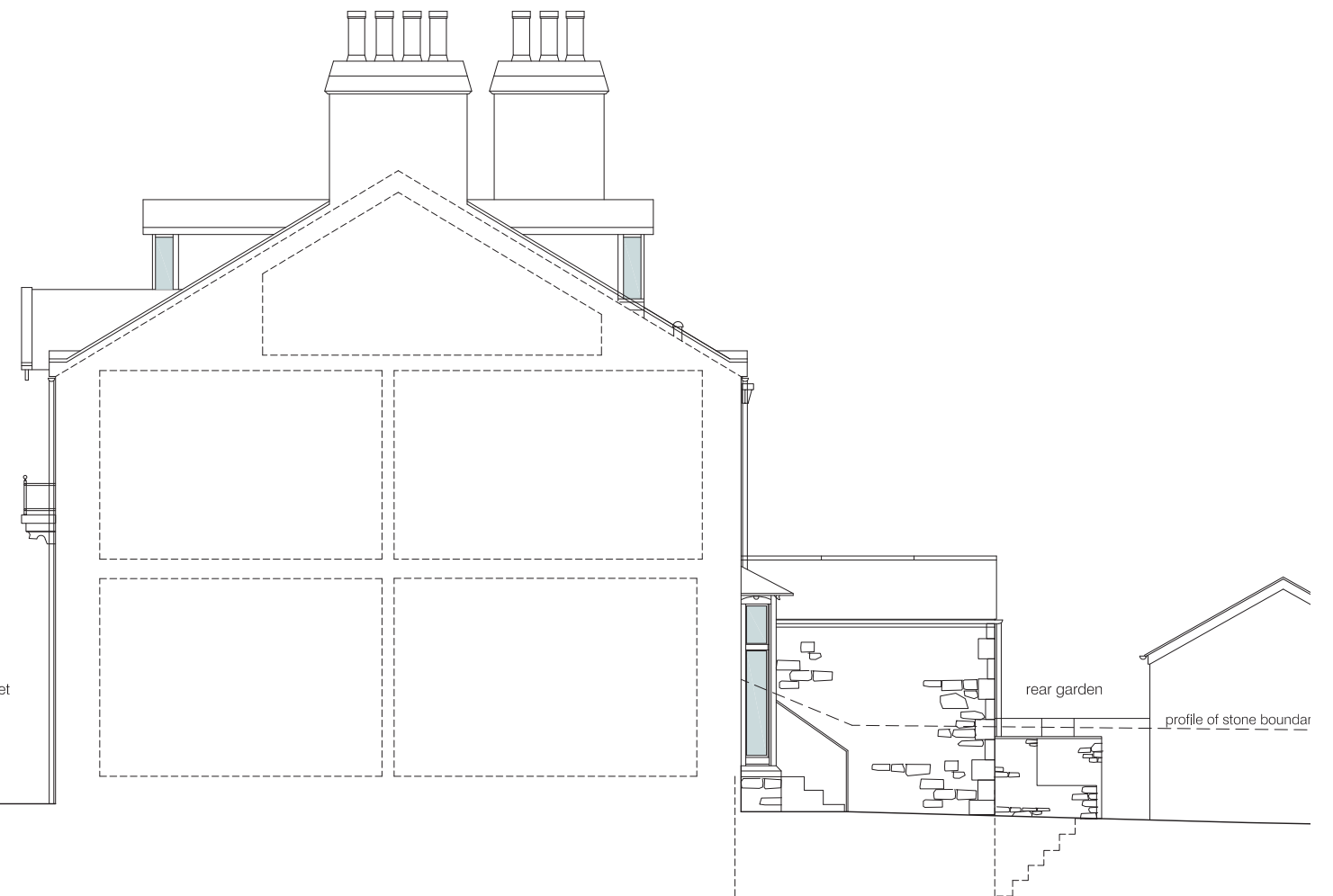


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Existing Drawings



Existing South East Elevation



Existing South West Elevation

scale 1:100 0 1 2 5m



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Existing Drawings



Existing North East Elevation



Existing North West Elevation

scale 1-100 0 1 2 5m



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Existing Drawings



Example, existing external wall still legible in new extension, Trinity, Edinburgh



Example, seamless integration of existing finishes, Trinity, Edinburgh

HERITAGE STATEMENT

The listing for this project identifies the areas of the dwelling that are of architectural and historic interest. These are concentrated on the front elevation seen from the public road:-

style- Victorian gothic, well detailed and of picturesque character, Asymmetrical, 2-storey and attic 2-window

finishes- random whinstone rubble, stugged dressings with odd chamfers

detailing- moulded depressed arch doorpiece, chip carved wood-work, right-hand windows bipartite with good slim cast iron mullions and bargeboarded gable over, 1st floor window has balcony; slated, small canted dormer

Our proposals do not impact on these important details but propose to remove the rear bay window in order to accommodate a new extension which better connects the house to the garden.

The bay window is original to the construction of the house and retains original features internally and externally but the doors have been replaced with new units. The roof is coated in bitumen/tar and is in a poor state of repair.

We propose to retain the timber panelling to the wall jambs and ceiling panelling but remove the bay window, lower wall structure and roof. The new extension will retain the opening size as currently seen so will not adversely affect the character of the rear sitting area.

The decorative ceiling panelling to the bay window will be carefully removed and sensitively repurposed to form the ceiling panel to the underside of the opening to the new extension, maintaining continuity with the existing detailing.

The rear area of the property where the new extension is to be located is not visible from public areas.

The stonework to the rear elevation does not match the quality and character of the front elevation. The use of whinstone is much reduced with various sandstone tones dominating. Joints are badly pointed with sand cement.

The kitchen window will be retained and still be fully legible along with the bay window opening despite becoming internal to the new extension. It is intended that the kitchen window and walling will be retained internally with exposed walling to be repointed with lime mortar by specialists.

SUMMARY

Whilst the removal of the original bay window to the rear is adverse, the overall significant heritage character relating to the treatment of the front elevation is not harmed.

The opening size and retention and reintegration of existing timber panelling to the retained bay window opening will retain the essential existing character when viewed internally.

The new extension although enclosing, retains the legibility of existing features and finishes.

The extension is finished in high quality materials and is subservient in scale to the existing adjacent outbuilding.



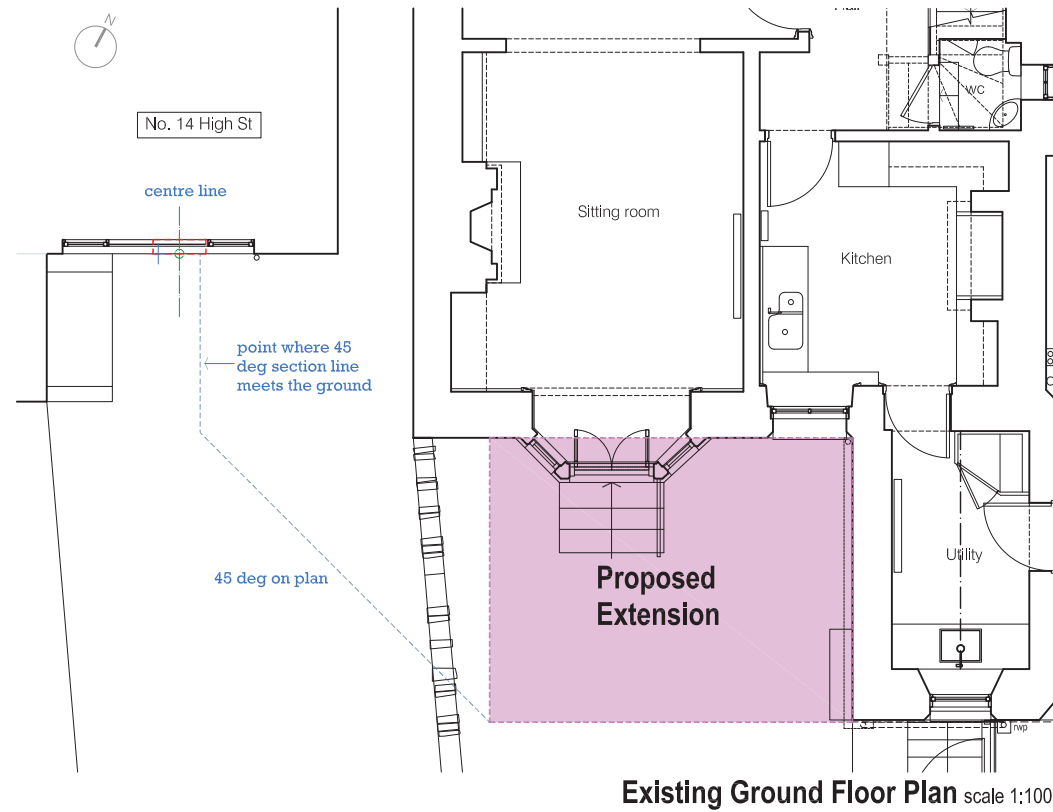
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Heritage Statement

45 deg assessment



Existing Rear South East Elevation scale 1:100



Existing Ground Floor Plan scale 1:100

The 45 deg assessment is used to assess the impact of a new extension on daylight and sunlight levels to adjacent neighbouring windows.

A floor plan and elevation drawing have been prepared showing a 45 deg angle taken from the corner of the extension on plan and a 45 deg angle taken from the top edge of the extension roof closest to the neighbouring window on the elevation.

In this instance the 45 deg angle meets the ground before the centre point of the window so the proposals as shown would pass the test.

Sunlight and Amenity Spaces

A proposal's impact on the sunlight received by an amenity space must be specifically assessed where **both** the following apply:

- The proposal adjoins the main useable amenity space serving a residential property; and
- Any part of the proposal lies south of the centre point of the amenity space.

In this instance the proposed extension does not lie South of the centre point of the garden. A study therefore, is not required.

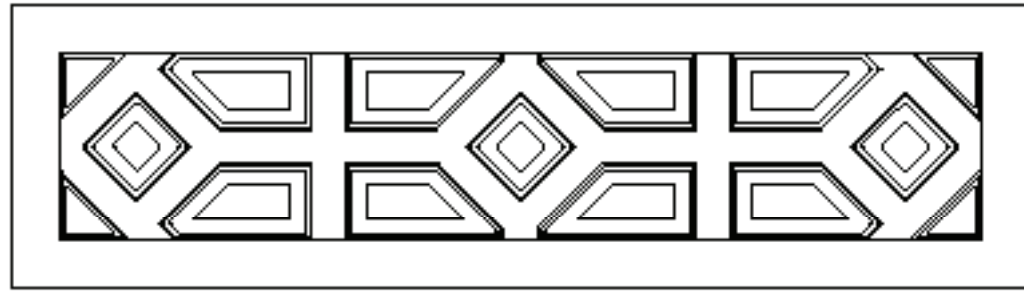


Block Plan scale 1:500

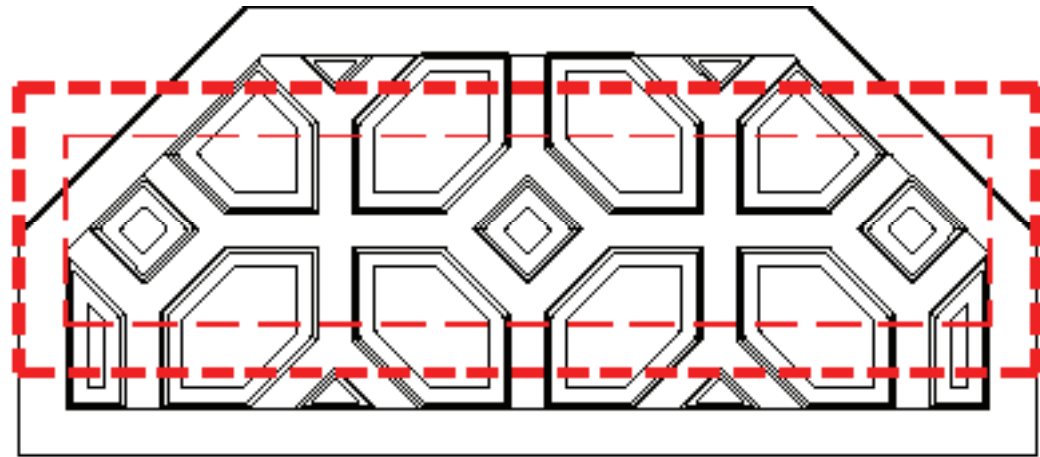
Daylight/Sunlight impact Studies



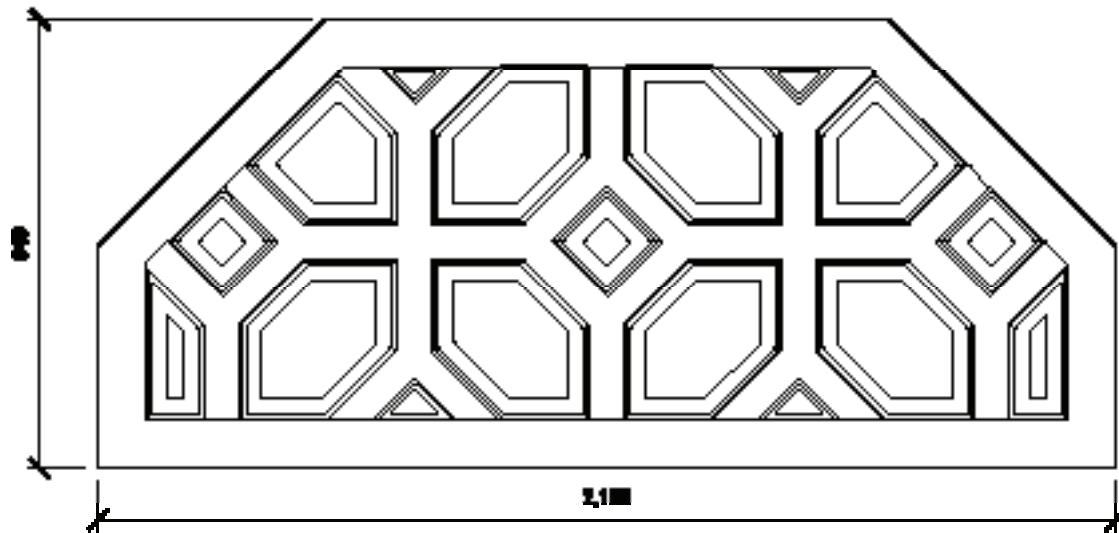
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Proposed orthogonal ceiling to retained opening



Orthogonal 'imprint' over existing decorative ceiling



Existing decorative ceiling over bay window

PROPOSED DECORATIVE CEILING

Existing decorative ceiling to existing bay window to be re-used / re-purposed in the opening formation to the new extension.

It is our intention that the decorative timber ceiling will be carefully salvaged without extensive damage by a skilled carpenter and carefully reconfiguration into an orthogonal layout (shown opposite). New sections can be formed with salvaged wood and augmented with new timber if necessary.

This approach will retain the character of the existing bay window in the new threshold to the new extension and retain continuity with the timber panelled jambs.



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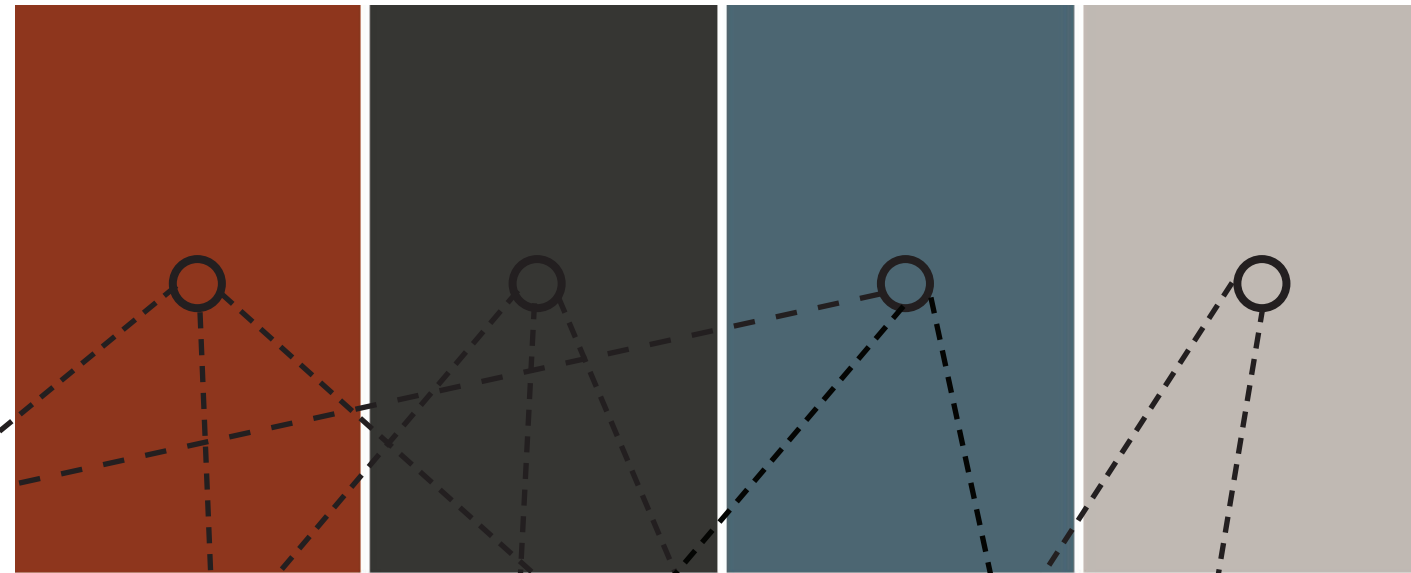
Reconfigured ceiling to former bay window

MATERIALS

The suggested materials, tones, and colours draw inspiration from the surrounding area and the existing exterior finishes of the house. We seek complimentary colours that evoke emotion, with warm tones contrasting against cooler ones.



Harbour view



#8E3614

RGB 142, 54, 20

#373634

RGB 55, 54, 52

#4D6673

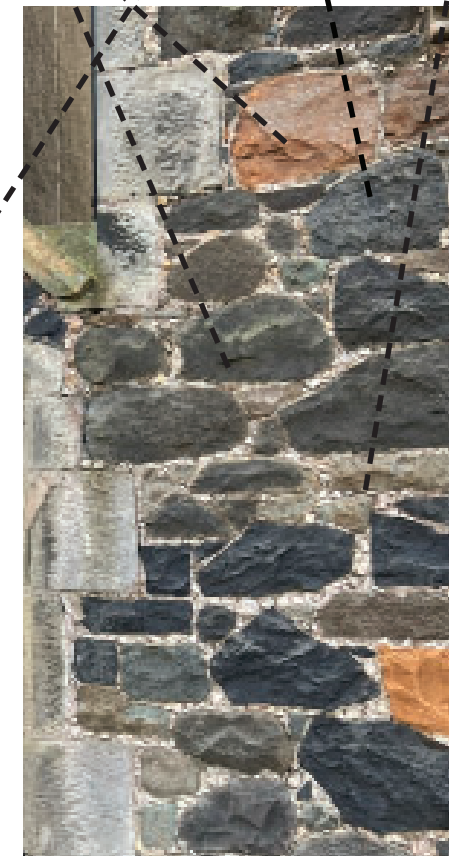
RGB 77, 102, 115

#C0B9B4

RGB 192, 185, 180



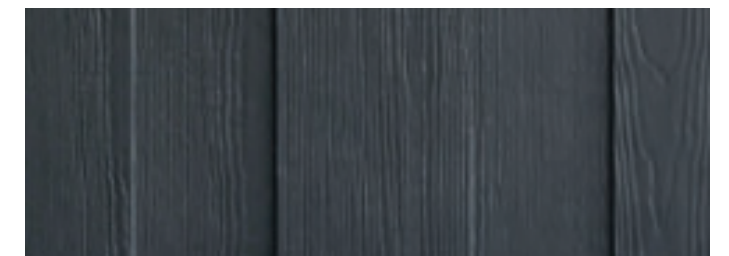
Utility outshoot external wall



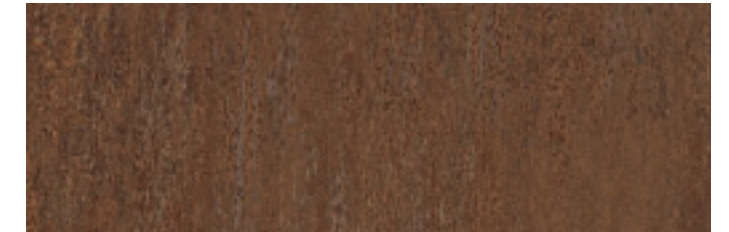
Corner to front elevation



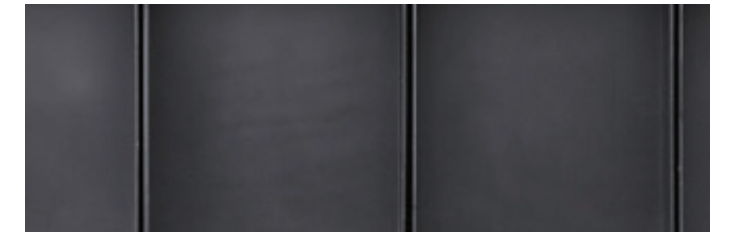
paint finish to external timberwork



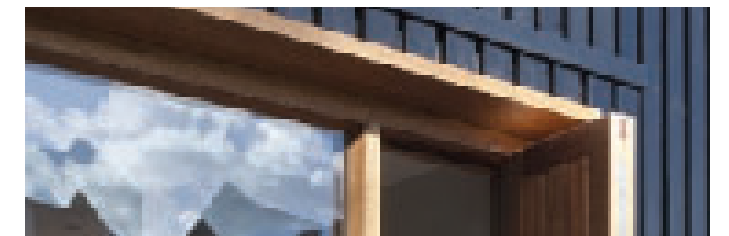
Fibre cement vertical cladding to North West boundary providing A1 class fire resistance and limited combustibility. To match dark steel.



Weathered steel



Steel dark, sharp edges



wood window/door profile



new salvaged stonework to be laid in a random rubble pattern, to be pick up tones of the existing stonework as shown above.



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Material+Colour Inferences



Rear garden visual



Angled view showing planter and occasional seating and integration of screen and landscaping

DESIGN APPROACH

The proposed garden room extension aims to enhance the house's relationship with the rear garden. Whilst the existing bay window partly achieves this, the garden room provides additional living space with a southerly orientation, further strengthening both the visual and physical connection to the garden.

Although the garden room extension exhibits a distinctively modern appearance, it has been carefully designed to compliment the retained utility outbuilding, harmonising with the established pattern, tone, and finish of the original materials. Stepped stone planters and a sitting area adjacent to the extension serve to anchor it within the existing architectural context, fostering further cohesion with the surrounding rear garden extension.

ACCESS STATEMENT

The proposed garden room has been designed on the same level as the existing house ground floor level. Accessibility of existing facilities and principle rooms will not be affected by the works. Steps from the proposed extension to the garden will offer a safer route than currently experienced.



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Design Approach + Access Statement